

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 7 MAY 2024

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Kate Bainbridge, Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: Tel 9364 0626 or via the Elected Members Portal.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY 10 MAY 2024



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 7 MAY 2024.**

PRESENT

T Cappellucci
T Geddes
N Mazzega
J Caracciolo

Principal Statutory Planner
Senior Planning Officer
Planning Officer
Planning Officer

DISCLOSURES OF INTEREST

**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995****Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who as an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting, then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision-making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

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**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)**

Ward : Palmyra – Melville - Willagee Ward
 Category : Operational
 Application Number : DA-2024-52
 Property : Lot (50) No.59A Rome Road, Melville
 Proposal : Two Storey Single House
 Applicant : 101 Residential
 Owner : Y Liu
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Previous Items : None.
 Responsible Officer : Troy Cappellucci
 Principal Statutory Planner

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g., adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (e.g., under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)

KEY ISSUES / SUMMARY

- Development approval is sought for two storey single house at no. 59A Rome Road, Melville.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), Residential Design Codes Volume 1 Part B (R-Codes) and relevant Local Planning Policies.
- The proposed development requires a performance assessment in relation to lot boundary setbacks, landscaping, siteworks, visual privacy and solar access.
- Consideration by the Development Advisory Unit is limited to solar access, with all other performance assessment matters to be determined by the Manager Statutory Planning (MSP) through delegated authority in accordance with Local Planning Policy 1.1 Planning Process and Decision Making (LPP 1.1).
- The application was advertised in accordance with the provisions of the R-Codes, *Planning and Development (Local Planning Scheme) Regulations 2015* (as amended) and LPP 1.1.
- One submission was received during the advertising period which was an objection to the impact of the development upon solar access.
- It is considered that solar access is acceptable when assessed against the relevant design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.



Figure 1 – Aerial Photography

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R20
Use Type	: Single House
Use Class	: Permitted

U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)

Site Details

Lot Area : 521m²
Retention of Existing Vegetation : No
Street Tree(s) : Yes x1
Street Furniture (drainage pits etc) : Light pole
Site Details : Refer to Figure 1 above

DETAIL

The application has been assessed against the provisions of LPS6, R-Codes and relevant Local Planning and Council Policies. The proposal complies with all the relevant development requirements except for those matters listed below, for which a performance assessment is required.

Local Planning Scheme and Local Policy Requirements

Residential Design Codes Volume 1 Part B

Development Requirement	Deemed to Comply	Proposed	Comments	Delegation to approve
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	North side As per table 2a and 2b of R-Codes Volume 1 Part B First Floor Bed 3 to Sitting setback required 2.1m	1.6m	Requires assessment using Performance Criteria	MSP
	North side As per table 2a and 2b of R-Codes Volume 1 Part B First Floor Sitting setback required 3m	1.6m	Requires assessment using Performance Criteria	MSP
	South side As per table 2a and 2b of R-Codes Volume 1 Part B Ground Floor Alfresco to Scullery setback required 1.5m	1m	Requires assessment using Performance Criteria	MSP

**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)**

Development Requirement (cont)	Deemed to Comply	Proposed	Comments	Delegation to approve
5.3.2 - Landscaping Cl. 2.2 (ii)	Requires not more than 50% impervious surfaces within street setback area	74%	Requires assessment using Performance Criteria	MSP
5.3.7 – Site works Cl7.1	Retaining walls, fill and excavation not more than 0.5m above natural ground level within street setback area.	0.6m	Requires assessment using Performance Criteria	MSP
5.3.7 – Site works Cl7.2 – Table 4	North and South Side Height of siteworks and/or retaining walls 1m or less requires setback of 1m	Nil.	Requires assessment using Performance Criteria	MSP
5.4.1 – Visual Privacy Cl1.1 (i)	North Side First Floor Sitting requires a setback of 6m	1.6m	Requires assessment using Performance Criteria	MSP
5.4.2 – Solar Access Cl2.1	25%	29%	Requires assessment using Performance Criteria	Development Advisory Unit (DAU)

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required:	Yes
Neighbour's Comment Supplied:	Yes
Reason:	Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
Support/Object:	One submission received (Objection)

U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)

A summary of the content of the objection received and a response is provided in the table below.

Submission Number	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/ Uphold/ Not Uphold)
1	Lot Boundary Setbacks First floor southern walls should be setback further.	Object	The first-floor walls in relation to this submitter's property are compliant with the deemed-to-comply provisions of the R-Codes.	Not Uphold
	Retaining Walls Prefer for the retaining to be 0.5m but not concerned if retaining remains as proposed.	Neither support or object	The retaining walls along this affected submitter boundary is considered to comply with the design principles for 5.3.7 – Siteworks.	Not Uphold
	Visual Privacy Bed 3 and Bed 4 cone of vision to be within the subject property only.	Object	The Bed 3 and Bed 4 openings are not major openings due to being less than 1m ² in area and therefore not subject to assessment under 5.4.1 – Visual Privacy.	Not Uphold
	Solar Access Thermal comfort of dwelling will be affected, and significant portion of dwelling will be shaded.	Object	Refer to the comments section of this report regarding solar access.	Not Uphold

II. OTHER AGENCIES / CONSULTANTS

Not Applicable

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)****FINANCIAL IMPLICATIONS**

There are no direct financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

COMMENTSolar Access

As noted above in the requirement section, the solar access does not meet the deemed to comply provisions of the R-Codes and requires a design principles assessment. The design principles contained in Clause 5.4.2 of the R-Codes seek protection of the solar access to new dwellings and that of neighbouring properties. The impact on neighbouring properties ideally should be minimised to more sensitive spaces such as outdoor living areas (OLA), major openings and roof solar collectors. The proposed solar access is considered to meet these design principles as discussed below:

Design Principle P2.1:

- The design of the proposed dwelling has provided for effective solar access with multiple northern orientated major openings.

Design Principle P2.2:

- There are two north facing major openings (See Figure 3 below) of the southern lot that are affected by the subject development. No other major openings or outdoor living areas are affected by the shadow. This southern affected dwelling has a finished floor level (FFL) of 11.05. The subject site has an FFL of 10.345, in this regard the shadow cast onto the southern property will be minimised due to dwelling floor level and natural ground level differences. The 0.7m difference in FFL, with the affected southern site higher, minimises the length of the shadow cast to these major openings at midwinter. This is also the single storey element of the subject dwelling that is casting this shadow to these openings, further minimising potential amenity and access to light/ventilation impacts.
- No existing solar collectors are affected by the shade cast.

U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)

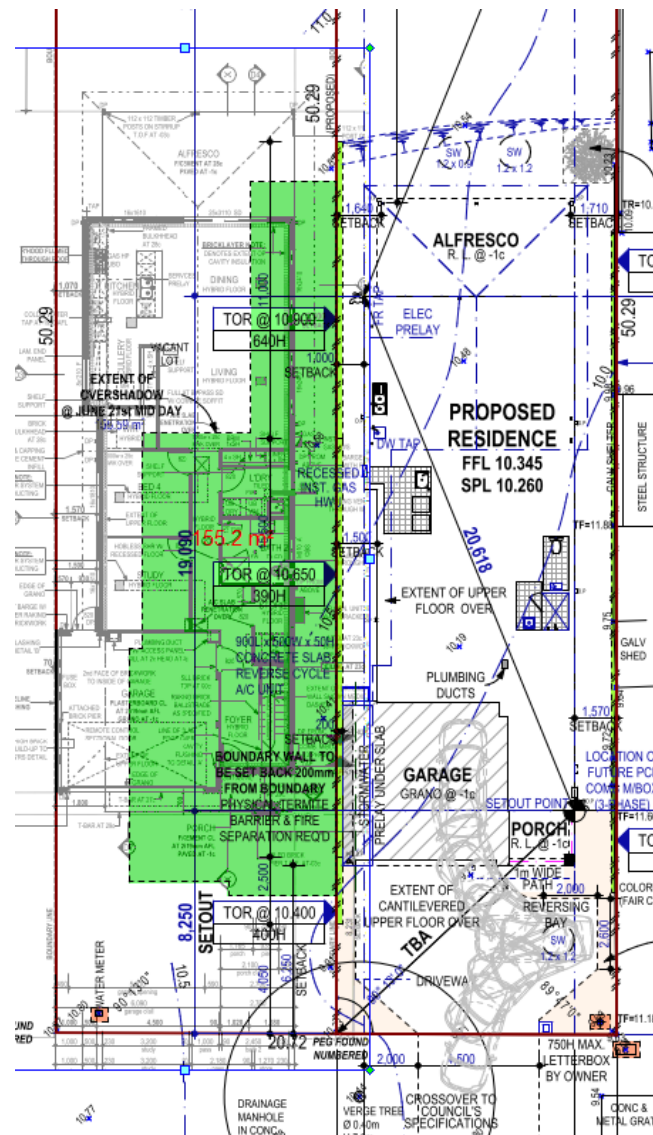


Figure 2: Shows the maximum southern shadow generated (in green) onto the southern affected lot approved ground floor plan.

**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)**

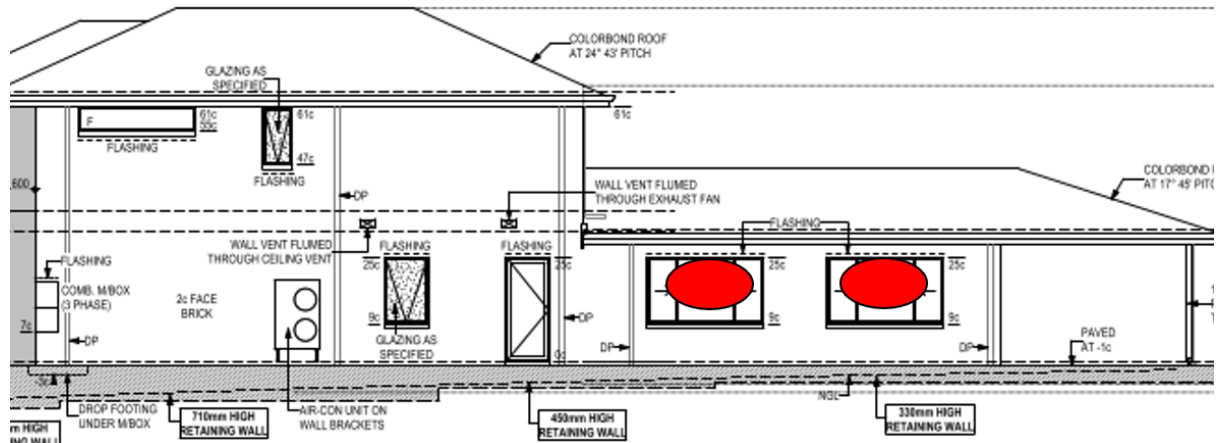


Figure 3: Shows the major openings (Dining and Living rooms) of the southern approved dwelling in red. This also shows the raised level to the neighbouring site.

ALTERNATE OPTIONS AND THEIR IMPLICATIONS

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

However, should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

CONCLUSION

The proposal meets the deemed to comply or design principle requirements of the R-Codes or Local Planning Policy requirements and is therefore considered to be appropriate to approve subject to conditions.

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process, unless council elects to 'call up' the item for formal Council consideration.

**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)****OFFICER RECOMMENDATION****APPROVAL**

1. The development the subject of this approval complies with the approved plans at all times unless otherwise approved in writing by the City.
2. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.
3. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
4. Prior to the initial occupation of the development, all unused crossover(s) shall be removed, and the kerbing and road verge reinstated at the owners cost to the satisfaction of the City.
5. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;
 - a maximum width as per City of Melville crossover specifications;
 - located a minimum of 2m away from the outside of the trunk of any street tree; and
 - a minimum of 1m from any existing street infrastructure.

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

6. Any street walls and fences (including the height of any retaining walls) constructed within the primary street setback area shall meet the requirements contained under clause 3 of Local Planning Policy LPP3.1 Residential Development to the satisfaction of the City.
7. Prior to the initial occupation of the development, the boundary wall/s shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
8. Prior to the initial occupation of the development, the external surface of the retaining wall/s which are visible from the street and adjoining properties shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
9. Prior to the initial occupation of the development, the on-site tree (as marked in red on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.

**U24/0630 - TWO STOREY SINGLE HOUSE AT LOT 50 (NO. 59A) ROME ROAD, MELVILLE
(REC) (ATTACHMENT)**

10. Unless otherwise approved in writing by the City, all trees located on the verge adjacent to the land on which the development is to take place shall be protected throughout the duration of the demolition and construction processes of the development via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to demolition of the site or commencement of development (whichever occurs first), in accordance with the following criteria:

- **A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.**
- **If an approved crossover, front fence, footpath, road or similar is located within the 2m radius of the TPZ, the TPZ fencing shall be located the minimum distance from the approved works that is required to complete the works.**
- **Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.**
- **The following actions shall not be undertaken within any TPZ:**
 - **Storage of materials, equipment, fuel, oil dumps or chemicals;**
 - **Servicing or refuelling of equipment or vehicles;**
 - **Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device);**
 - **Open-cut trenching or excavation works (whether or not for laying of services);**
 - **Changes to the natural ground level of the verge;**
 - **Location of any temporary buildings including portable toilets; or**
 - **The parking of vehicles or machinery.**

Advice Note/s

- 1. Construction is not permitted to obstruct traffic without prior written consent from the City's Technical Services department. Should the construction require a lane or road closure, a Traffic Management Plan is required to be approved by the City prior to any such works.**
- 2. A completed BA20 form and associated documentation including signed plans is to be provided where adjoining properties are to be adversely affected or there is encroachment of walls or footings.**

U24/0631 – TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET, APPLECROSS (REC) (ATTACHMENT)

Ward : Applecross – Melville - Mount Pleasant Ward
 Category : Operational
 Application Number : DA-2024-42
 Property : Lot (1) Unit 1, No. 15 Simpson Street, Applecross
 Proposal : Two Storey Grouped Dwelling
 Applicant : Webb and Brown-Neaves
 Owner : Su Hau Heng & Shy Hwa Lee
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Responsible Officer : Troy Cappellucci
 Principal Statutory Planner
 Previous Items : N/A

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (e.g., under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET, APPLECROSS (REC) (ATTACHMENT)

KEY ISSUES / SUMMARY

- Development approval is sought for a two-storey grouped dwelling at Unit 1, No. 15 Simpson Street, Applecross.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), Residential Design Codes Volume 1 Part B (R-Codes) and relevant Local Planning Policies including Local Planning Policy 3.1 – Residential Development (LPP3.1).
- The proposed development requires a performance assessment in relation to lot boundary setbacks and boundary wall height.
- Consideration by the Development Advisory Unit is limited to boundary wall height to the western boundary and lot boundary setbacks to the southern and western boundaries.
- The application was advertised in accordance with the provisions of the R-Codes, *Planning and Development (Local Planning Scheme) Regulations 2015* (as amended) and LPP1.1.
- Three submissions were received during the advertising period with objections to the proposed boundary wall on the western boundary, lot boundary setbacks to the southern and western boundaries and visual privacy concerns. Visual privacy for the proposed development is compliant with the relevant deemed to comply requirements of the R-Codes.
- Notwithstanding the objections received, it is considered that the development is acceptable when assessed against the relevant design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.



Figure 1 – Aerial Photography

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R15
Use Type	: Grouped Dwelling
Use Class	: Permitted

Site Details

Lot Area	: 421m ²
Retention of Existing Vegetation	: None
Street Tree(s)	: Yes
Street Furniture (drainage pits etc)	: No
Site Details	: Refer to Figure 1 above

DETAIL

The application has been assessed against the provisions of LPS6, the R-Codes and relevant Local Planning and Council Policies. The proposal complies with all the relevant development requirements with the exception of those matters listed below, for which a performance assessment is required.

Local Planning Scheme and Local Policy Requirements

City of Melville Local Planning Policy 3.1 – Residential Development

Development Requirement	Deemed to Comply	Proposed	Comments	Delegation to approve
LPP 3.1 Cl. 6 Cl. 3.2 (ii) – Boundary Walls	Western Side Boundary wall (garage) 3m in height	3.5m in height	Requires assessment using Performance Criteria	Development Advisory Unit (DAU)

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

Residential Design Codes Volume 1 Part B

Development Requirement	Deemed to Comply	Proposed	Comments	Delegation to approve
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	West Side First Floor Bed 3 / Bed 4 Setback required 6m	1.51m in setback	Requires assessment using Performance Criteria	DAU
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	West Side Ground Floor Guest Suite Setback required 6m	1.51m in setback	Requires assessment using Performance Criteria	DAU
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	South Side First Floor Bed 3 / Powder 2 / Bath Setback required 2m	1.7m in setback	Requires assessment using Performance Criteria	DAU

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comment Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and
 Decision Making Clause 1.7.6
 Support/Object: One submission received (Objection)

A summary of the content of the objection received and a response is provided in the table below.

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)

Submission Number	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/Uphold/Not Uphold)
1	Lot Boundary Setbacks <i>Concerns that the proposal would impact solar access and privacy and therefore negatively impacting any future planning considerations.</i>	Objection	Refer to the comments section of this report.	Not Uphold
	Visual Privacy <i>Window from a secondary bedroom that overlooks. This proposal would negatively impact my property's privacy and future planning considerations.</i>	Objection	In relation to this objection the proposed development meets the visual privacy deemed-to-comply requirements of the R-Codes. There are no major openings along the upper floor of the southern elevation.	Not Uphold
2	Boundary Wall <i>The height of the western boundary wall is not reflective of the current zoning. Will dominate the boundary and cause a building bulk issue.</i> <i>There is a possible impact on the amenity of adjoining owners and occupiers.</i>	Objection	Refer to the comments section of this report.	Not Uphold
	Lot Boundary Setbacks <i>Believes that the heights and setbacks of buildings contribute to the open, suburban appearance and function, which would be lost.</i>	Objection	Refer to the comments section of this report.	Not Uphold

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

Submission Number (cont.)	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/ Uphold/ Not Uphold)
	<p><i>Outlines that the Decision Maker must take future planning into account since design principles contribute to the prevailing or future development context as outlined in the local planning framework.</i></p> <p><i>Concerns that less sunlight would reach green zones.</i></p>			
3	<p>Visual Privacy <i>Concerned about the overlooking of this development, specifically on the northern elevation.</i></p>	Objection	In relation to the proposed concerns raised in regard to visual privacy, the development is compliant with the deemed-to-comply requirements of the R-Codes.	Not Uphold

II. OTHER AGENCIES / CONSULTANTS

Not Applicable.

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no direct financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

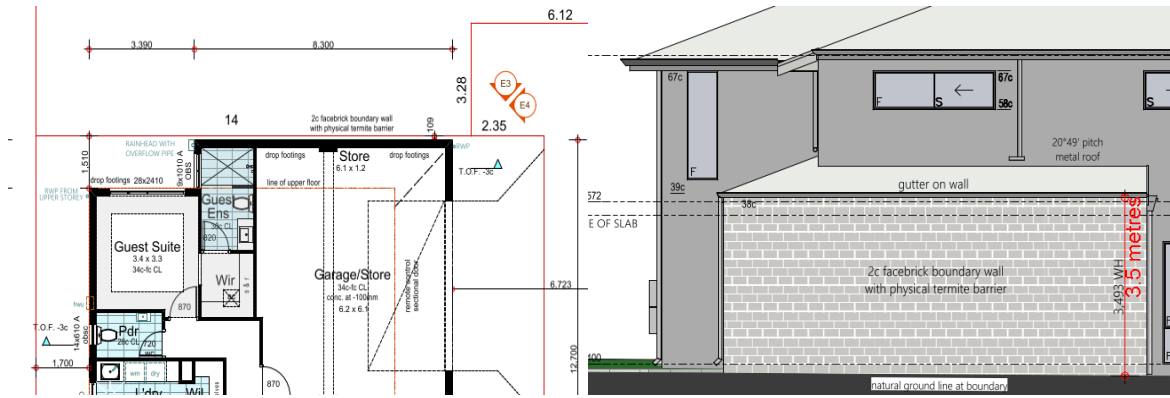
POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET, APPLECROSS (REC) (ATTACHMENT)

COMMENT

Lot Boundary Setback – Western Ground Floor Garage Wall Height



As noted above in the requirement section, the ground floor garage boundary wall does not meet the deemed to comply provisions of Clause 6 of LPP 3.1 and requires a design principle assessment. The design principles contained in Clause 5.1.3 (P3.1 & P3.2) Lot Boundary Setbacks of the R-Codes seek to reduce the impact of building bulk on adjoining properties, maintain access to natural light and ventilation, maintain visual privacy and ensure no adverse impact on amenity of adjoining properties. The garage boundary wall on the western elevation is considered to meet these design principles as discussed below:

Design Principle P3.1 & P3.2:

- The length of the wall is less than the deemed to comply requirement (8.2m in lieu of the permitted 9m) and is adjacent to roof structure and vegetation screening on the adjoining property to decrease its impact as viewed from the adjoining property.
- Adequate sunlight and ventilation are afforded to the adjoining property, as the proposed garage abuts an existing area of vegetation and enclosed patio, thus reducing the boundary walls impact. Refer to Figure 2 below.
- There are no actual (R-Codes Clause 5.4.1 – Visual Privacy) or perceived visual privacy concerns brought about by the boundary wall as there are no major openings.
- The wall height discretion sought is considered to be minor and to not have adverse impact on the amenity of the adjoining dwelling. Neighboring major openings are not impacted by the boundary wall through their setback from the boundary and orientation of the subject wall abutting the adjoining properties carport for a considerable portion of its length. Refer to Figures 3 & 4 below.
- The garage being located on the rear boundary allows for a more usable sight through creating an alfresco area in the middle of the house which allows for its interaction with multiple different rooms.

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)



Figure 2 – View Looking West from Subject Property Towards Adjoining Western Property



Figure 3 – Length of Proposed Garage Boundary Wall from Subject Site to Right of Image Marked in Green with Adjoining Property to Left of Image

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET, APPLECROSS (REC) (ATTACHMENT)

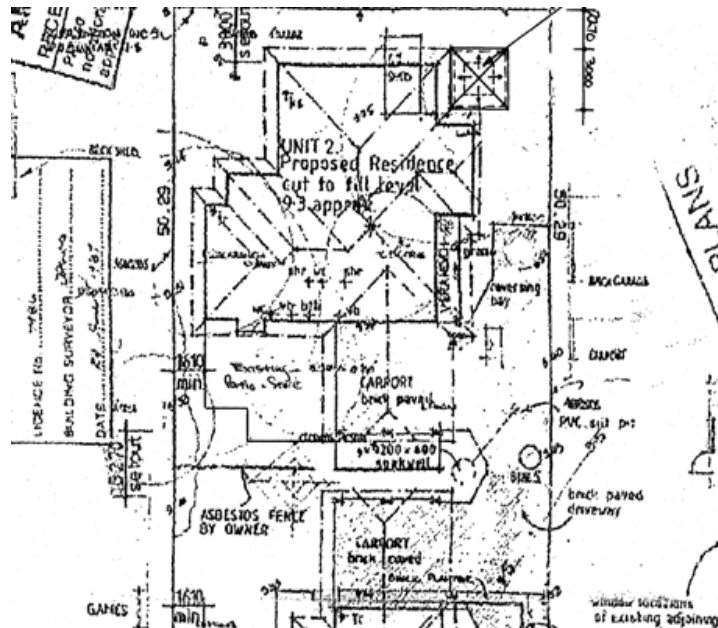


Figure 4 – Plan of Adjoining Western Property Confirming That Subject Boundary Wall abuts an Adjoining Carport

Lot Boundary Setbacks – Western Ground Floor Guest Wall and Western Upper Floor Bed 3 / 4 Wall

As noted above in the requirement section, the guest suite ground floor wall and the Bed 3/Bed 4 upper floor wall do not meet the deemed to comply provisions of 5.1.3 C3.1i of the R-Codes and therefore is required to be assessed against the design principles. The design principles contained in Clause 5.1.3 (P3.1) Lot Boundary Setbacks of the R-Codes seek to ensure development reduces the impact of building bulk on adjoining properties, maintains access to natural light and ventilation, maintains visual privacy and ensures no adverse impact on amenity of adjoining properties. The walls on the western elevation are considered to meet these design principles as discussed below:

Design Principle P3.1:

- Proposed reduced setback of the required 6m from rear (western boundary) allows the subject dwelling a northern aspect for its outdoor living area located adjacent to Simpson Street. The outdoor living areas proposed location allows for the site to maximize its lot size for both building and outdoor exploits in a way that maintains consistency with the planning considerations of grouped dwellings zoned R15 in the immediate area and surrounds. Refer to Figure 5 below.
- The rear (western) elevation will not have a bulk impact due to the use of articulation via use of differing materials, setbacks on both levels and window openings. Refer to Figure 6 below.
- Solar access is compliant with the deemed to comply provisions of the R-Codes for the adjoining western property.
- No overlooking issues will result from both walls.



**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

- The existing single storey grouped dwelling on the proposed site has existing reduced setbacks to the rear western boundary, further showcasing the existing stance on rear setbacks in this locality.



Figure 5 – Aerial showing R15 zoned Grouped Dwellings marked in Red with Rear Setback Reductions less than the required 6m

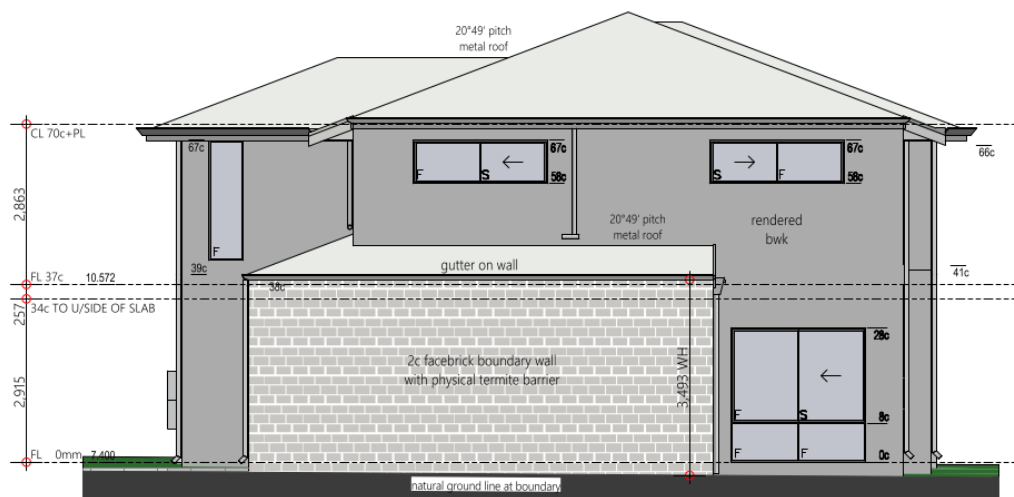


Figure 6 – Rear First Floor Articulation to Mitigate Bulk

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)****Lot Boundary Setback – Southern Upper Floor Bed 3 / Powder 2 / Bath Wall**

As noted above in the requirement section, the ground floor bed 3 / powder 2 / bath wall does not meet the deemed to comply provisions of Clause 5.1.3 C3.1i of the R-Codes and therefore is required to be assessed against the design principles. The design principles contained in Clause 5.1.3 (P3.1) Lot Boundary Setbacks of the R-Codes seek to ensure development reduces the impact of building bulk on adjoining properties, maintains access to natural light and ventilation, maintains visual privacy and ensures no adverse impact on amenity of adjoining properties. This wall on the southern elevation is considered to meet these design principles as discussed below:

Design Principle P3.1:

- The portion of wall does not have any major openings therefore reduces any potential loss of privacy. While the finished floor level (FFL) of the upper floor is above 500mm of natural ground level, all windows are above 1.8m above the FFL to ensure they are not major openings and therefore no privacy concerns.
- Building bulk is reduced through articulations along the southern boundary via two differing wall setbacks along the upper floor as well as numerous window openings which are either obscure or transparent. Refer to Figure 7 below.
- The proposed wall abuts a single storey single house which on its northern elevation facing the subject site, has walls with no major openings and not abutting an outdoor living area. Refer to Figures 8 & 9 below.
- Overshadowing calculations meet the deemed-to-comply provisions of the R-Codes therefore the proposed wall does not create any additional adverse solar issues for the adjoining lot.

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

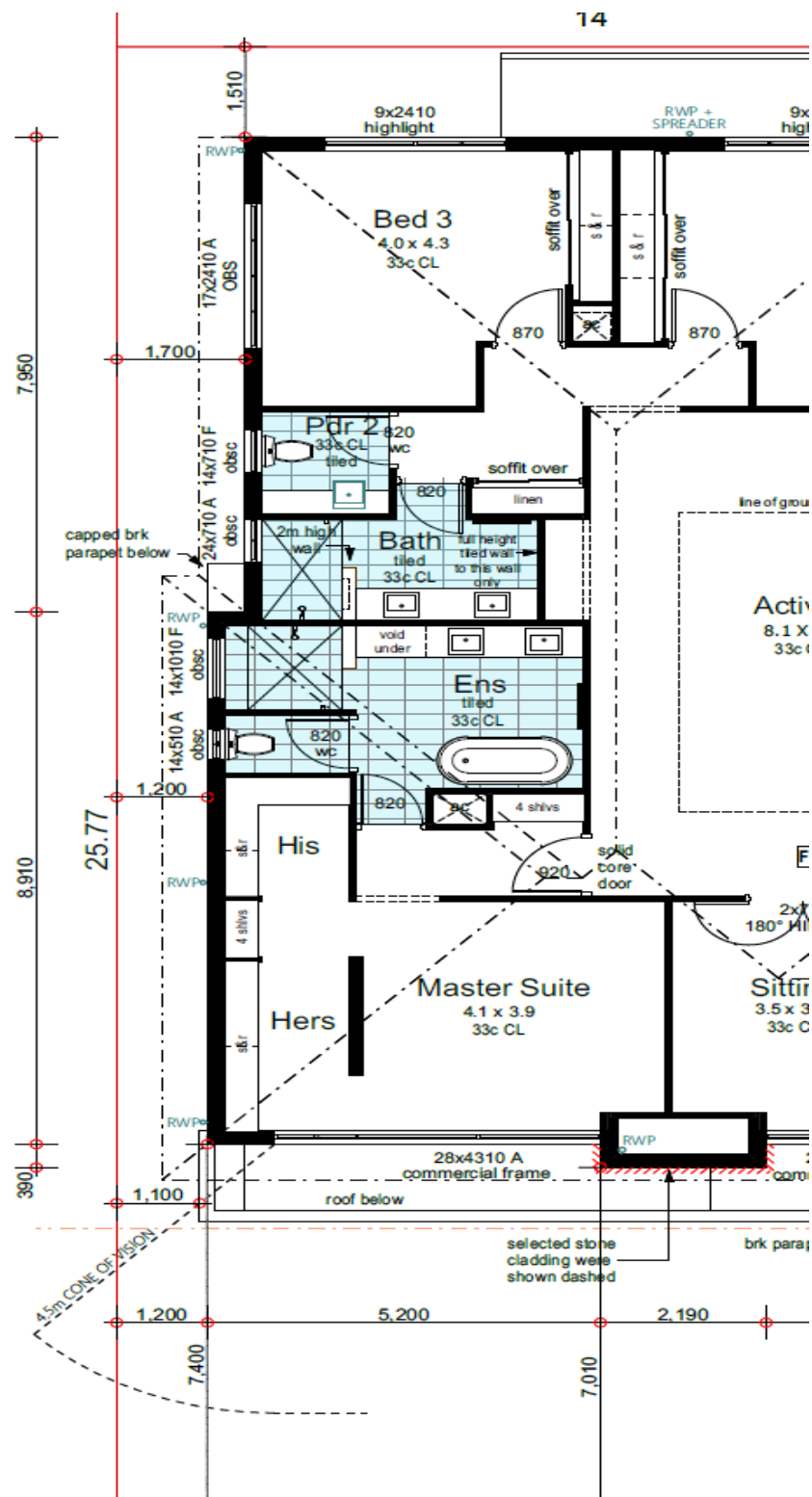


Figure 7 – Proposed Upper Floor Plan with Setbacks to Southern Property to Left of Image

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)



Figure 8 – Location of Proposed Wall from Subject Site to Top of Image Marked in Green with Adjoining Southern Property to the Bottom of Image



Figure 9 – View looking south towards adjoining southern property where subject wall would face

**U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)**

ALTERNATE OPTIONS AND THEIR IMPLICATIONS

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

However, should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

CONCLUSION

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

OFFICER RECOMMENDATION

APPROVAL

- 11. The development the subject of this approval must be contained wholly within the area of exclusive use of the lot and comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 12. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.**
- 13. Prior to the initial occupation of the development, the boundary wall/s shall be finished to either the same finish as the rest of the dwelling walls or at a minimum, be finished to a clean face brick standard, to the satisfaction of the City.**

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)

14. Unless otherwise approved in writing by the City, all trees located on the verge adjacent to the land on which the development is to take place shall be protected throughout the duration of the demolition and construction processes of the development via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to demolition of the site or commencement of development (whichever occurs first), in accordance with the following criteria:

- A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.
- If an approved crossover, front fence, footpath, road or similar is located within the 2m radius of the TPZ, the TPZ fencing shall be located the minimum distance from the approved works that is required to complete the works.
- Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.
- The following actions shall not be undertaken within any TPZ:
 - Storage of materials, equipment, fuel, oil dumps or chemicals;
 - Servicing or refuelling of equipment or vehicles;
 - Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device);
 - Open-cut trenching or excavation works (whether or not for laying of services);
 - Changes to the natural ground level of the verge;
 - Location of any temporary buildings including portable toilets; or
 - The parking of vehicles or machinery.

15. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.

16. Any street walls and fences (including the height of any retaining walls) constructed within the primary street setback area shall meet the requirements contained under clause 3 of Local Planning Policy LPP3.1 Residential Development to the satisfaction of the City.

U24/0631 - TWO STOREY GROUPED DWELLING AT LOT 1 - 1/15 SIMPSON STREET,
APPLECROSS (REC) (ATTACHMENT)

Advice Notes





1. A Demolition permit will be required. A Building Permit application will be required for removal of the existing dwelling.
2. A completed BA20 form and associated documentation including signed plans is to be provided where adjoining properties are to be adversely affected or there is encroachment of walls or footings. Alternatively, certification from a structural engineer certifying the works won't be adversely affecting in accordance with the Building Act can be provided.
3. This approval is not an approval under the *Strata Titles Act 1985* or *Land Administration Act 1997*, noting that another approval may be required prior to construction commencing from the other strata landowner and beneficiary of the easement over the party wall.

**ATTACHMENTS
OF THE
DEVELOPMENT ADVISORY UNIT
MEETING
HELD ON
7 MAY 2024
U24/0630
U24/0631**

Distributed: Friday, 10 May 2024





LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
	TP=10.00	TOP PILLAR/POST
	TW=10.00	TOP WALL
	TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE	

NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
SETBACKS MUST BE CONFIRMED
BY WATER CORP. BEFORE ANY
DESIGN WORK IS UNDERTAKEN.
THIS LINE IS NOT DEFINITIVE

NOTE:
UNABLE TO CALCULATE SEWER JUNCTION DEPTH
DUE TO LACK OF INFORMATION ON WATER
CORPORATION E-PLAN. VERIFY JUNCTION INVERT,
DEPTH & DETAILS WITH WATER CORPORATION.

SEWER JUNCTION
INV: 9.2
NOTE: UP

It is the responsibility of the Builder / Applicant to incorporate all conditions of the Planning Approval into revised documentation submitted to support an application for a Building Permit.

LOT MISCLOSE
0.000m

⚠️ DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

⚠️ DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

⚠️ DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

COTTAGE
SURVEYS
 LICENSED SURVEYORS

87-89 Guthrie Street
 Osborne Park, WA 6017

PO Box 1611
 Osborne Park
 Business Centre WA 6917

P: (08) 9446 7361
 E: perth@cottage.com.au
 W: www.cottage.com.au

THIS IS ONE OF THE DRAWINGS
REFERED TO IN THE CONTRACT :

OWNER DATE.....

BUILDER DATE.....

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

© Copyright 2011

VARIATIONS:

REV:	DESCRIPTION:
'1'	CONTRACT CSM235 AC PLAN
'2'	ENGINEERS
'3'	PRESTART: VO1 (ITEMS 1-120), VO2 (ITEMS 1-2) & VO3 (1 ITEM)
'4'	VO4 (ITEMS 1-2)

INT:	DATE:
ZL	30.11.2023
RX	14.12.2023
TN	07.02.2024
SA	08.04.2024
RX	22.04.2024

CLIENT:

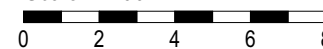
LIU

SITE ADDRESS:

**LOT 50 (#59A) ROME ROAD
MELVILLE WA 6156**

SALES: CM	DRAWN: RX	CHECKED: KB
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Scale 1:200



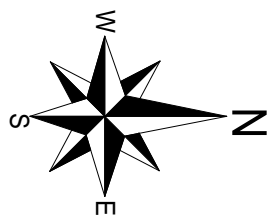
ROADS	Bitumen	ELEC.	U/Ground
KERBS	Semi-Mount / Nil	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Light Grass Cover	COASTAL	No

(Approximate On Confirm With Sh

101 INDIVIDUAL

EXISTING SITE

DATE: 23/04/2024	SHEET N°:
SCALE: 1:200	02 of 19
REVISION N°: 04	JOB N°: 2309015



PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

SITE COVERAGE

ZONED R20
% ALLOWED 50%
SITE AREA 521.00m²
SITE COV. AREA 160.46m²

OPEN SPACE =69.2%

Soak Well Type	No.	
SW 1200x900	1	1.0 m3
SW 1200x1200	2	2.7 m3
Total Capacity		3.7 m3
Roof Area GF		94.7 m2
Paved Area		37.9 m2
Roof Area UF		137.6 m2
Total Area		270.2 m2

Capacity Required (Area x 0.0125) 3.4 m3
Extra Capacity Provided 0.4 m3

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS WITH
PVC STORMWATER PIPE

CONCRETE NOTE:

SET SHOWER RECESS'S DOWN 50mm (25mm
BELOW 25mm SET DOWN) & FIT REFLUX
VALVE. MAINTAIN REQUIRED SLAB THICKNESS
TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S
SPECIFICATIONS.

SITE CLASSIFICATION : A
FOOTING DETAIL : R. T. ENG.
WIND CATEGORY : N1
CORROSION CLASS : R3

ELECTRICAL NOTE:

3 - PHASE POWER

OVERSHADOWING DIAGRAM:

SHADOW CAST ON JUNE 21ST AT 12 PM

NEIGHBOURING LOT 294 SIZE: 521.0m2
OVERSHADOWING: 155.59m2 = 29.81%

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN
ACCORDANCE WITH PART 3.1.4 OF THE NCC -
BUILDING CODE OF AUSTRALIA AND
AS3660.1:2014 THROUGH THE USE OF TERMITE
RESISTANT MATERIALS FOR ALL PRIMARY
BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH
AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN
ACCORDANCE WITH AS1604 AND APPENDIX D
OF AS3660.1:2014

Location of Services	Panel & Post Retaining (required)
Proposed Panel	
Post Retaining	

LOT MISCLOSE

0.000m

DISCLAIMER:
Lot boundaries drawn on survey are
based on landgate plan only. Survey does not
include title search and as such may not show
easements or other interests not shown on plan.
Title should be checked to verify all lot details
and for any easements or other interests which
may affect building on the property.

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for internal or mains services. Verification of
the location of all internal and mains services
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on this survey including any adjoining neighbours
levels and features that have occurred after the
date on this survey. All Sewer details plotted
from information supplied by Water Corporation.

It is the responsibility of the Builder / Applicant
to incorporate all conditions of the Planning
Approval into revised documentation submitted
to support an application for a Building Permit.

PRELAY NOTE:

ELECTRICAL PRELAY REQUIRED FOR ISLAND
CUPBOARD REFER TO FLOOR PLAN

COTTAGE
SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 557575
CLIENT LIU
ADDRESS #59A Rome Road
SUBURB Melville
LGA CITY OF MELVILLE
DRAWN J. Jee

GPS Lat: -32.042226 Long: 115.808418
ORDER # 2309015R
LOT Lot 50 (Plan 6285)
AREA 1042m² VOL. 1180 FOL. 905
DATE 17 Oct 23 SSA No

ROADS Bitumen
KERBS Semi-Mount / Nil
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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12,055

VARIATIONS:

REV: DESCRIPTION:
'1' CONTRACT CSM235
AC PLAN
'2' ENGINEERS
PRESTART: VO1 (ITEMS 1-120),
VO2 (ITEMS 1-2) & VO3 (1 ITEM)
VO4 (ITEMS 1-2)
'4'
'5'
'6'
'7'

INT: DATE:
ZL 30.11.2023
RX 14.12.2023
TN 07.02.2024
SA 08.04.2024
RX 22.04.2024

CLIENT:

LIU

SITE ADDRESS:

LOT 50 (#59A) ROME ROAD
MELVILLE WA 6156

SALES: CM DRAWN: RX CHECKED: KB

101 INDIVIDUAL

SITE PLAN

DATE: 23/04/2024
SCALE: 1:100, 1:200

REVISION N°: 04

SHEET N°:
03 of 19

JOB N°: 2309015

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

___BUILD METHOD:

CFBW

___GROUND FLOOR:

Double Brick, Slab on Ground

___UPPER FLOOR SLAB:

Concrete on Metal Truss

___UPPER FLOOR WALLS:

Double Brick

___ROOF TYPE:

Colorbond

SITE CLASSIFICATION

: A

FOOTING DETAIL

: R. T. ENG.

WIND CATEGORY

: N1

CORROSION CLASS

: R3

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

CL @ 30c THRU/OUT - UF
CL @ 33c THRU/OUT - GF
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST. UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE
RUN KITCHEN BENCH TOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCH TOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE
DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.
COLD WATER TAP FOR DISHWASHER RECESS.

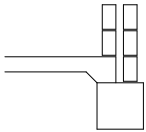
FIXING CARPENTER NOTE
ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W
ALL LINENS, BUILT-IN PTYRS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUPDS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES
PROVIDE R4.1 INSULATION TO CEILING THRU/ OUT HOUSE AND GARAGE ONLY TO BCA REQ.
ALL CONSTRUCTION DWGS MUST BE STAMPED "CONSTRUCTION ISSUE" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING MANUFACTURE, OR ON-SITE CONSTRUCTION
UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)



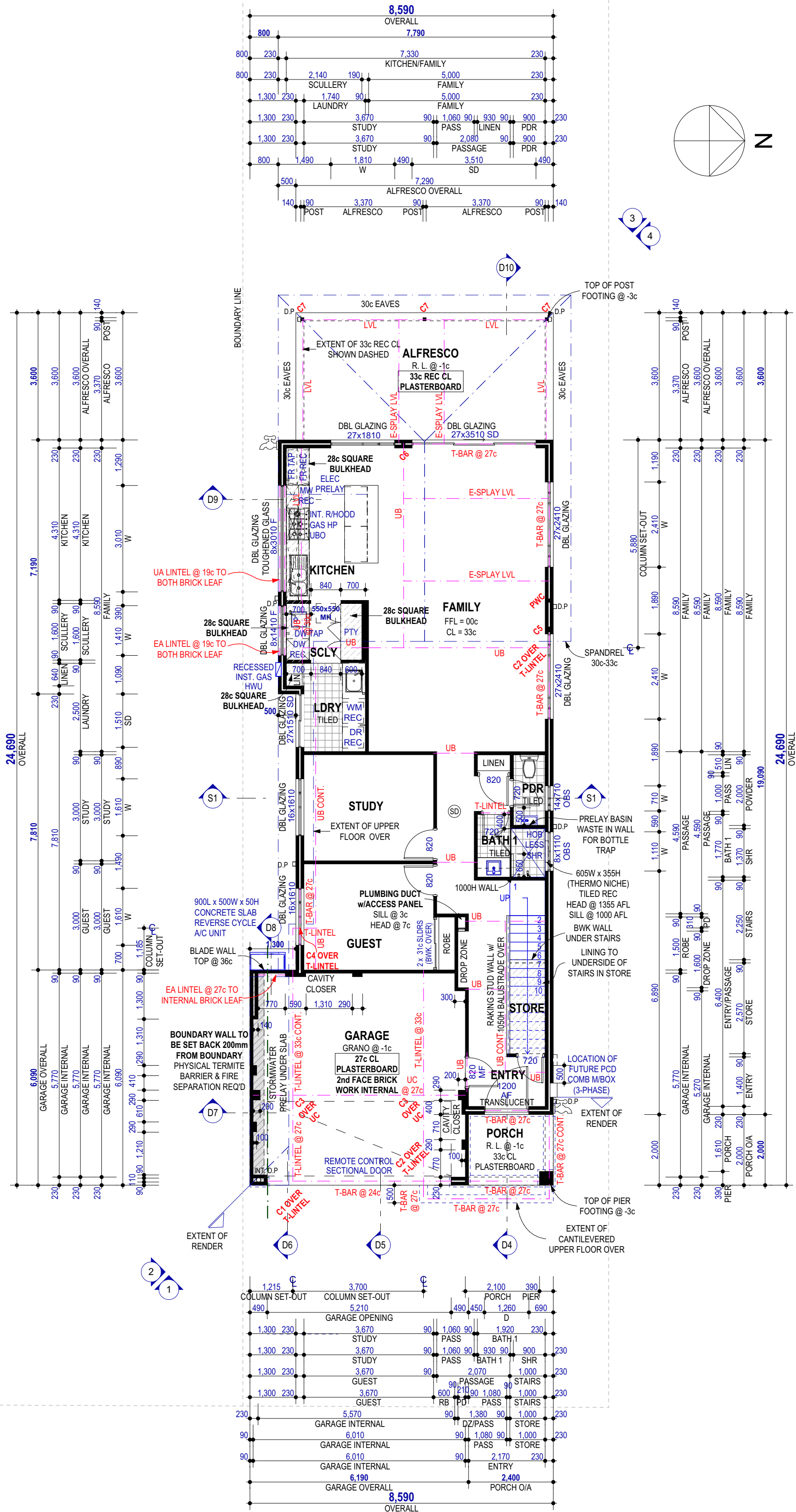
BRICK LAYER NOTES:
EXTENT OF RENDER TO ENTIRE HOUSE EXCLUDED GARAGE BOUNDARY WALL
RENDER COLOUR 1:
RENDER COLOUR 2:
EXTENT AS SHOWN ON PLAN.

DBL GLAZING NOTES:
DOUBLE GLAZING TO ALL WINDOWS & SLIDING DOORS EXCLUDING OBSCURE, HINGED, OR SILICON JOIN.

SC OVER:
CONFIRM COLUMN LOCATION WITH SHOP DRAWINGS.

PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :
OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

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BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:	DESCRIPTION:	INT.	DATE:
REV: "1"	CONTRACT CSM235	ZL	30.11.2023
"2"	AC PLAN	RX	14.12.2023
"3"	ENGINEERS	TN	07.02.2024
	PRESTART: VO1 (ITEMS 1-120), VO2 (ITEMS 1-2) & VO3 (1 ITEM)	SA	08.04.2024
"4"	VO4 (ITEMS 1-2)	RX	22.04.2024
"5"			
"6"			
"7"			

CLIENT:

LIU

SITE ADDRESS:

LOT 50 (#59A) ROME ROAD
MELVILLE WA 6156

SALES:

CM

DRAWN:

RX

CHECKED:

KB

101 INDIVIDUAL

GROUND FLOOR PLAN (A2)

DATE: 23/04/2024

SCALE: 1:1, 1:100

REVISION N°:

04

SHEET N°:

06

of 19

JOB N°:

2309015

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	123.561	53.760
HOUSE - UPPER	111.516	46.760
GARAGE	36.897	24.560
ALFRESCO	26.244	21.780
PORCH	4.800	8.800
TOTAL	303.018 m²	

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

___ BUILD METHOD:

___ GROUND FLOOR:

___ UPPER FLOOR SLAB:

___ UPPER FLOOR WALLS:

___ ROOF TYPE:

CFBW

Double Brick, Slab on Ground

Concrete on Metal Truss

Double Brick

Colorbond

SITE CLASSIFICATION : A

FOOTING DETAIL : R. T. ENG.

WIND CATEGORY : N1

CORROSION CLASS : R3

UPPER FLOOR HEIGHTS

FEL =3257mm
CL = 5864mm
HEIGHT O/A= 2607mm (30c)

UPPER FLOOR GLAZING

UPPER FLOOR WINDOWS TO COMPLY WITH BCA 3.9.2.6

CL @ 30c THRU'OUT - UF
CL @ 33c THRU'OUT - GF
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST. UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
(NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE
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CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

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NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
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CONFORMING TO A.S. 1684. U.N.O
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550 X 550 AT MANHOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR
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PLUMBER NOTE
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ALL LINENS, BUILT-IN PTYRS, INTERNAL STORES
TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES
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OUT HOUSE AND GARAGE ONLY TO BCA REQ.

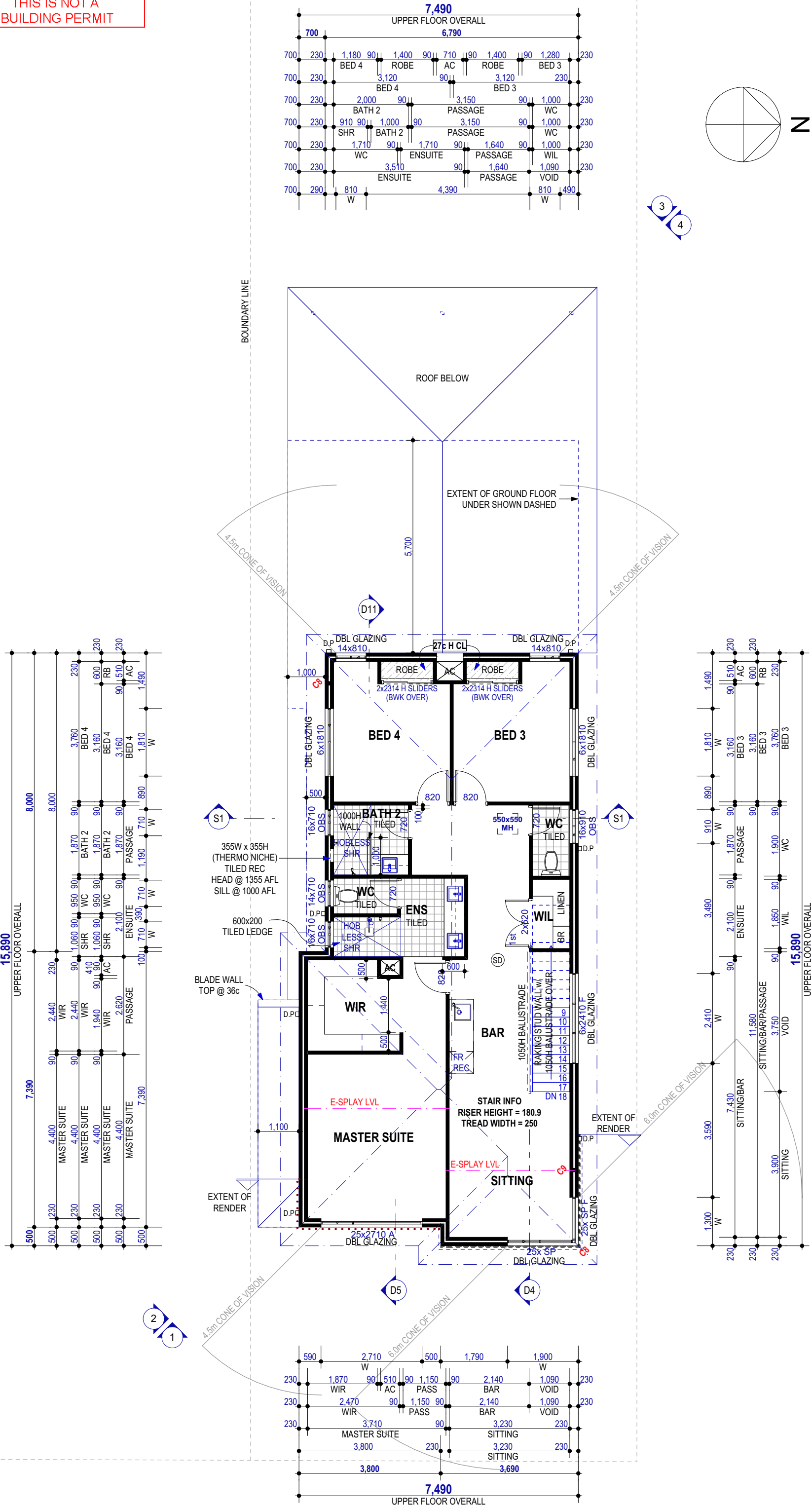
ALL CONSTRUCTION DWGS MUST BE STAMPED
"CONSTRUCTION ISSUE" IF DWGS ARE NOT
STAMPED, PLEASE CONTACT THE OFFICE
BEFORE PROCEEDING WITH ORDERING
MANUFACTURE, OR ON-SITE CONSTRUCTION
UPPER FLOOR TO BE TIED DOWN TO GROUND
FLOOR AS PER ENGINEERS SPECIFICATION

BRICK LAYER NOTES:
EXTENT OF RENDER TO ENTIRE HOUSE
EXCLUDED GARAGE BOUNDARY WALL
RENDER COLOUR 1:
RENDER COLOUR 2:
EXTENT AS SHOWN ON PLAN.

DBL GLAZING NOTES:
DOUBLE GLAZING TO ALL WINDOWS & SLIDING
DOORS EXCLUDING OBSCURE, HINGED, OR
SILICON JOIN.

PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

It is the responsibility of the Builder / Applicant
to incorporate all conditions of the Planning
Approval into revised documentation submitted
to support an application for a Building Permit.



THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:
REV. DESCRIPTION:
"1" CONTRACT CSM235
"2" ENGINEERS
"3" PRESTART: VO1 (ITEMS 1-120),
VO2 (ITEMS 1-2) & VO3 (1 ITEM)
VO4 (ITEMS 1-2)

INT. ZL
RX
TN
SA
RX
22.04.2024

DATE:
30.11.2023
14.12.2023
07.02.2024
08.04.2024

CLIENT:

LIU

SITE ADDRESS:

LOT 50 (#59A) ROME ROAD
MELVILLE WA 6156

SALES: CM DRAWN: RX CHECKED: KB

101 INDIVIDUAL

UPPER FLOOR PLAN (A2)

DATE: 23/04/2024

SCALE: 1:1, 1:100

REVISION N°:

04

SHEET N°:

07

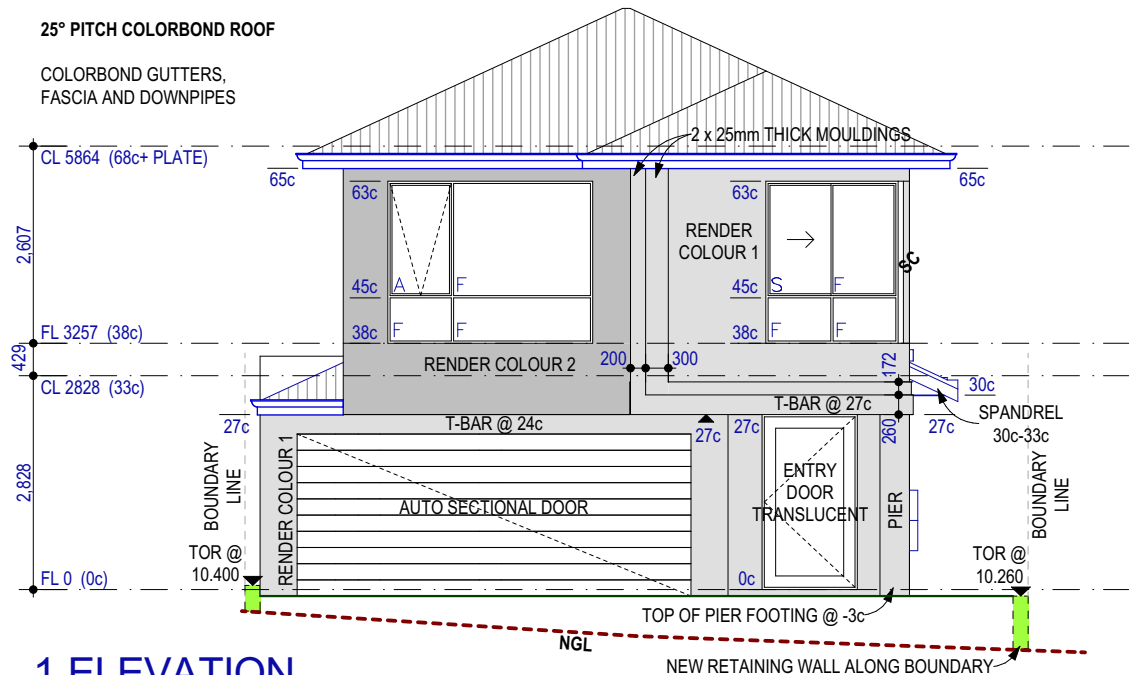
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JOB N°:

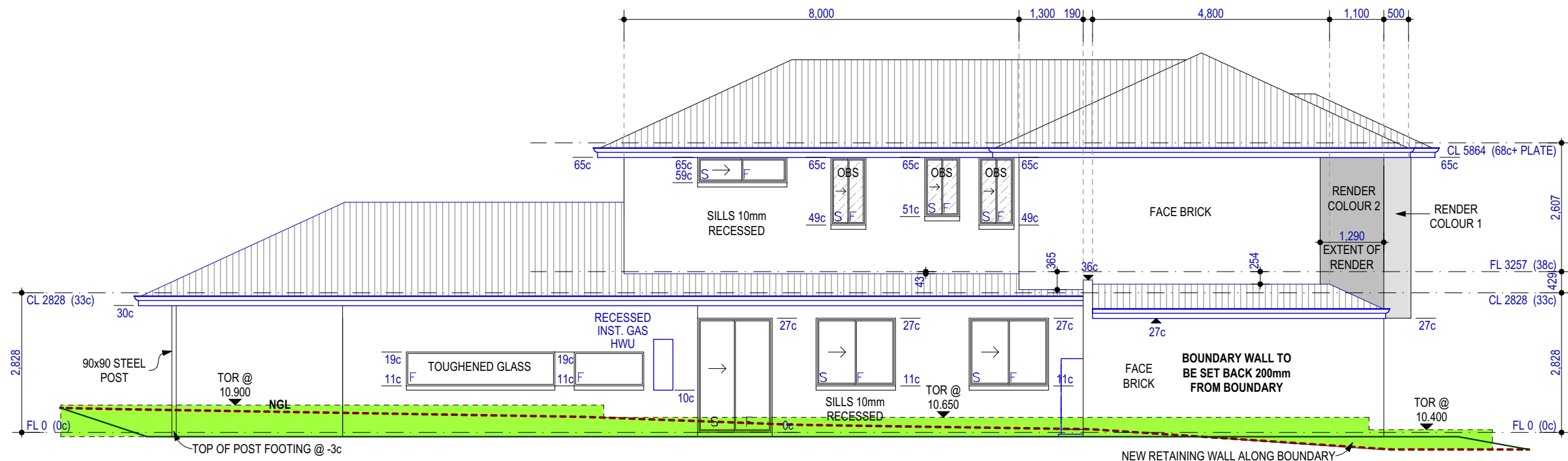
2309015

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	123.561	53.760
HOUSE - UPPER	111.516	46.760
GARAGE	36.897	24.560
ALFRESCO	26.244	21.780
PORCH	4.800	8.800
TOTAL	303.018 m²	

PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT



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to incorporate all conditions of the Planning
Approval into revised documentation submitted
to support an application for a Building Permit.



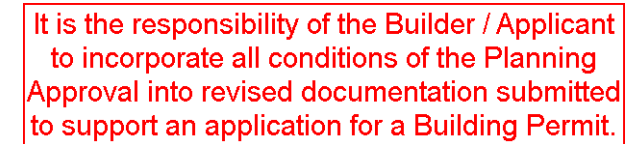
THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :
OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

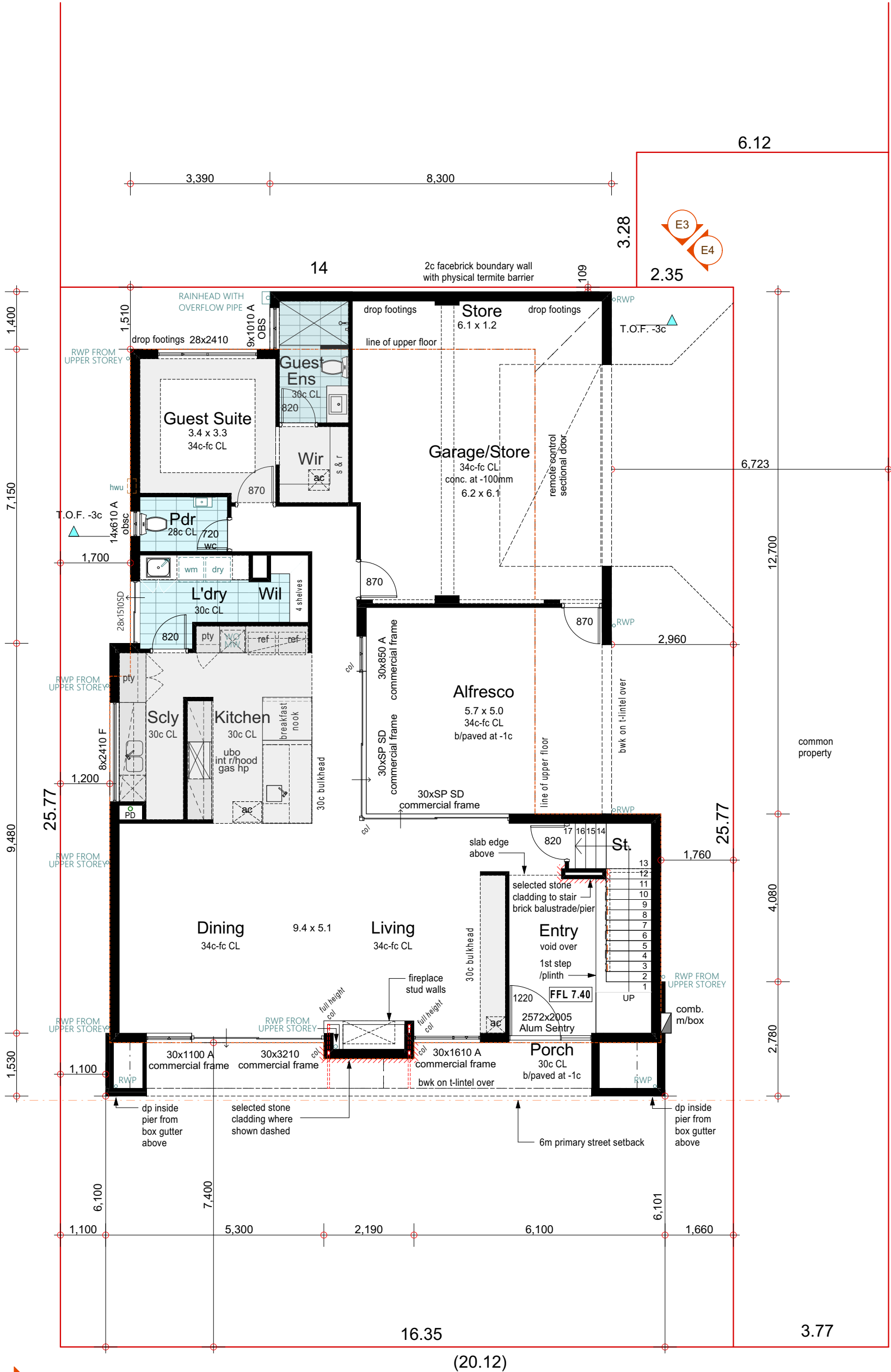
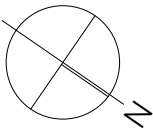
VARIATIONS:			
REV:	DESCRIPTION:	INT:	DATE:
'1'	CONTRACT CSM235	ZL	30.11.2023
	AC PLAN	RX	14.12.2023
'2'	ENGINEERS	TN	07.02.2024
'3'	PRESTART: VO1 (ITEMS 1-120), VO2 (ITEMS 1-2) & VO3 (1 ITEM) VO4 (ITEMS 1-2)	SA	08.04.2024
'4'		RX	22.04.2024
'5'			
'6'			
'7'			

CLIENT: **LIU**
SITE ADDRESS:
**LOT 50 (#59A) ROME ROAD
MELVILLE WA 6156**
SALES: CM DRAWN: RX CHECKED: KB

101 INDIVIDUAL ELEVATIONS 01	
DATE: 23/04/2024 SCALE: 1:100 REVISION N°: 04	SHEET N°: 08 of 19 JOB N°: 2309015



JOB N°: 0000015



DESIGN NOTES
ROOF 3°26' PORCH CONCEALED
ROOF PITCH
20°49' GROUND & UPPER FLOOR
ROOF PITCH
METAL ROOF

34c-fc GROUND FLOOR
33c+PL UPPER FLOOR

RENDER TO ALL ELEVATIONS
WITH 2c FACEBRICK TO BOUNDARY
WALLS

SITE REQUIREMENTS
ZONING - R15

SITE AREA + CP - 479.5m²
SITE COVER % ALLOWED - 50%
SITE COVER - 238m²
SITE COVER % - 49.65%

PROPOSED T & R Heng RESIDENCE

#1/15 Simpson Street
APPLECROSS
DATE: 20/12/2023
DRAWN: DB
REP: RF
JOB No: 17734 PD
CUSTOM

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Document Set ID: 6590491
Version: 1, Version Date: 22/01/2024

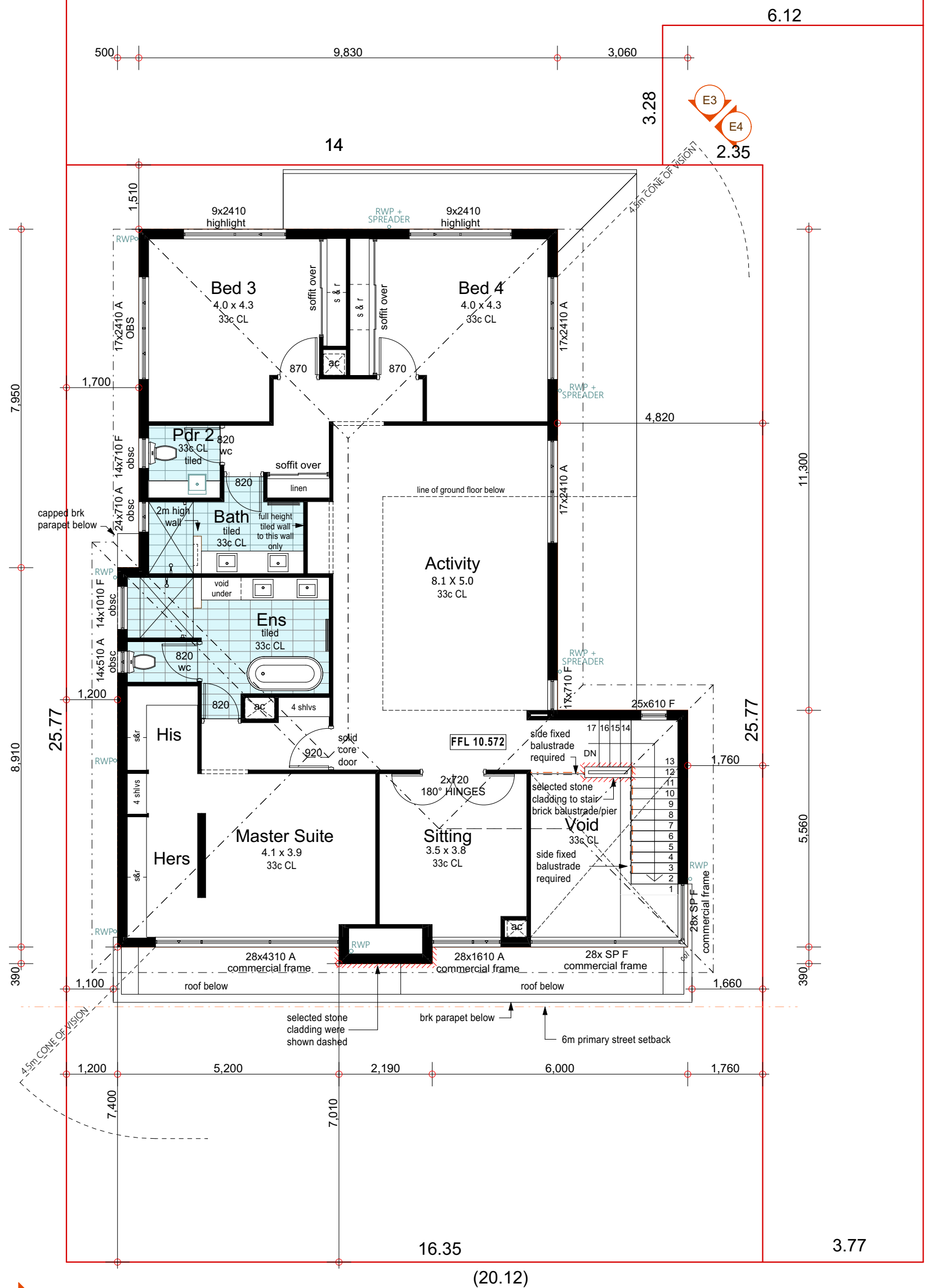
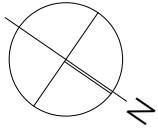
AREAS		
. Ground Floor	143.46	(64.280m)
. Upper Floor	188.40	(77.078m)
. Garage/Store	47.86	
. Alfresco	29.92	
. Porch	16.85	
	426.49 m ²	

GROUND FLOOR PLAN

SCALE: 1:100



WEBB & BROWN-NEAVES 1978



DESIGN NOTES

ROOF 3°26' PORCH CONCEALED
ROOF PITCH
20°49' GROUND & UPPER FLOOR
ROOF PITCH
METAL ROOF

34c-fc GROUND FLOOR
33c+PL UPPER FLOOR

RENDER TO ALL ELEVATIONS
WITH 2c FACEBRICK TO BOUNDARY
WALLS

SITE REQUIREMENTS

ZONING - R15

SITE AREA + CP - 479.5m²
SITE COVER % ALLOWED - 50%
SITE COVER - 238m²
SITE COVER % - 49.65%

PROPOSED
T & R Heng
RESIDENCE

#1/15 Simpson Street
APPLECROSS

DATE: 20/12/2023

DATE: 03/12/2025
DRAWN: DB

REP: RF

JOB No: 17734 PD

JOB NO.
CUSTOM

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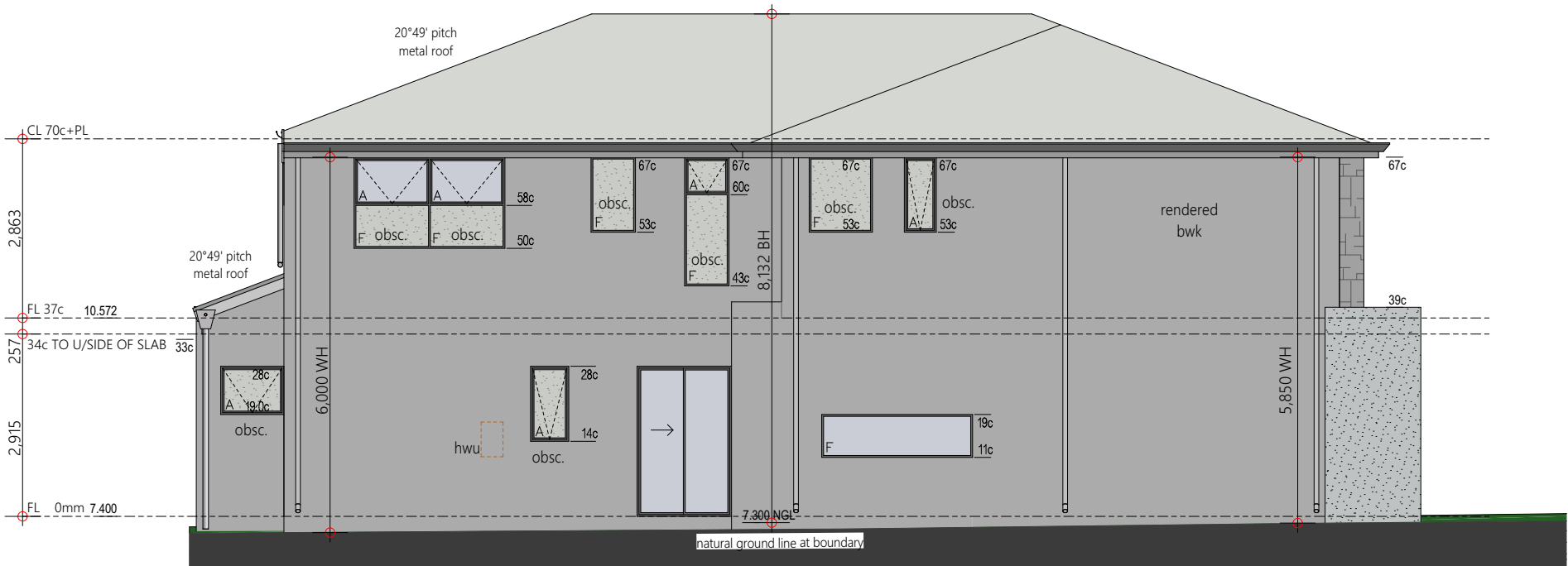
FOR ANY PURPOSE
Document Set ID: 6590491

Revision: 1, Version Date: 22/01/2024

AREAS		
Ground Floor	143.46	(64.280m)
Upper Floor	188.40	(77.078m)
Garage/Store	47.86	
Alfresco	29.92	
Porch	16.85	
	426.49 m ²	

UPPER FLOOR PLAN

SCALE: 1:100

ELEVATION 1
1:100ELEVATION 2
1:100

PROPOSED T & R Heng RESIDENCE

#1/15 Simpson Street
APPLECROSS

DATE: 20/12/2023

DRAWN: DB

REP: RF

JOB No: 17734 PD

CUSTOM

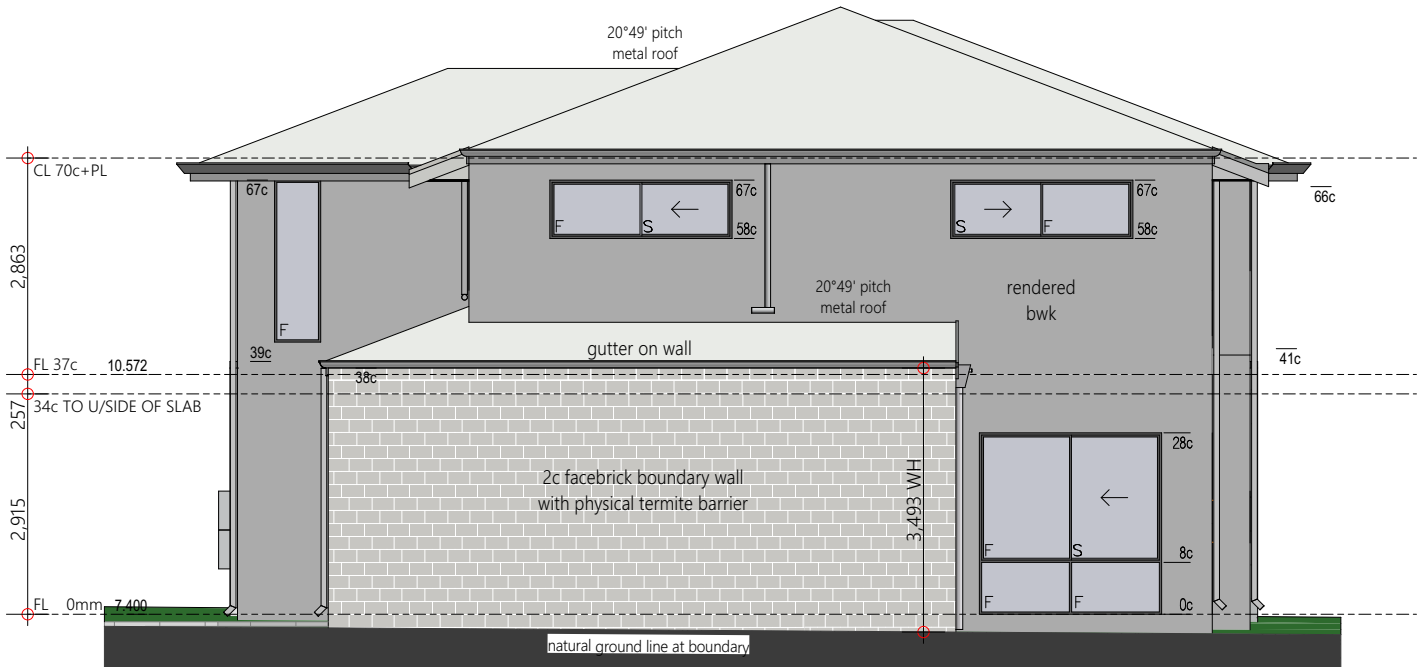
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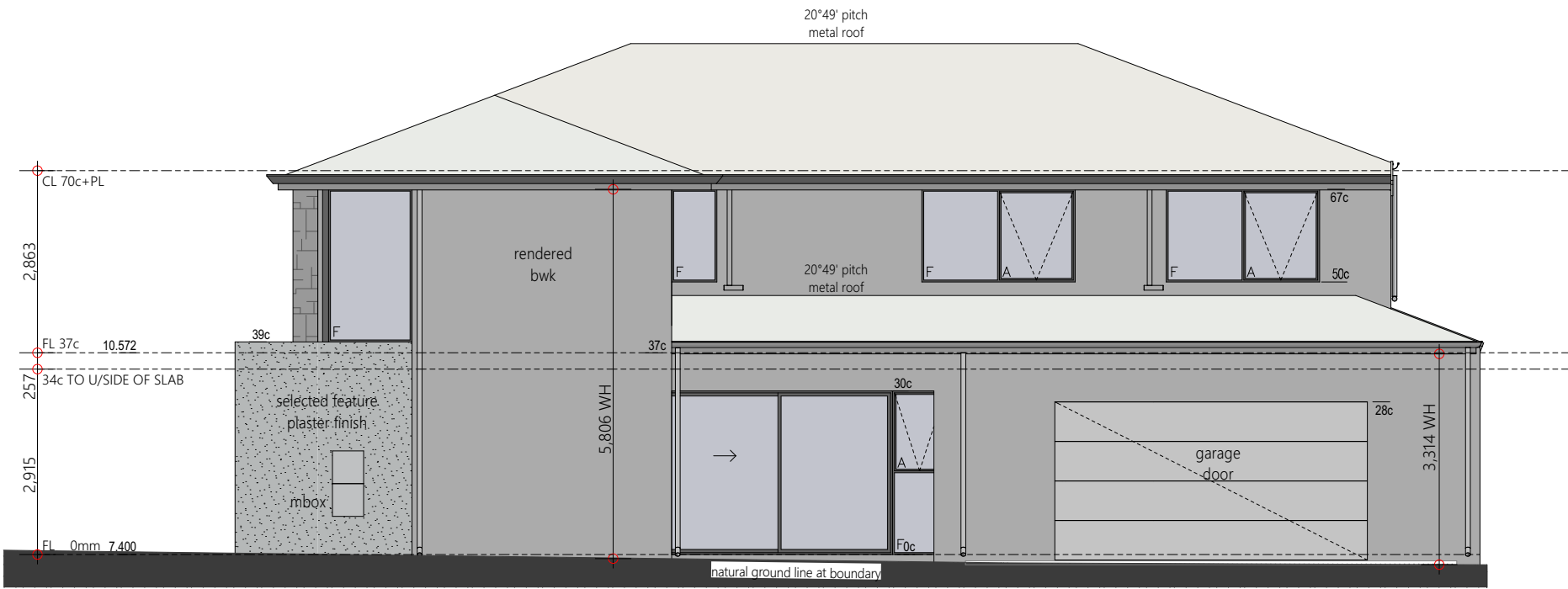
Version: 1, Version Date: 22/01/2024

ELEVATIONS 1

SCALE: 1:100



ELEVATION 3
1:100



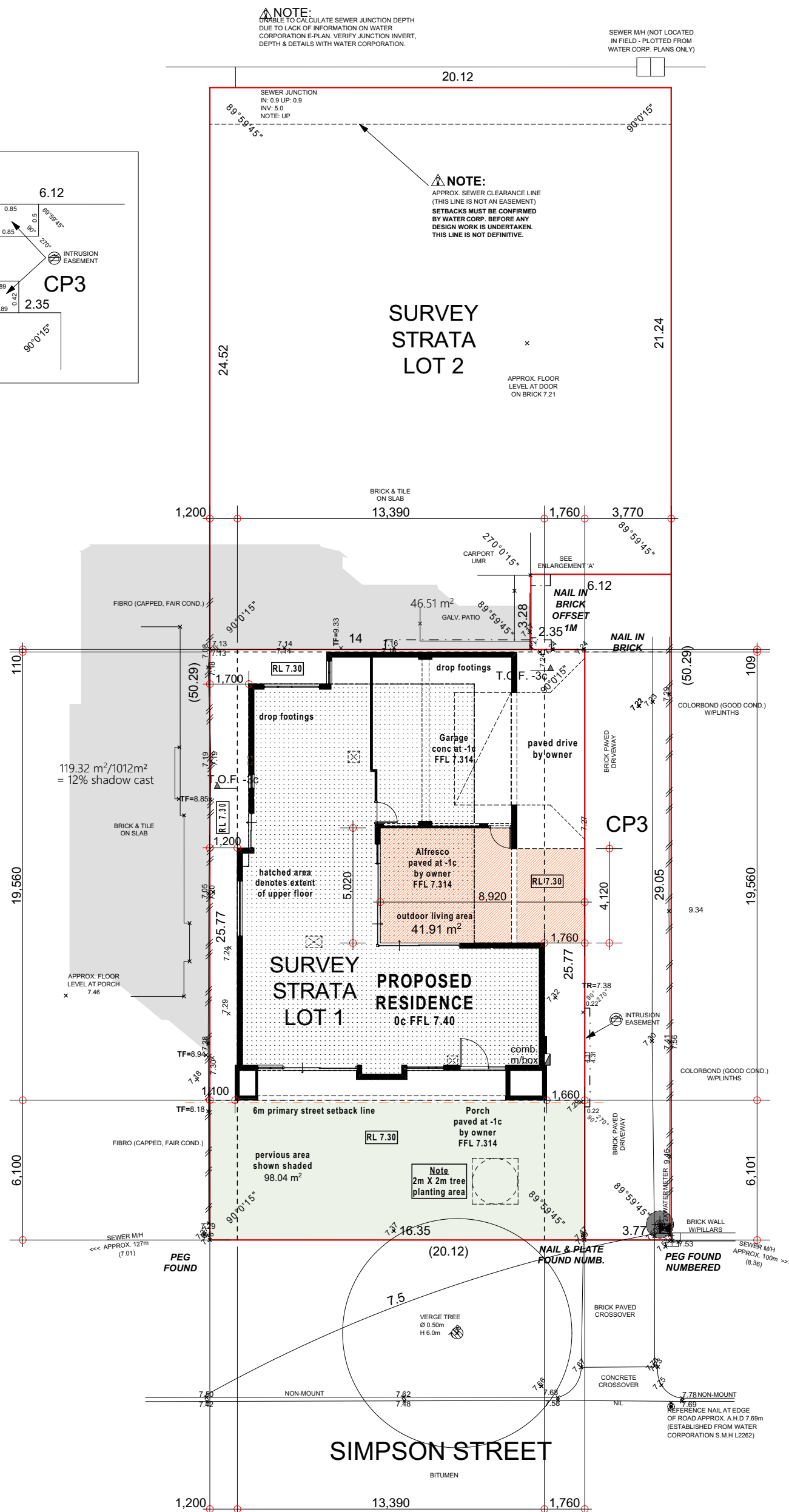
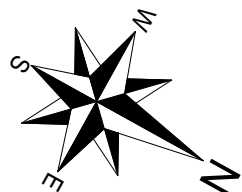
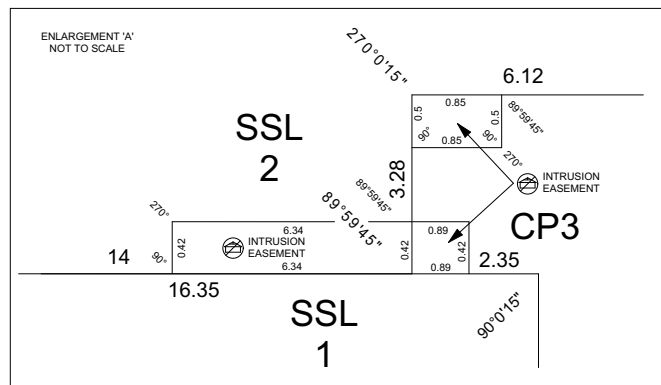
ELEVATION 4
1:100

PROPOSED
T & R Heng
RESIDENCE

#1/15 Simpson Street
APPLECROSS
DATE: 20/12/2023
DRAWN: DB
REP: RF
JOB No: 17734 PD
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Version: 1, Version Date: 22/01/2024



Site Cover/Open Space	
Zoning:	R20
Min total % of site:	50%
Site Area + CP:	479.5m ²
Building Area:	221m ²
Open Space Provided	54%

Landscape Cover to Front Setback

Zoning:	R20
Pervious Area:	98.04m ²
Impervious Area:	0.0m ²
Setback Area:	98.04m ²
Pervious % Provided	100%

PROPOSED
T & R Heng
RESIDENCE

#1/15 Simpson Street
APPLECROSS

DATE: 20/12/2023
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COTTAGE
SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 691

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

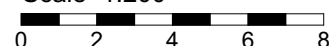
JOB #	560726
CLIENT	Tommy Heng
ADDRESS	#15 Simpson Street
SUBURB	Applecross
LGA	CITY OF MELVILLE
DRAWN	C. Weightman

GPS	Lat: -32.016705	Long: 115.833915
ORDER #	17734	
LOT	Survey Strata Lot 1 (SP 15900)	
AREA	421m ²	VOL. 1794 FOL.437
DATE	05 Dec 23	SSA No

ROADS	Bitumen
KERBS	Non-Mount
FOOTPATH	Nil
SOIL	Sand
DRAINAGE	Good
VEGETATION	Refer to Survey

ELEC.	U/Ground
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No (Approximate Only) Confirms With Shire

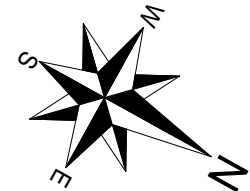
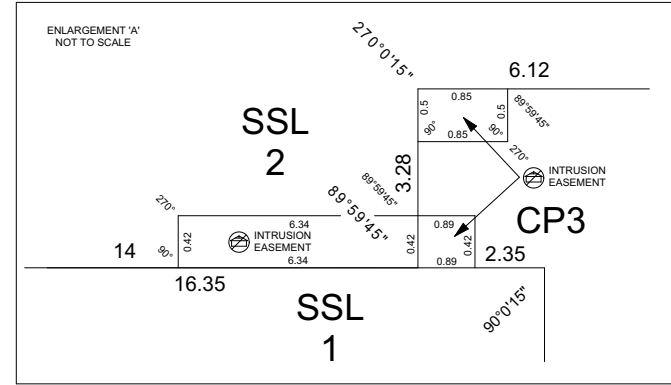
Scale 1:200



PROPOSED SITE

SCALE: 1:200

⊕	POWER DOME
⊙	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
⊕	TOP PILLAR/POST
TR=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE



PROPOSED
T & R Heng
RESIDENCE

#1/15 Simpson Street
APPLECROSS
DATE: 20/12/2023
DRAWN: DB
REP: RF
JOB No: 17734 PD
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Osborne Park, WA 6017

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Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 560726
CLIENT Tommy Heng
ADDRESS #15 Simpson Street
SUBURB Applecross
LGA CITY OF MELVILLE
DRAWN C. Weightman

GPS Lat: -32.016705 Long: 115.833915
ORDER # 17734
LOT Survey Strata Lot 1 (SP 15900)
AREA 421m² VOL. 1794 FOL.437
DATE 05 Dec 23 SSA No

ROADS Bitumen
KERBS Non-Mount
FOOTPATH Nil
SOIL Sand
DRAINAGE Good
VEGETATION Refer to Survey

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

