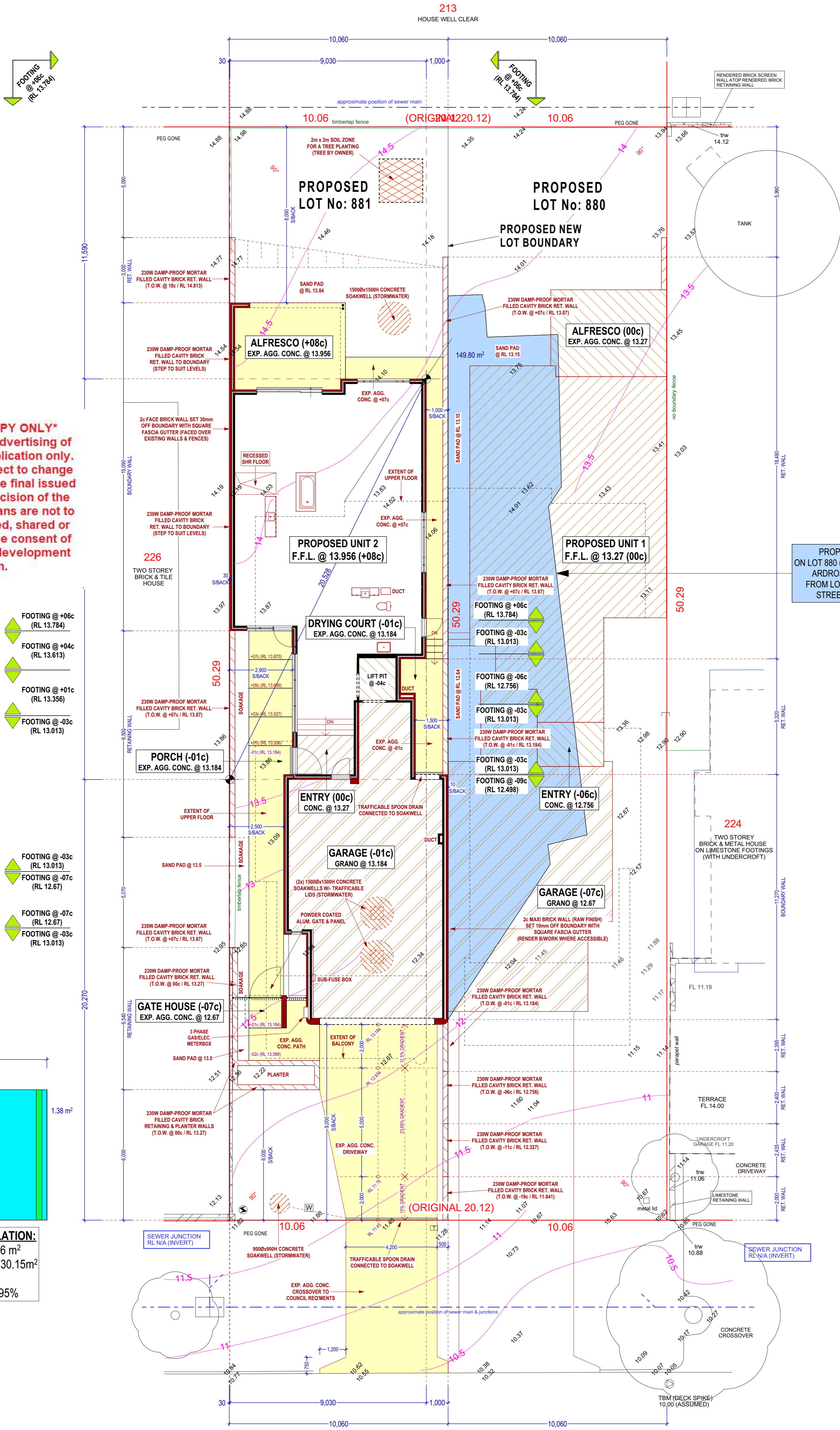


NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.



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- FOOTING @ +06c (RL 13.784)
- FOOTING @ +04c (RL 13.613)
- FOOTING @ +01c (RL 13.356)
- FOOTING @ -03c (RL 13.013)
- FOOTING @ -03c (RL 13.013)
- FOOTING @ -07c (RL 12.67)
- FOOTING @ -03c (RL 13.013)



IMPERVIOUS MATERIAL CALCULATION:
 DNT SETBACK AREA = 60.36 m²
 IMPERVIOUS MATERIAL = 30.15m²
 TOTAL PERCENTAGE OF IMPERVIOUS MATERIAL = 49.95%

PROPOSED OVERSHADOW ON LOT 880 (#10A) MILLINGTON STREET, ADDRESS AT NOON, JUNE 21st FROM LOT 881 (#10B) MILLINGTON STREET IS 149.80m² (29.60%)

JOB No: 2351s & 2352s	SURVEY JOB No: 73754
CLIENT/S: CYGNET INVESTMENTS PTY LTD	
SITE ADDRESS: PROPOSED LOT 881 (ORIG. LOT 225) (#10B) MILLINGTON STREET, ADDRESS	
LOCAL AUTHORITY: CITY OF MELVILLE	TITLE DETAILS
LOT NOS: 225	C/T VOL: 1089
PLAN: 5059(2)	FOL: 69

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: YES
TELECOM: YES	WATER: YES
SEWERAGE: YES (SMH NOT SIGHTED) APPROX 1.6M TO INVERT	
ROAD: BITUMEN	
KERB: BARRIER (cracked)	
FOOTPATH: NIL	
VEGETATION: ESTABLISHED GARDENS & TREES	
SOIL: SAND	
VIEWS: DISTANT VIEWS, RIVER	
REPEP: REQUIRED	REPEP TYPE: OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

LEGEND			
[Symbol]	NBN PIT	[Symbol]	TREE
[Symbol]	TELECOM PIT	[Symbol]	PALM TREE
[Symbol]	COMMUNICATION PIT	[Symbol]	GRASS TREE
[Symbol]	ELECTRICITY	[Symbol]	TREE STUMP
[Symbol]	POWER DOME	[Symbol]	BOLLARD
[Symbol]	POWER POLE	[Symbol]	STREET LAMP
[Symbol]	FENCE END	[Symbol]	GRATED DRAIN
[Symbol]	COLUMN	[Symbol]	SIDE ENTRY PIT
[Symbol]	PILLAR	[Symbol]	DRAINAGE MANHOLE
[Symbol]	TOP OF WALL	[Symbol]	TOP OF FENCE
[Symbol]	TOP OF RETAINING WALL	[Symbol]	TOP OF FOOTING
[Symbol]	IRRIGATION	[Symbol]	HYDRANT
[Symbol]	STOP VALVE	[Symbol]	PRE-LAID WATER PIPE
[Symbol]	WATER METER	[Symbol]	SEWERAGE MANHOLE
[Symbol]	SEWERAGE MANHOLE	[Symbol]	SEWERAGE INSPECTION LID

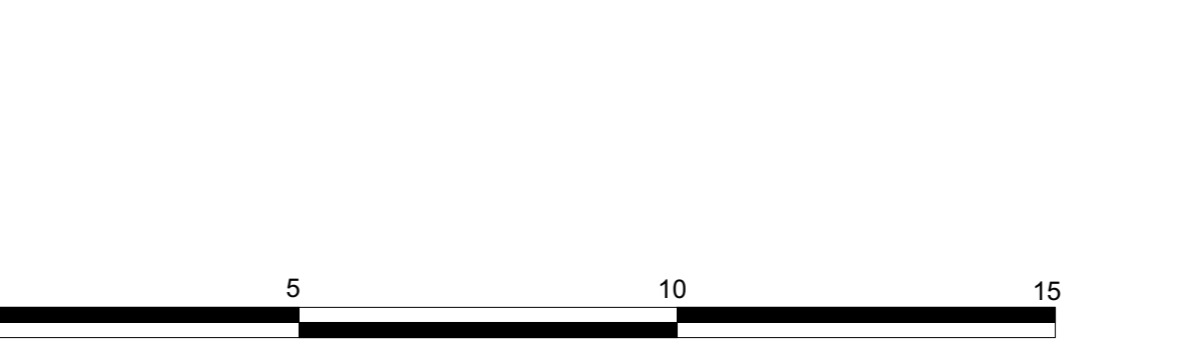
NOTES
 BLOCK LOCATED MORE THAN 1 KILOMETRE FROM THE OCEAN.
 BLOCK LOCATED ABOUT 660 METRES FROM THE SWAN RIVER.

ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY WATER CORPORATION SPATIAL INFORMATION MANAGEMENT. REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.
 POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEGGED CARRIED OUT AT TIME OF SURVEY.
 CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS.

OWNER NOTE:
 OWNER TO PROVIDE A SEWER JUNCTION CONNECTION POINT WITH THE PROPERTY FOR BUILDER TO CONNECT TO.

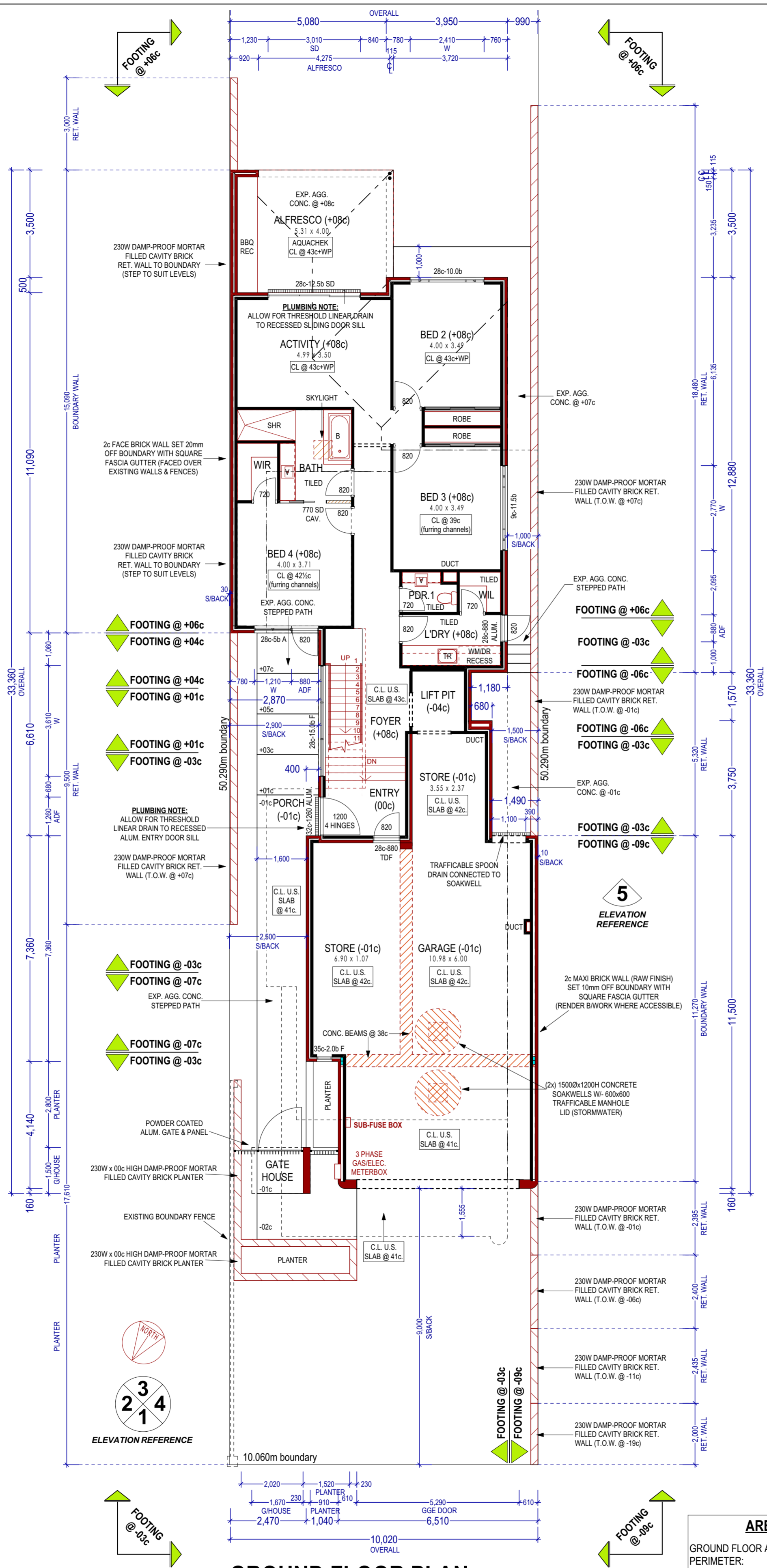
SAGE BY ATRIUM
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 ADDRESS: WA 6153,
 PH: (08) 9310 8855
 FAX: (08) 9310 8889
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PROPOSED RESIDENCE		SHEET 2 OF 5	
FOR:- CYGNET INVESTMENTS Pty Ltd. (UNIT 2)		JOB NUMBER: 2352s (UNIT 2)	
LOT N°: PROPOSED LOT 881 (ORIG. LOT 225) (#10B) MILLINGTON STREET, ADDRESS.		DRAWN DATE CHANGES	
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SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3



R. G. LESTER & ASSOCIATES
 LICENSED LAND & ENGINEERING SURVEYORS
 FIRST FLOOR EAST | GIBBERD ROAD
 BALCATT | WA | 6021
 PH: 9448 5009
 admin@lestersurveys.com.au

REF NO: 73754 FILE NO: 7499 DATE: 09.07.25 DRAWN: AC
SITE PLAN 1:100



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GROUND FLOOR PLAN
 SCALE 1:100

AREAS	
GROUND FLOOR AREA:	130.89m ²
PERIMETER:	54.92m
UPPER FLOOR AREA:	162.92m ²
PERIMETER:	64.76m
GARAGE/STORE AREA:	90.72m ²
ALFRESCO AREA:	21.17m ²
BALCONY AREA:	26.16m ²
TOTAL AREA	431.86m²



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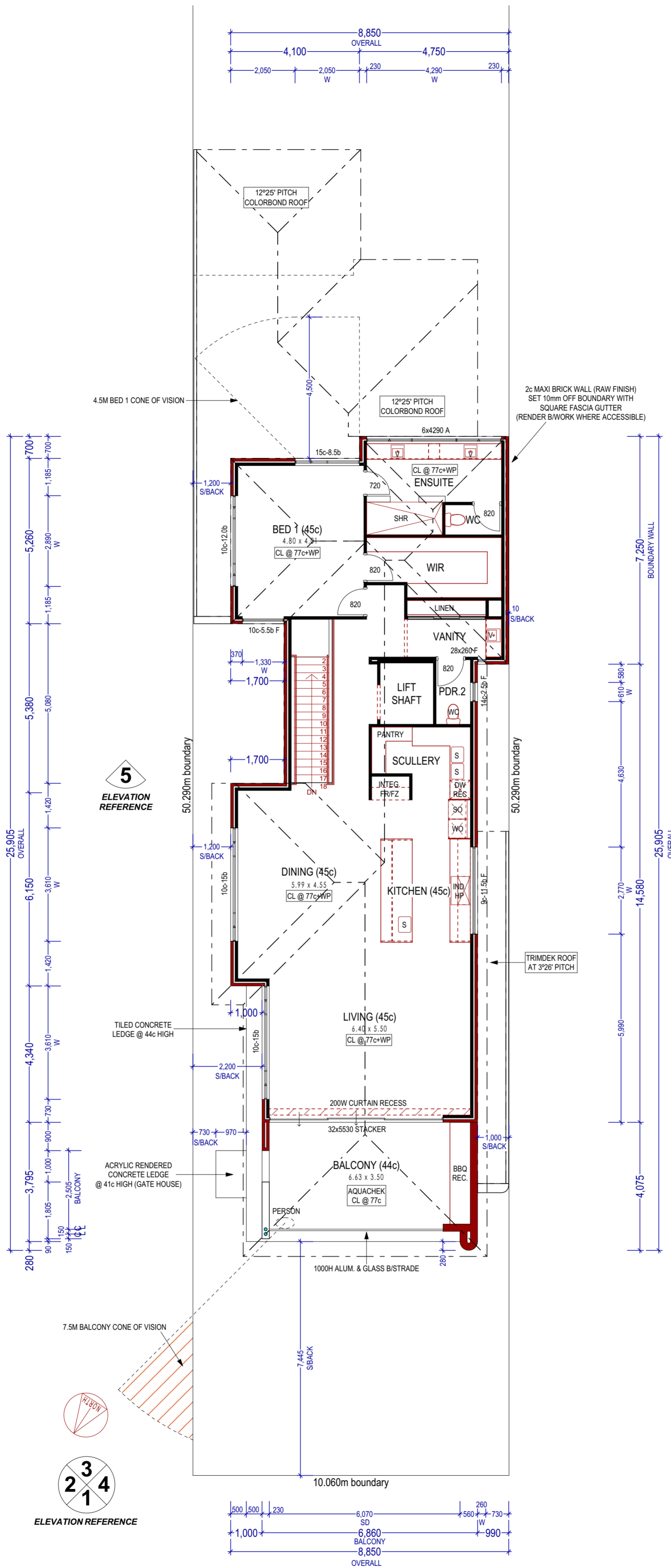
PROPOSED RESIDENCE
 FOR:- CYGNE INVESTMENTS Pty Ltd. (UNIT 2)
 LOT N^o: PROPOSED LOT 881 (ORIG. LOT 225)
 (#10B) MILLINGTON STREET, ARDROSS.

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SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3

SHEET 3 OF 5
 JOB NUMBER:
2352s (UNIT 2)

DRAWN	DATE	CHANGES
PVN	11/11/2025	PN 13/03/2026



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UPPER FLOOR PLAN

SCALE 1:100



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PROPOSED RESIDENCE

FOR:- **CYGN INVESTMENTS Pty Ltd. (UNIT 2)**
 LOT N°: **PROPOSED LOT 881 (ORIG. LOT 225)**
 (#10B) MILLINGTON STREET, ARDROSS.

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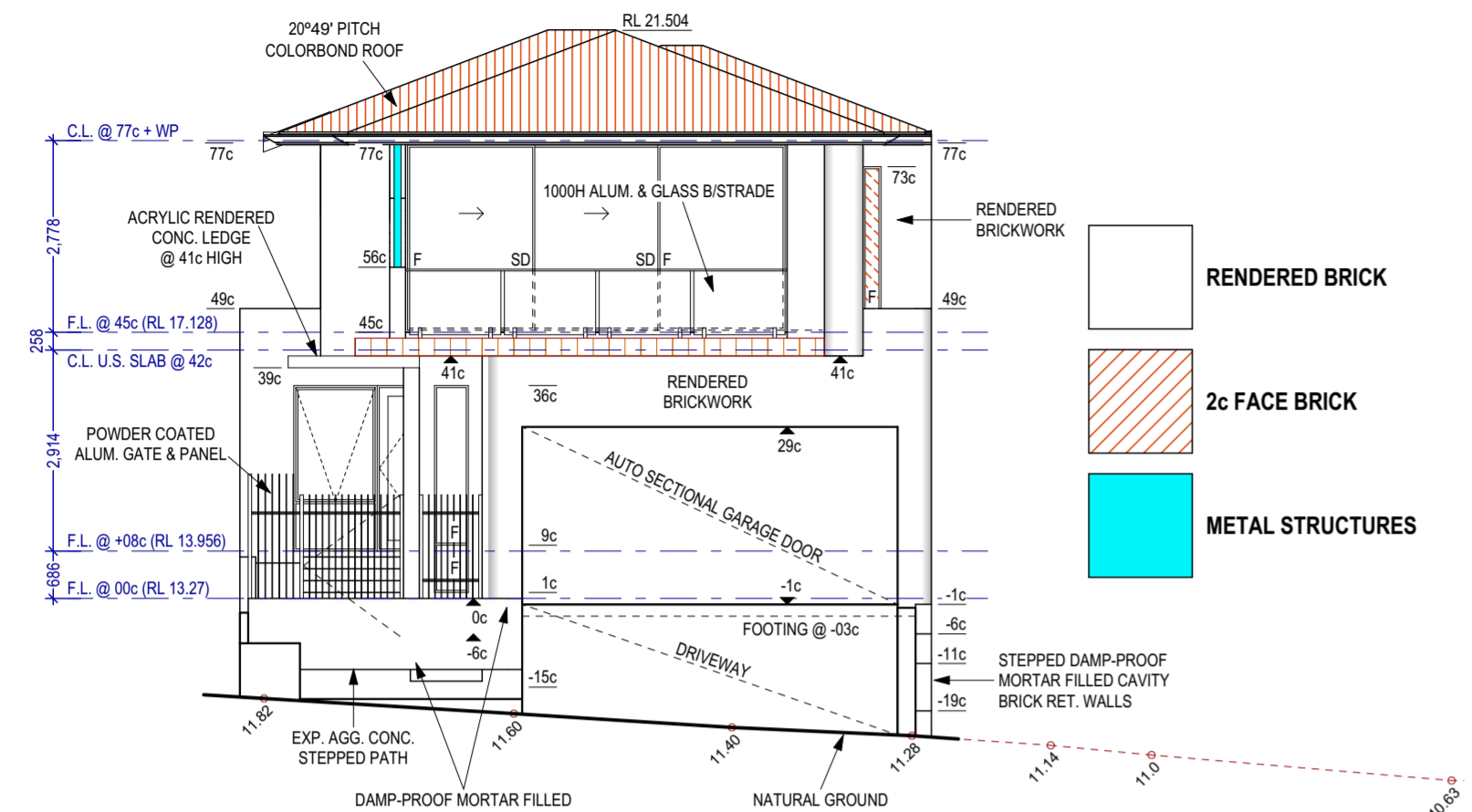
SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3

SHEET 4 OF 5

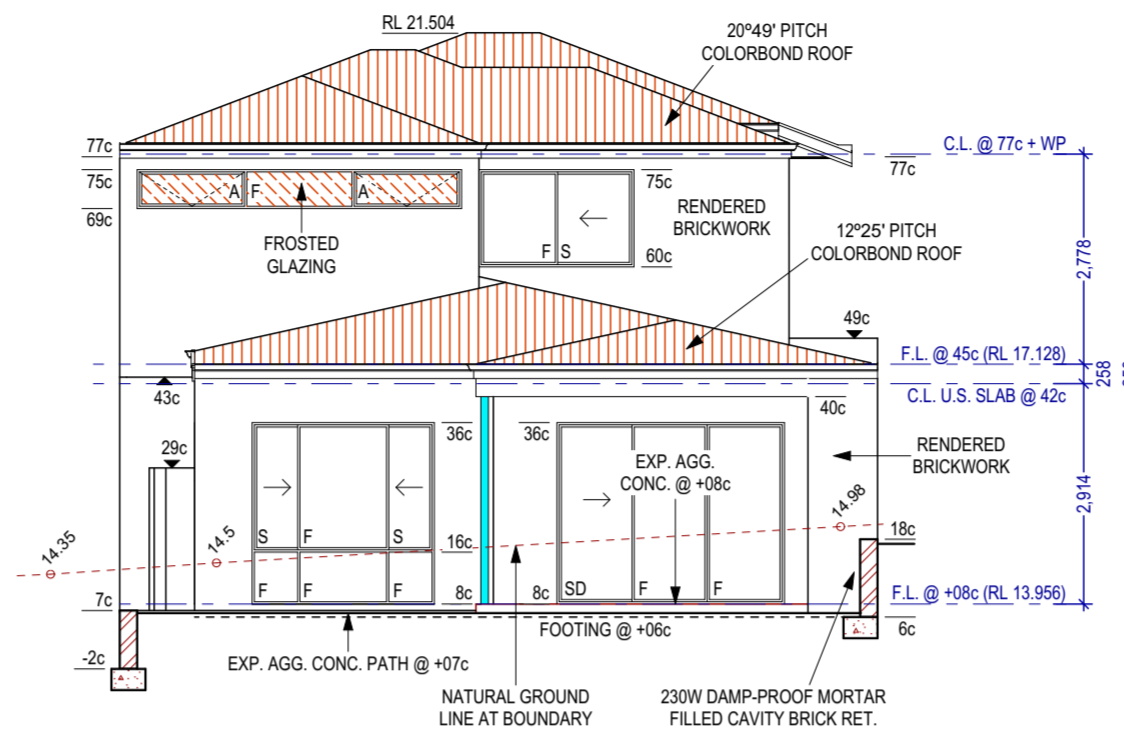
JOB NUMBER:
2352s (UNIT 2)

DRAWN	DATE	CHANGES
PVN	11/11/2025	PN 13/03/2026

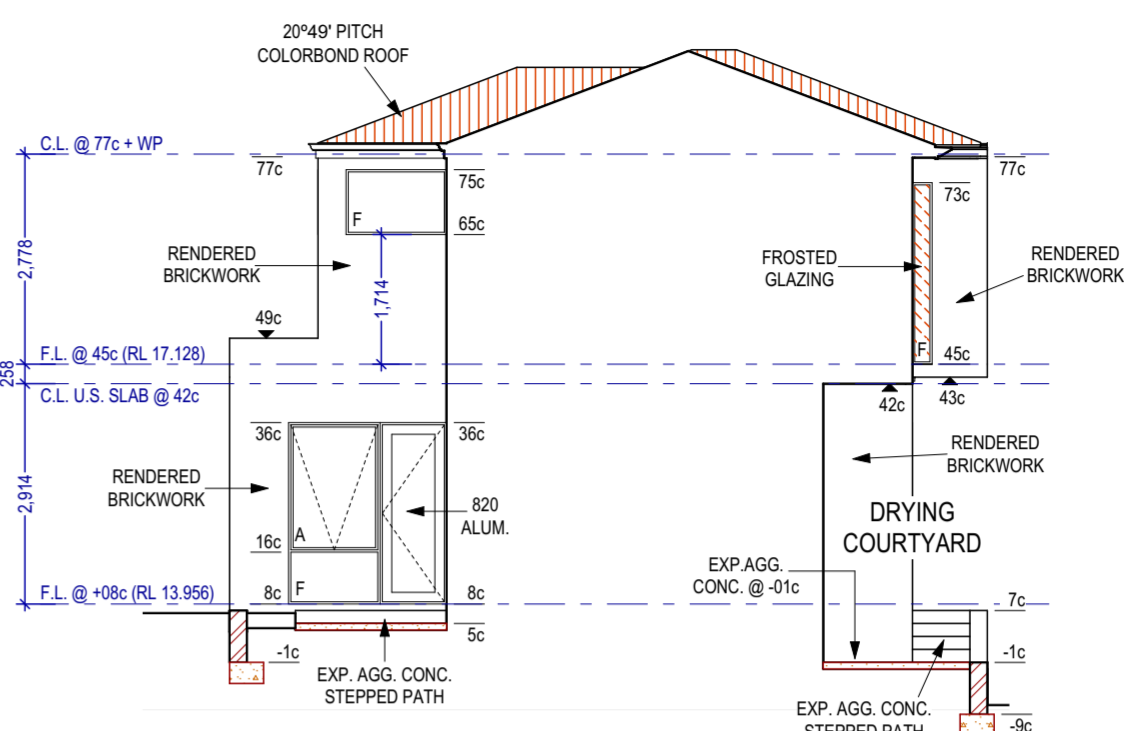
3° 26' PITCH "TRIMDEK" ROOF (1m RUN = 0.06m RISE)
 12° 25' PITCH COLORBOND ROOF (1m RUN = 0.22m RISE)
 20° 49' PITCH COLORBOND ROOF (1m RUN = 0.38m RISE)



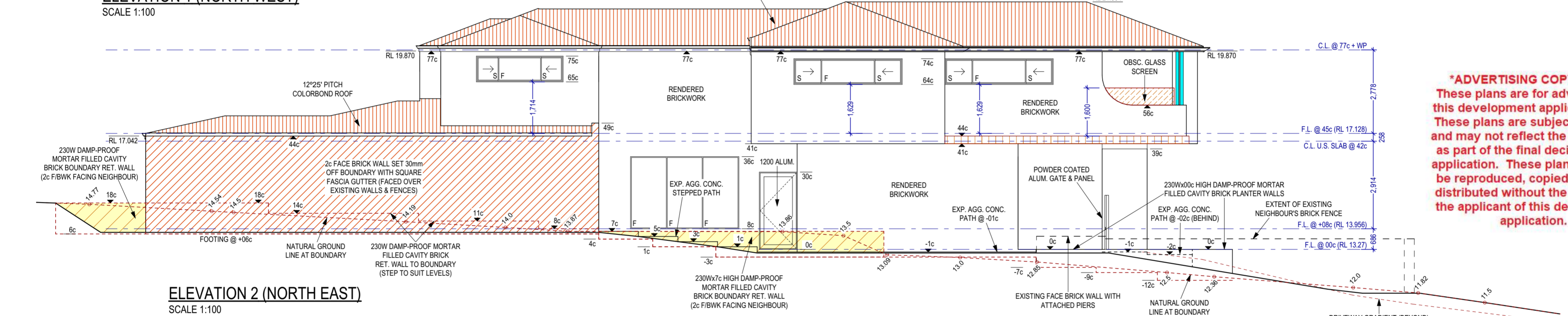
ELEVATION 1 (NORTH WEST)
SCALE 1:100



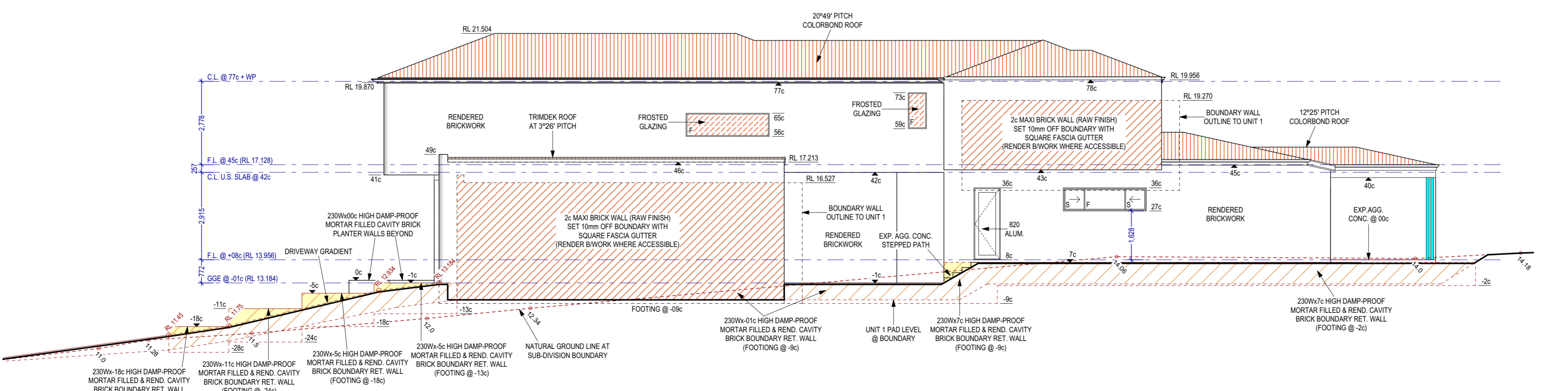
ELEVATION 3 (SOUTH EAST)
SCALE 1:100



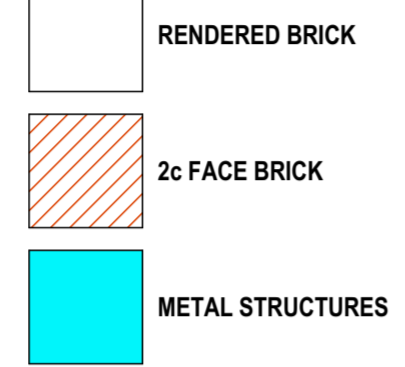
ELEVATION 5 (NORTH WEST)
SCALE 1:100



ELEVATION 2 (NORTH EAST)
SCALE 1:100



ELEVATION 4 (SOUTH WEST)



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HEET 5 OF 5 3 NUMBER: 152s (UNIT 2)	CHANGES DATE 11/11/2025 P/N	WIND CLASSIFICATION N3
	CORROSION CLASSIFICATION R3	BAL RATING N/A
	SITE CLASSIFICATION A	

PROPOSED RESIDENCE
 FOR:- **CYGNIE INVESTMENTS Pty Ltd. (UNIT 1)**
LOT N°: PROPOSED LOT 881 (ORIG. LOT 225 (#10B) MILLINGTON STREET, ARDRIC)
NOTE: ALL PLANS & ELEVATIONS ARE DIAGRAMATIC ONLY AND SHOULD NOT BE USED TO SCALE EXACT SIZES. BRICK MEASUREMENTS DO NOT ALLOW FOR PLASTERING FINISH. ATRIUM HOMES WA Pty Ltd AND THERE IS NO IMPLIED LICENCE FOR ITS USE.

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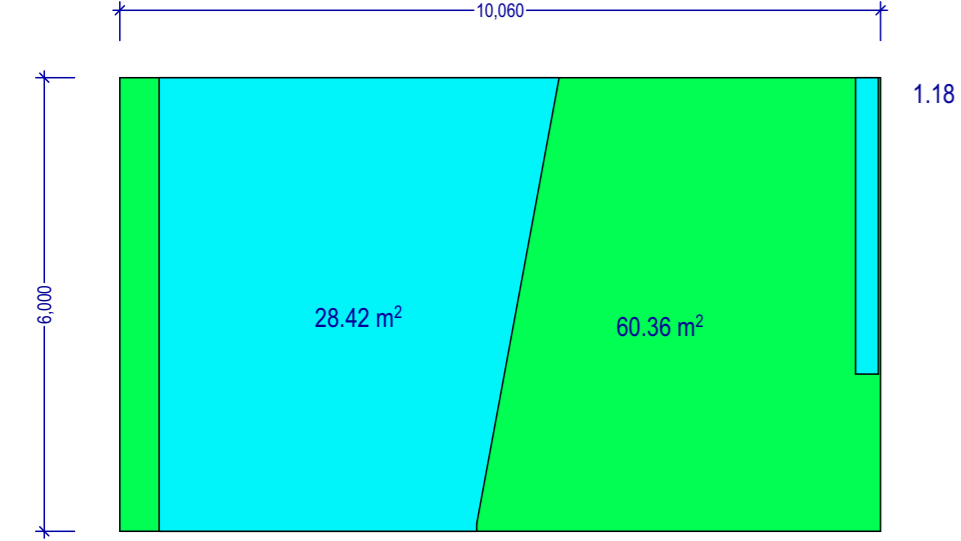
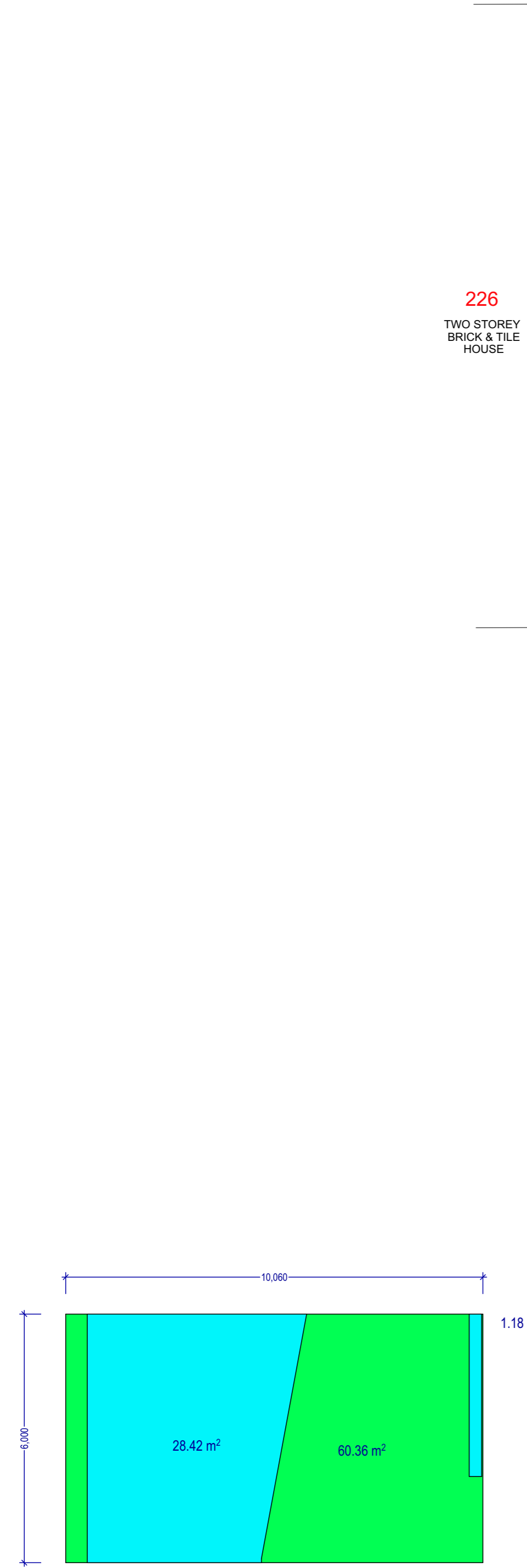
LOT No: 880
AREA: 506m²

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.



213
HOUSE WELL CLEAR

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IMPERVIOUS MATERIAL CALCULATION:
FRONT SETBACK AREA = 60.36 m²
TOTAL IMPERVIOUS MATERIAL = 29.6m²
TOTAL PERCENTAGE OF IMPERVIOUS MATERIAL = 49.03%

PROPOSED OVERSHADOW ON LOT 224 (#8) MILLINGTON STREET, ADDRESS AT NOON, JUNE 21st FROM UNIT 1, LOT 225 (#10a) MILLINGTON STREET IS 110.82m² (10.95%)

- FOOTING @ -02c (RL 13.098)
- FOOTING @ -06c (RL 12.756)
- FOOTING @ -06c (RL 12.756)
- FOOTING @ -09c (RL 12.498)
- FOOTING @ -09c (RL 12.498)
- FOOTING @ -11c (RL 12.327)
- FOOTING @ -11c (RL 12.327)
- FOOTING @ -15c (RL 11.984)
- FOOTING @ -15c (RL 11.984)
- FOOTING @ -09c (RL 12.498)

JOB No: 2351s & 2352s SURVEY JOB No: 73754

CLIENT/S: CYGNE INVESTMENTS PTY LTD
SITE ADDRESS: PROPOSED LOT 880 (ORIG. LOT 225) (#10A) MILLINGTON STREET, ADDRESS

LOCAL AUTHORITY: CITY OF MELVILLE

TITLE DETAILS

LOT NOS: 225 C/T VOL: 1089

PLAN: 5059(2) FOL: 69

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY:	UNDERGROUND	GAS:	YES
TELECOM:	YES	WATER:	YES
SEWERAGE:	YES (SMH NOT SIGHTED) APPROX 1.6M TO INVERT		
ROAD:	BITUMEN		
KERB:	BARRIER (cracked)		
FOOTPATH:	NIL		
VEGETATION:	ESTABLISHED GARDENS & TREES		
SOIL:	SAND		
VIEWS:	DISTANT VIEWS, RIVER		
REPEL:	REQUIRED	REPEL TYPE:	OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

LEGEND

[Symbol]	NBN PIT	[Symbol]	TREE	[Symbol]	GAS
[Symbol]	TELECOM PIT	[Symbol]	PALM TREE	[Symbol]	IRRIGATION
[Symbol]	COMMUNICATION PIT	[Symbol]	GRASS TREE	[Symbol]	HYDRANT
[Symbol]	ELECTRICITY	[Symbol]	TREE STUMP	[Symbol]	STOP VALVE
[Symbol]	POWER DOME	[Symbol]	BOLLARD	[Symbol]	PRE-LAID WATER/PIPE
[Symbol]	POWER POLE	[Symbol]	STREET LAMP	[Symbol]	WATER METER
[Symbol]	FENCE END	[Symbol]	GRATED DRAIN	[Symbol]	SEWERAGE MANHOLE
[Symbol]	COLUMN	[Symbol]	SIDE ENTRY PIT	[Symbol]	SEWERAGE MANHOLE
[Symbol]	PILLAR	[Symbol]	DRAINAGE MANHOLE	[Symbol]	SEWERAGE INSPECTION LID
[Symbol]	TOP OF WALL	[Symbol]	TOP OF FENCE	[Symbol]	TOP OF FOOTING
[Symbol]	TOP OF RETAINING WALL	[Symbol]	TOP OF FENCING	[Symbol]	TOP OF FOOTING

NOTES
BLOCK LOCATED MORE THAN 1 KILOMETRE FROM THE OCEAN.
BLOCK LOCATED ABOUT 660 METRES FROM THE SWAN RIVER.

ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY WATER CORPORATION SPATIAL INFORMATION MANAGEMENT. REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEGG CARRIED OUT AT TIME OF SURVEY.
CHECK TITLE FOR EASEMENTS, CAVETS & COVENANTS.

R. G. LESTER & ASSOCIATES
LICENSED LAND & ENGINEERING SURVEYORS
FIRST FLOOR EAST | 6 GIBBERD ROAD
BALCATT | WA | 6021
PH: 9448 5009
admin@lestersurveys.com.au

REF NO: 73754 FILE NO: 7499 DATE: 09.07.25 DRAWN: AC

SITE PLAN 1:100

OWNER NOTE:
OWNER TO PROVIDE A SEWER JUNCTION CONNECTION POINT WITH THE PROPERTY FOR BUILDER TO CONNECT TO.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

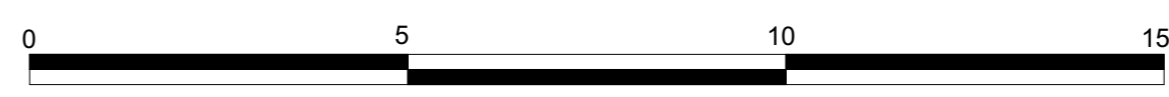
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEGG CARRIED OUT AT TIME OF SURVEY.

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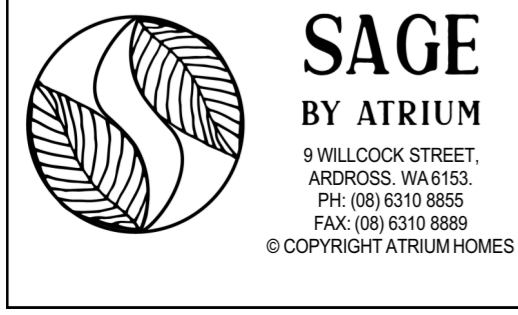
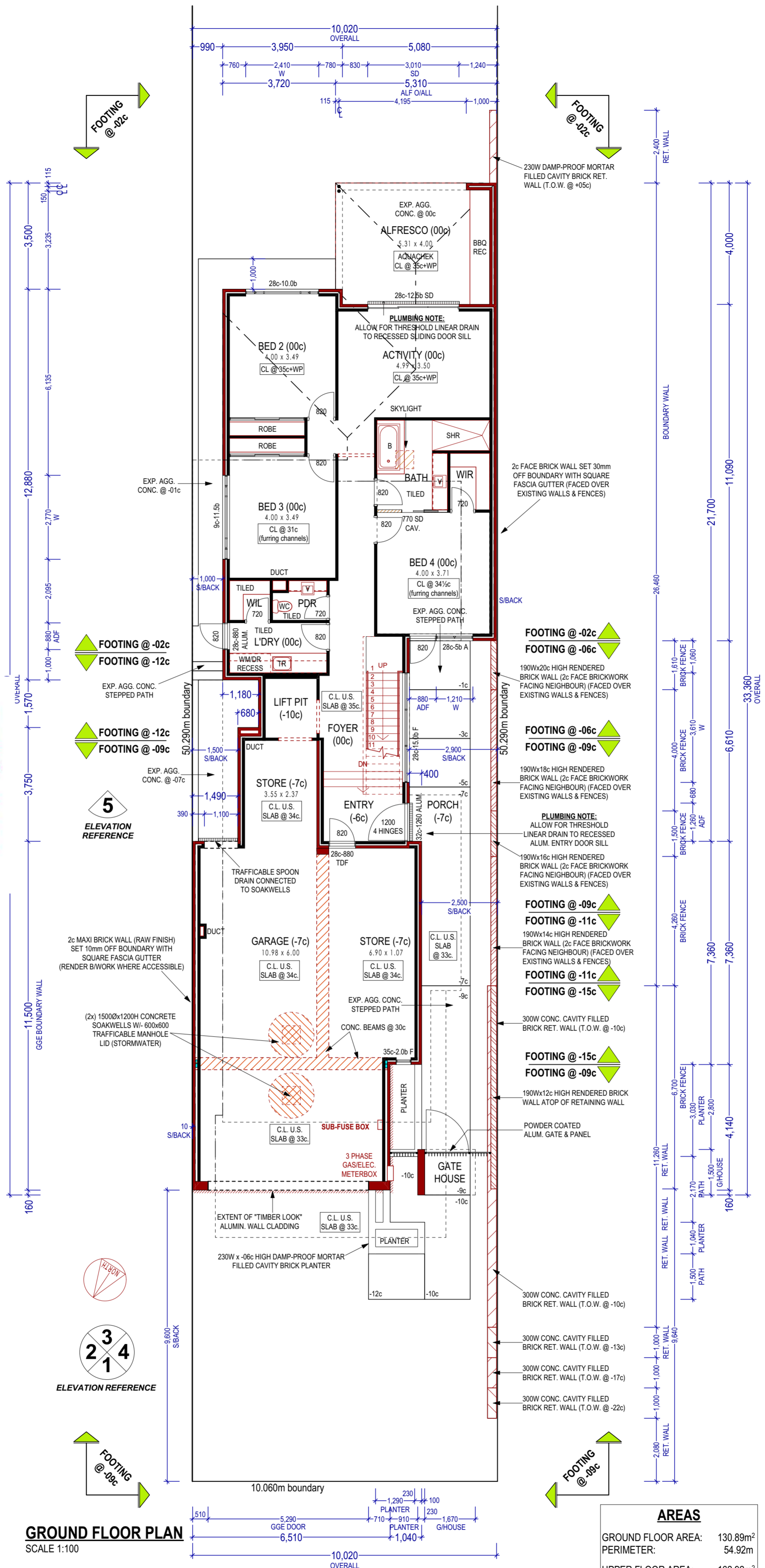
PROPOSED RESIDENCE
FOR:- CYGNE INVESTMENTS Pty Ltd (UNIT 1)
LOT No: PROPOSED LOT 880 (ORIG. LOT 225) (#10A) MILLINGTON STREET, ADDRESS.

SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3

SHEET 2 OF 5
JOB NUMBER: 2351s UNIT 1
DRAWN DATE CHANGES
OJS 11/11/2025 PIN 13/03/2026



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PROPOSED RESIDENCE
 FOR:- CYGNE INVESTMENTS Pty Ltd (UNIT 1)
 LOT N°: PROPOSED LOT 880 (ORIG. LOT 225)
 (#10A) MILLINGTON STREET, ARDROSS.

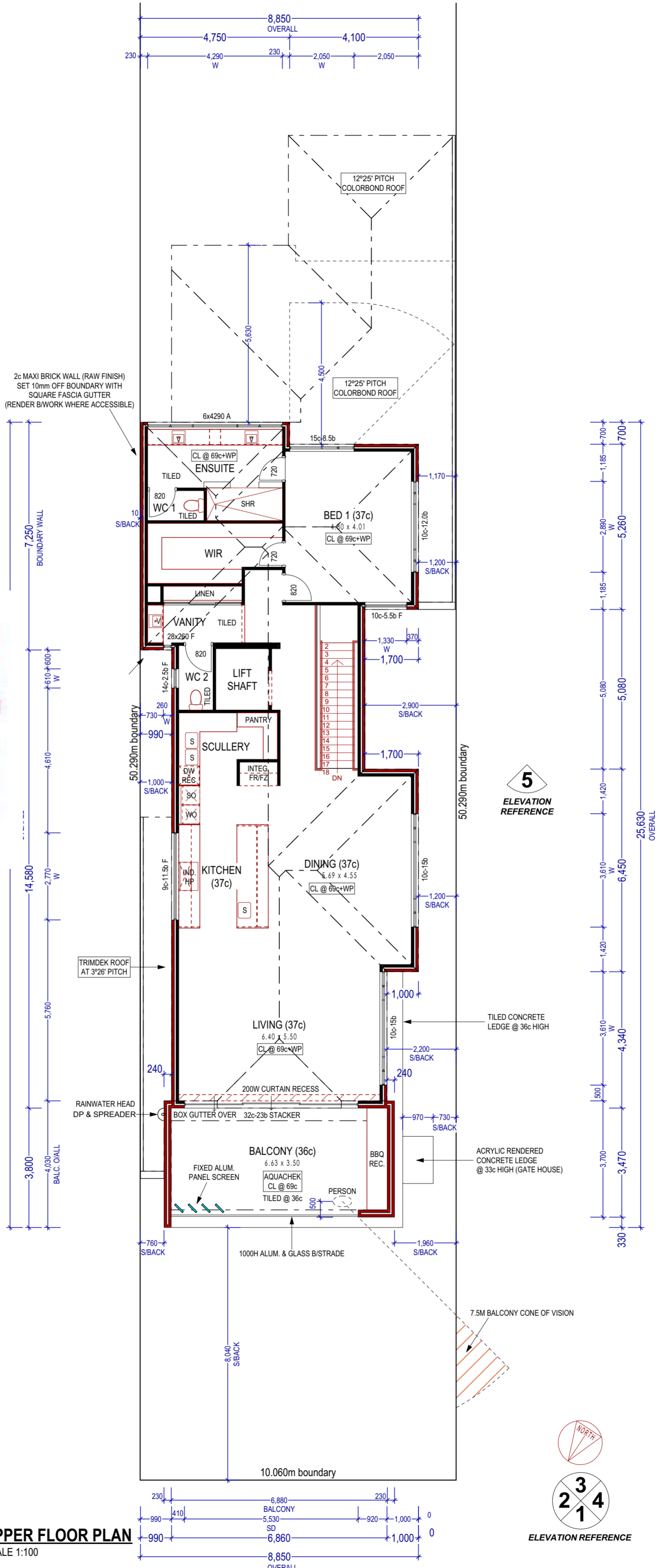
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SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3

SHEET 3 OF 5
 JOB NUMBER:
2351s UNIT 1

DRAWN	DATE	CHANGES
OJS	11/11/2025	PN 13/03/2026

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UPPER FLOOR PLAN
 SCALE 1:100



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PROPOSED RESIDENCE

FOR:- CYGNE INVESTMENTS Pty Ltd (UNIT 1)
 LOT N°: PROPOSED LOT 880 (ORIG. LOT 225)
 (#10A) MILLINGTON STREET, ARDROSS.

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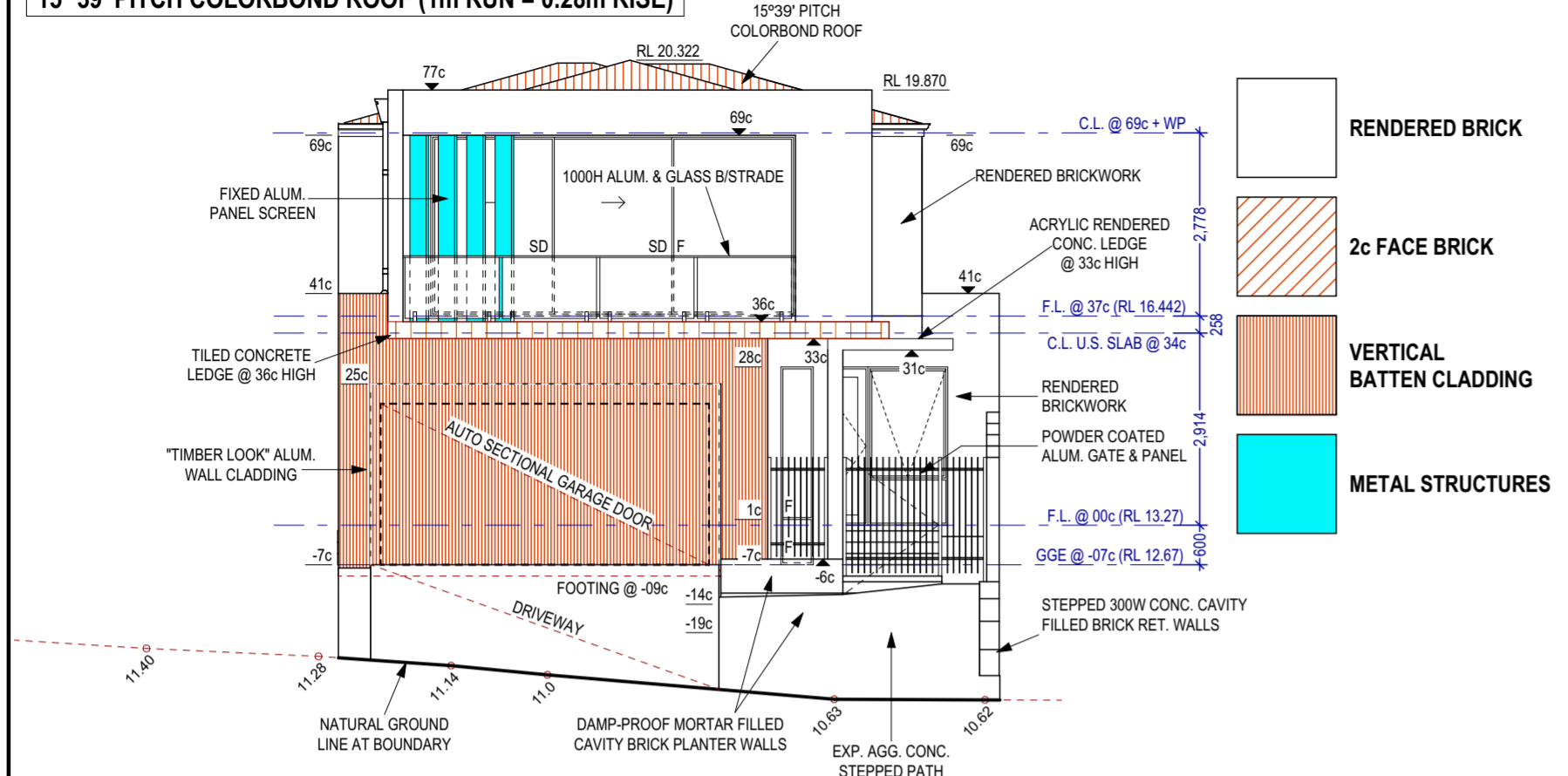
SITE CLASSIFICATION	BAL. RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	R3	N3

SHEET 4 OF 5

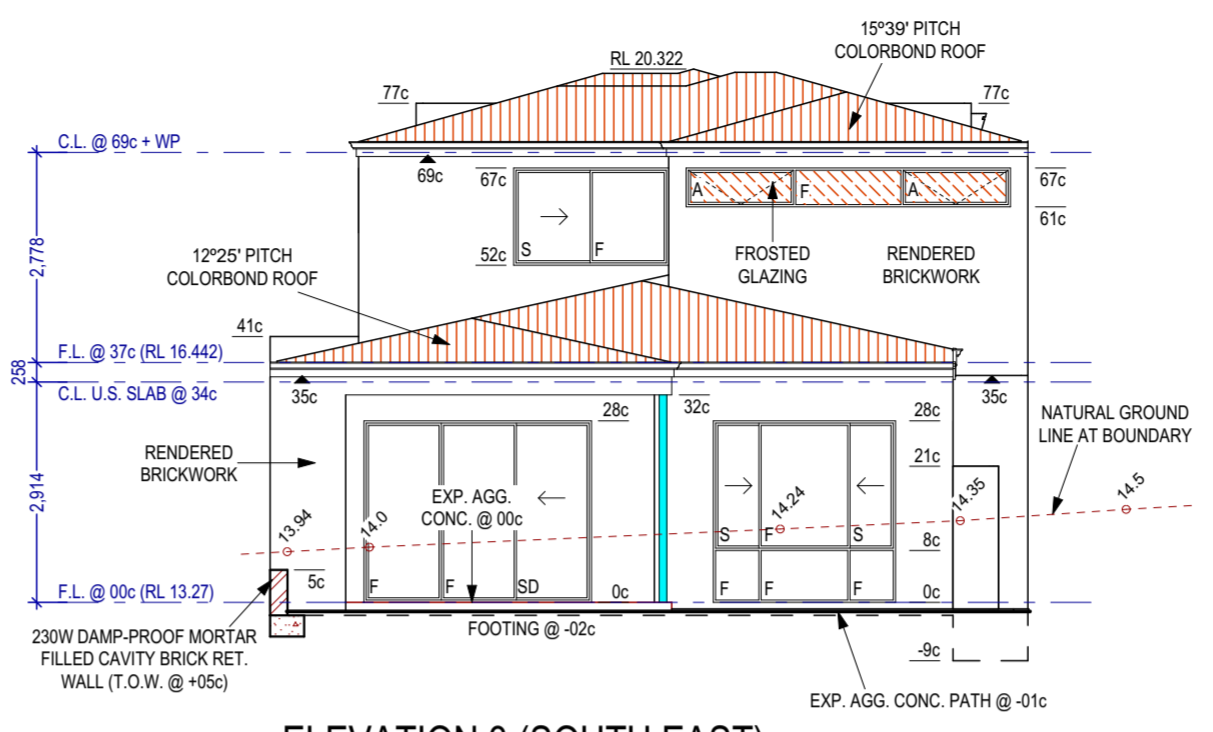
JOB NUMBER:
2351s UNIT 1

DRAWN	DATE	CHANGES
OJS	11/11/2025	PN 13/03/2026

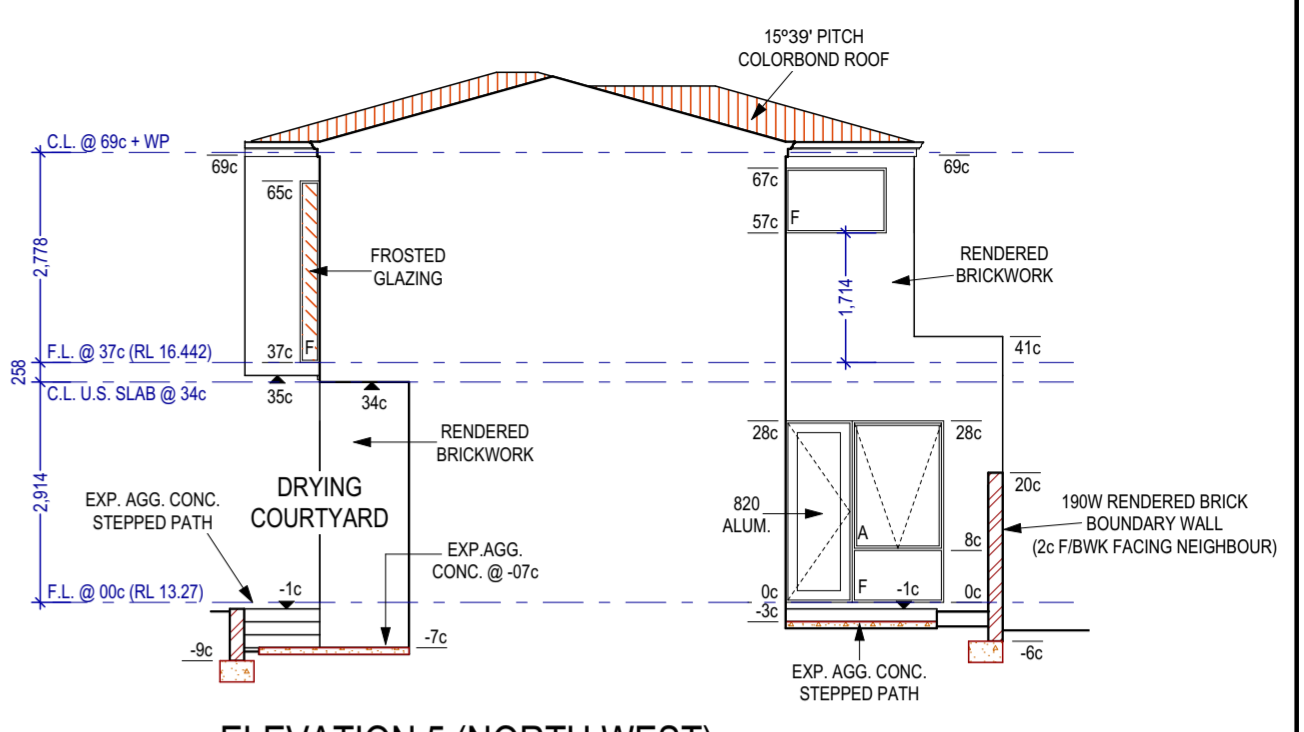
3° 26' PITCH "TRIMDEK" ROOF (1m RUN = 0.06m RISE)
 12° 25' PITCH COLORBOND ROOF (1m RUN = 0.22m RISE)
 15° 39' PITCH COLORBOND ROOF (1m RUN = 0.28m RISE)



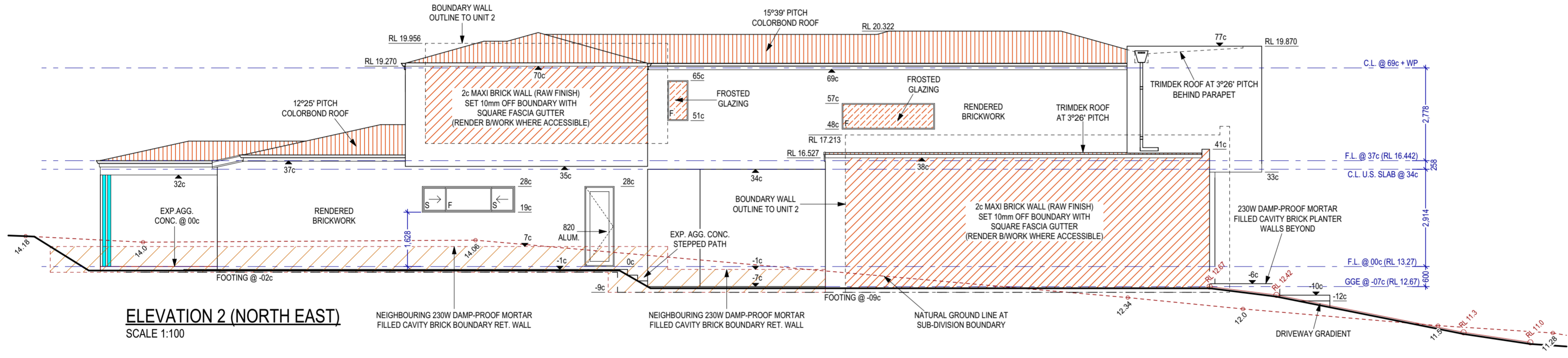
ELEVATION 1 (NORTH WEST)
SCALE 1:100



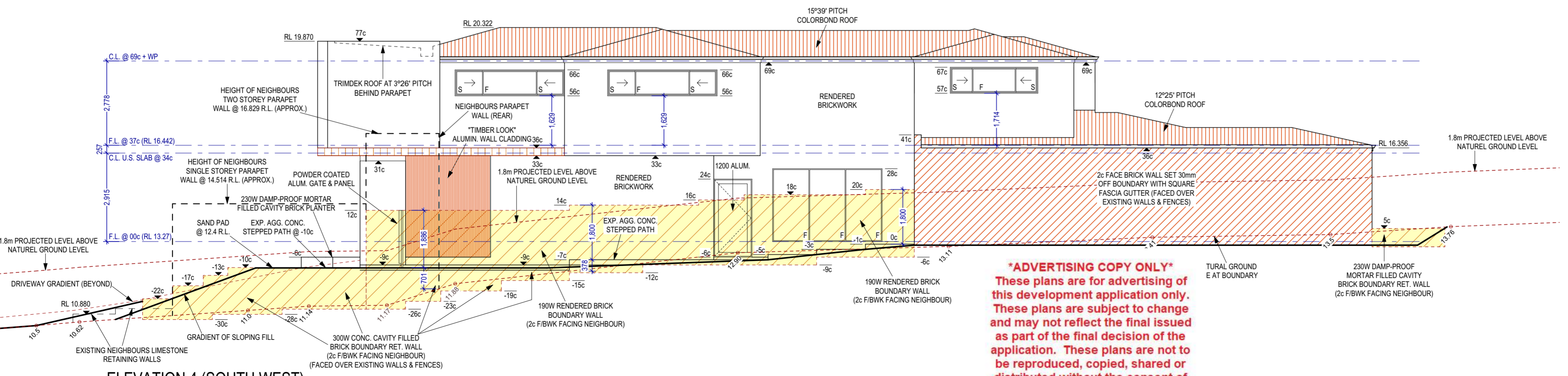
ELEVATION 3 (SOUTH EAST)
SCALE 1:100



ELEVATION 5 (NORTH WEST)
SCALE 1:100



ELEVATION 2 (NORTH EAST)
SCALE 1:100



ELEVATION 4 (SOUTH WEST)
SCALE 1:100

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SHEET 5 OF 5	JOB NUMBER: 2351s UNIT 1	CHANGES	WIND CLASSIFICATION N3
		DATE 11/11/2025	
PROPOSED RESIDENCE	FOR:- CYGNE INVESTMENTS Pty Ltd (UNIT 1) LOT N°: PROPOSED LOT 880 (ORIG. LOT 225) #10A MILLINGTON STREET, ADDRESS.	CORROSION CLASSIFICATION R3	BAL RATING N/A
		SITE CLASSIFICATION A	

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