

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 7 NOVEMBER 2023

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Gavin Ponton, Acting Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: gavin.ponton@melville.wa.gov.au or Tel 9364 0223.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY, 10 NOVEMBER 2023



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 7 NOVEMBER 2023.**

PRESENT

G Ponton
T Cappellucci
T Geddes
L Johnson

Acting Manager Statutory Planning
Acting Principal Statutory Planner
Senior Statutory Planner
Acting Senior Statutory Planner

DISCLOSURES OF INTEREST

**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995****Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

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U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)**KEY ISSUES / SUMMARY**

- Development approval is sought for a three-storey single house at No. 73 Melville Beach Road, Applecross.
- The details of the proposed development have been assessed against *Local Planning Scheme No. 6* (LPS6), State Planning Policy 7.3 (SPP 7.3) - Residential Design Codes Volume 1 (R-Codes) and relevant local planning policies including Local Planning Policy 3.1 – Residential Development (LPP3.1).
- The proposed development requires a performance assessment in relation to the height of the concealed roof.
- The application was advertised in accordance with the provisions of the R-Codes, Planning and Development (Local Planning Scheme) Regulations 2015 and Local Planning Policy 1.1 Planning Process and Decision Making (LPP1.1).
- One submission was received during the advertising period which was an objection to the variations advertised in relation to building height, lot boundary side setbacks and site works.
- In response to the objection raised, the applicant elected to amend the plans for the proposal, which included reducing the southern retaining walls to less than 500mm above natural ground level and installing design elements to remove southern overlooking, including balcony screening and frosted glass on the kitchen window. The applicant elected to keep the height of the building the same as the original plans.
- Notwithstanding the objection received, it is considered that the development is acceptable when assessed against the relevant design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)



Figure 1 – Aerial Photography

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R12.5
Use Type	: Single House
Use Class	: Permitted

Site Details

Lot Area	: 1,152m ²
Retention of Existing Vegetation	: Not Applicable
Street Tree(s)	: No
Street Furniture (drainage pits etc)	: No
Site Details	: Refer to Figure 1 above

A copy of the plans forms part of the attachments to the agenda which were distributed to Elected Members on Friday, 10 November 2023.

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)

DETAIL

The application has been assessed against the provisions of LPS6, State Planning Policy 7.3 Residential Design Codes Volume 1 (the R-Codes) and relevant local planning and council policies. The proposal complies with all the relevant development requirements with the exception of those matters listed below, for which a performance assessment is required.

State Planning Policy 7.3 – Residential Design Codes Volume 1

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i) Rear Boundary (East)	6m	<u>First Floor</u> Sauna/bath – 3.6m Wellness Centre – 2m <u>Second Floor</u> Ensuite – 3.6m Bed 3 – 5.7m	Requires assessment against the Design Principles of the R-Codes.	Manager Statutory Planning (MSP)
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i) Northern Elevation	As per table 2a and 2b of R-Codes Volume 1	<u>First Floor</u> Dining to Entry – 1.8m in lieu of 3m Bath – 1.5m in lieu of 1.6m <u>Second Floor</u> Bed 3 – 1.8m in lieu of 2.2m	Requires assessment against the Design Principles of the R-Codes.	MSP

City of Melville Local Planning Policy 1.9 – Height of Buildings

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Building Height	Concealed roof height - 9m.	Maximum concealed roof height of 9.4m.	Requires assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)

City of Melville Local Planning Policy 3.1 – Residential Development

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 6 – Boundary Walls C3.2 (iv) Northern Elevation – Theatre	In areas coded less than R20 (R12.5), walls not higher than 3m for 9m long behind the front setback.	Boundary wall 8.3m in height.	Requires assessment against the Design Principles of the R-Codes.	MSP

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comment Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
 Support/Object: One submission received (Objection)

A summary of the content of the objection received and a response is provided in the table below.

Summary of Issues Raised	Comments	Action (Condition/ Uphold/ Not Uphold)
Residential Zone Objectives	Refer to the comments section of this report.	Not Uphold
Height of Building	Refer to the comments section of this report.	Not Uphold
Site Works	Amended plans were received which resulted in site works being compliant with the R-Codes requirements to the adjoining southern lot.	Not Uphold
Overshadowing	Proposal is compliant with the amount of shadow allowed on the adjoining southern lot as per the R-Codes.	Not Uphold

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)

Summary of Issues Raised (Continued)	Comments	Action (Condition/ Uphold/ Not Uphold)
Visual privacy	Amended plans were received which resulted in visual privacy being brought into compliance with the R-Codes to the adjoining southern lot.	Not Uphold
Lot Boundary Setback	Amended plans were received which resulted in lot boundary setbacks to the adjoining southern lot being made compliant with the R-Codes.	Not Uphold

II. OTHER AGENCIES / CONSULTANTS

Consultation was conducted with the Department of Biodiversity, Conservation and Attractions (DBCA) and the Department of Water and Environmental Regulation (DWER) as the subject site abuts the Swan River Foreshore Reserve and a portion of the site is impacted by the Swan River 1:100-year floodplain.

Comments from both agencies were received during the referral process supporting the subject application subject to conditions and advice notes which have been integrated into the recommended conditions list for this development.

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)**COMMENT**

The proposed development is located within an established residential area of Applecross. The area is subject to constant change as older more traditional residential properties are cleared to make way for more contemporary homes, some of which are two or three storey in height, and all of which are generally significantly larger than those older more traditional properties were.

The proposed single house has been designed in a way which responds to the topography of the site as well as taking advantage of the sites' proximity to the river and associated views. The surrounding dwellings along Melville Beach Road, Conon Road and Troy Street are diverse in regards to styles, ages and heights. The proposed single house and its associated height is considered to be consistent with the existing and desired streetscape character of the area.

Building Height

The proposed building height requires a performance assessment having regard to the design principles contained in Clause 5.1.6 'Building Height' of the R-Codes. These design principles seek to ensure that development is appropriate to the streetscape, maintains adequate levels of sunlight to adjoining properties and maintains access to views of significance where appropriate.

The section of roofing which exceeds the recommended 9m maximum concealed roof height is minimal and is facilitated by the topography of the site which slopes upward from the street towards the rear/eastern portion of the lot. As such the perceived bulk impact on surrounding lots and to the streetscape is significantly reduced. The dwelling is also consistent with the existing streetscape of Melville Beach Road, which is characterised by multiple three storey dwellings (see Figure 2 below which is a design render provided by applicant).



Figure 2: Perspective Street view of Melville Beach Road provided by applicant

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)

The below elevations (see Figures 3 and 4) and the sections marked in blue indicate the areas of the proposed single house which are taller than the stipulated 9m maximum height for concealed roofs, as per the City’s LPP1.9 – Height of Buildings.

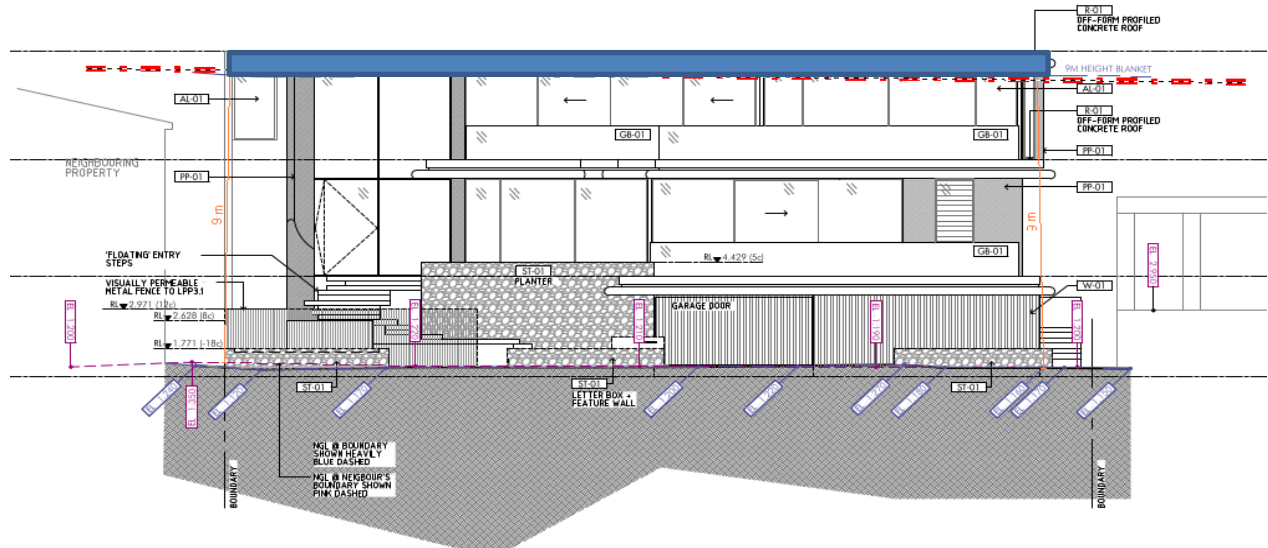


Figure 3: Western (Front) Elevation (blue indicates over height portion)

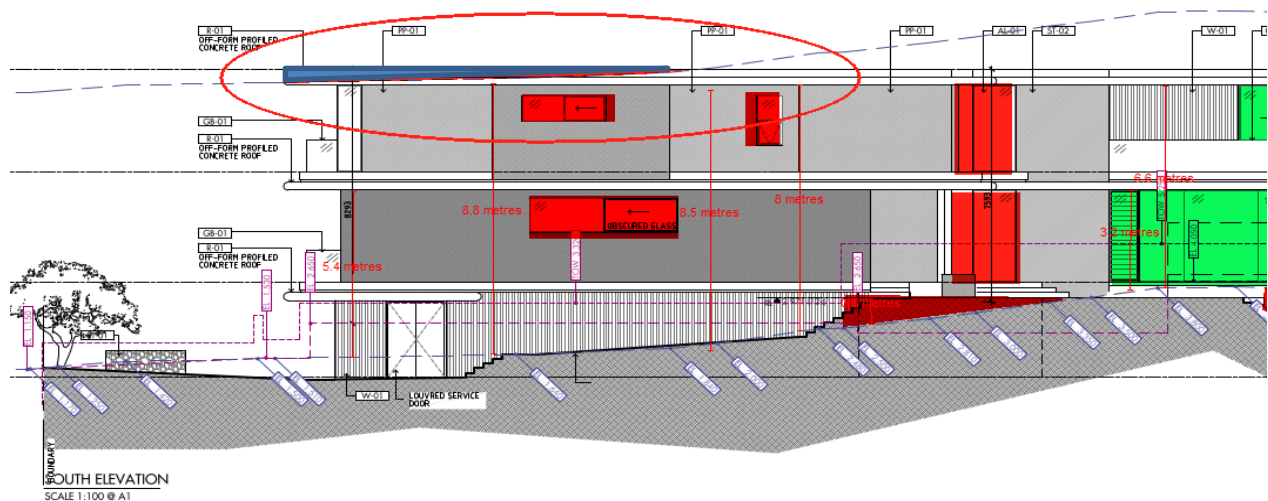


Figure 4: Southern Elevation (blue indicates over height portion)

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)

In its assessment of the development, the City considers that the concealed roof height variation is consistent with the design principles of Clause 5.1.6 of the R-Codes for the following reasons;

- The increased concealed roof height is not expected to significantly diminish the typical solar access to the adjacent southern lot (75 Canning Beach Road). Given the east-west orientation of the lot, some degree of overshadowing is inevitable and would be anticipated in any development application for the site. This shadow cast to the southern lot complies with the requirements of Clause 5.4.2 of the R-Codes and ensures that the southern lot will still have access to north-western and western afternoon sunlight.
- The proposed maximum concealed roof height of 9.4 metres results in a maximum of only 0.6 square metres in additional midday shadow (when compared to a house with a 9 metre concealed roof), which is considered to be minimal and unlikely to substantially affect the amenity of the southern lot. The shadow cast by the proposal extends a maximum of 11.3 metres into the adjacent southern lot. The dwelling on the southern lot is setback approximately 9 to 10 metres from the northern lot boundary which means the shadow from the proposal will have a limited impact on midday sun access to habitable rooms. Although midday sun access may be slightly reduced to habitable rooms, access to most afternoon sunlight will still be maintained for the habitable areas of the southern lot.
- The proposed house is well articulated, through the use of varied setbacks, floor to ceiling windows, landscaping and a mix of materials which combine to reduce the bulk impact onto the adjoining properties.
- The term 'views of significance' is not defined, nor is detail provided in the explanatory sections of the R-Codes. It is therefore the City's role to make a determination as to whether or not the proposed development maintains access to views of significance. The subject site is located along the Swan River foreshore and offers significant views to the west, overlooking the Swan River, and northward towards Kings Park and Crawley, which are also enjoyed by surrounding lots. Consequently, the preservation of these significant views is a key factor in evaluating the height of the proposed house. The following paragraphs provide a detailed analysis of the surrounding built form to demonstrate views of significance, in particular for the adjoining southern property, are not impacted in this case.
 - Given the site's topography, all lots situated to the east of the proposal maintain unobstructed westward views, as they are positioned at a significantly higher elevation than the subject site as demonstrated in Figure 5 below. This is evidenced by the presence of a 4-metre retaining wall at the rear of the subject site, underscoring its lower elevation compared to the lots behind it. The building height variation occurs in a small section to the front of the subject site, and therefore provides no undue building bulk to restrict views at the rear of the lot.

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)



Figure 5: Contour Map of site and surrounding properties showing upward slope towards east. Lots to rear elevated above subject site

- Northern views of the adjacent southern lot (No. 75 Melville Beach Road) are likely to be reduced by any form of compliant development on the subject site. However, the proposal seeks to minimise this impact through a careful design intentionally set back from the street, with a minimum distance of 8.7 metres, exceeding the standard 7.5-metre requirement. Furthermore, the balcony is situated at a setback of 7 metres instead of the standard 3.5 metres to the street. These adjustments effectively increase the available northern view accessible to No. 75 Melville Beach Road. Additionally, the southern residence will continue to enjoy views toward the primary street, which offers vistas overlooking the Swan River as the proposal does not impact on the western or north-western views of No. 75 Melville Beach Road. See Figures 6 & 7 below which shows the main viewing corridor for No. 75 Melville Beach Road is towards the west/north-west based on that property's major openings and balconies main viewing corridor being towards the river.

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Figure 6: No.75 Melville Beach Road Western and North-Western Orientated Major Openings and Outdoor living area



Figure 7: Aerial view depicts view Corridor maintained by southern residence towards river and Crawley

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)**ALTERNATE OPTIONS AND THEIR IMPLICATIONS**

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

CONCLUSION

This application has been assessed and is considered to comply with the relevant planning framework, including the relevant Design Principles of the R-Codes. The height of the concealed roof proposed is not considered to impact on the amenity of adjoining property owners or detract from views of significance for other lots in the locality. Overall, the nature and scale of the development is considered to be consistent with the amenity and character of the subject site. This application is therefore recommended for approval subject to the following conditions and advice notes.

OFFICER RECOMMENDATION**APPROVAL**

- 1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 2. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.**
- 3. The privacy screening/obscure glazing shown on the approved plans shall meet the Deemed to Comply standards of Cl. 5.4.1 of *State Planning Policy 7.3 Residential Design Codes Volume 1*. The privacy screening/obscure glazing shall be installed prior to initial occupation of the development and thereafter retained in perpetuity to the ongoing satisfaction of the City.**
- 4. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;**
 - a maximum width in accordance with the City's crossover specifications;**
 - located a minimum of 2m away from the outside of the trunk of any street tree; and**
 - a minimum of 1m from any existing street infrastructure.**

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

- 5. Where a driveway meets the street, walls or fencing within sight line areas are to meet the requirements contained under clause 5 of Local Planning Policy *LPP3.1 Residential Development*, to the satisfaction of the City.**

U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPECROSS (REC) (ATTACHMENT)

6. Prior to the initial occupation of the development, the boundary wall/s shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
7. Prior to the initial occupation of the development, the external surface of the retaining wall/s which are visible from the adjoining property/properties shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
8. Prior to the initial occupation of the development, the on-site tree (as marked in red on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.
9. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
10. Construction is not permitted to obstruct traffic without prior written consent from the City's Technical Services department. Should the construction require a lane or road closure, a Traffic Management Plan is required to be approved by the City prior to any such works.
11. The street walls and fencing marked in red on the approved plans are required to comply with the definition of 'Visually Permeable' found in *State Planning Policy 7.3 Residential Design Codes Volume 1*, to the satisfaction of the City.

Department of Biodiversity, Conservation and Attractions Conditions

12. The proponent shall ensure that appropriate on-site measures are implemented to prevent sediment from entering the stormwater system and river during demolition and construction.
13. Stormwater run-off from constructed impervious surfaces generated by small rainfall events (that is, the first 15 mm of rainfall) must be retained and/or detained and treated (if required) at-source as much as practical and will not be permitted to enter the river untreated to the satisfaction of the City of Melville on the advice of the Department of Biodiversity, Conservation and Attractions.
14. No dewatering effluent is to enter the River, either directly or indirectly (via the stormwater system), unless approved by the Department of Biodiversity, Conservation and Attractions (see Advice Notes iv and v).

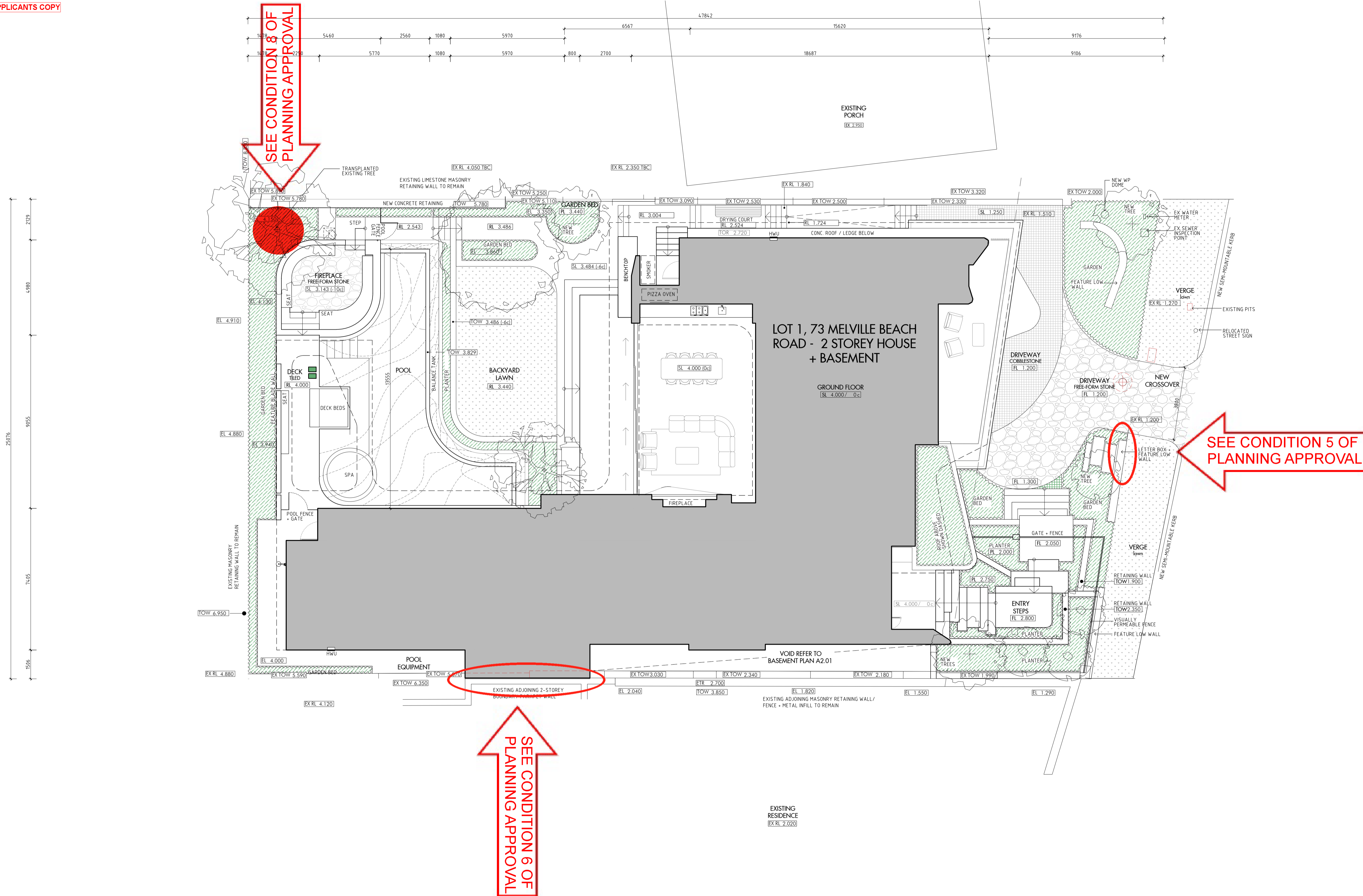
U23/0618 – THREE STOREY SINGLE HOUSE AT LOT 124 (NO. 73) MELVILLE BEACH ROAD, APPLECROSS (REC) (ATTACHMENT)

15. No wastewater/backwash from the swimming pool or spa is to be discharged onto the land, into the river or the local government drainage system.

**ATTACHMENTS
OF THE
DEVELOPMENT ADVISORY UNIT
MEETING
HELD ON
TUESDAY, 7 NOVEMBER 2023
U23/0618**

Distributed: Friday, 10 November 2023

APPLICANTS COPY



CAPA
architecture

CARRIER AND POSTMUS ARCHITECTS
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e: admin@carrierandpostmus.com

ABBREVIATION LEGEND

ACDP	ASB-CONDITIONING DOWNPIPE	CJ	CONTROL JOINT	EXP	EXPOSED	HP	HOT PLATE	O/H	OVERHEAD	SAG	SUPPLY AIR GRILLE	TK	TRANSITION KERB
AFL	ABOVE FINISHED FLOOR LEVEL	CL	CEILING LEVEL (BOTTOM OF LNING)	FC	FIBRE CEMENT SHEET	HW	HARDWOOD	D/F	DOWNFLOW	SHWR	SHOWER	TR	TROUGH
AGG	AGGREGATE	COL	COLUMN	FE	FIRE EXTINGUISHER	HWS	HOT WATER SUPPLY	OV	OVEN	SK	SINK	TW	TOP OF WALL (AKA TOW)
AP	ACCESS PANEL	CONC	CONCRETE	FH	FIRE HYDRANT	HWP	HARDWALL PLASTER (FLOAT & SET)	PAN	PANTRY	SL	STRUCTURAL SLAB LEVEL	TYP	TYPICAL
APP	APPLIANCE	CUS	CONSPERM ON SITE	FL	FLOOR KERB	IP	INSPECTION POINT	PL	PLASTERBOARD	SNK	SEMI-MOUNTABLE KERB	UND	UNLESS NOTED OTHERWISE
BALU	BALUSTRADE	CU	CONDENSER UNIT	FL	FLOOR LEVEL W/O FINISHES (AKA SL)	LC	LOAD CENTRE	PO	POINT DRAIN (REF. HYD FOR TYPES)	SS	STAINLESS STEEL	VB	VANITY BASIN
BK	BARBER KERB	DP	DOWNPIPE (AKA RWP)	FEL	FINISHED FLOOR LEVEL	LWN	LINEN	PL	PLANTING LEVEL (TOP OF MULCH)	S/S	SOIL STACK	W/	WITH
BW	BASE OF WALL (AKA BOW)	DU	DUCT	FR	FRIDGE	M/R	MANGLE	RAG	RETURN AIR GRILLE	STD	STANDARDS	W/O	WITHOUT
CFE	COMPRESSED FIBRE CEMENT SHEET	DW	DISHWASHER	FR	FLOOR WASTE	MW	MIDWAY	SM	SOAKWELL (REF. HYD)	STG	STAIRS	WS	WHEEL STOP
		EQ	EQUAL	O/A	OVERALL	DAE	DR APPROVED EQUIVALENT	TBC	TO BE CONFIRMED	TD	TUNDISH	WM	WASHING MACHINE

DATE	25.10.23	REV	A	DA AMENDMENT	CM
DATE	Y.M.D	REV	RECIPIENT / REASON FOR ISSUE	BY	LARGE SCALE DWGS TAKE PRECEDENCE OVER SMALLER SCALE DWGS

CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR PREPARING ANY SHOP DRAWINGS

CAD FIGURE DIMENSIONS TAKE PRECEDENCE OVER MANUAL MEASUREMENTS SCALED OFF DRAWINGS

Z RESIDENCE
73 MELVILLE BEACH ROAD, APPECROSS

PROPOSED SITE PLAN

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

DRAWN	QS	DESIGNED	JC	THIS IS A CAD DRAWING DO NOT AMEND MANUALLY
CHECKED	JC	PRINCIPAL	JUSTIN CARRIER	REDUCTION
DATE	JULY 2023	CAPA PROJECT No.	2310	30mm@A1 15mm@A3
CLIENT PROJECT No.		DRAWING No.	A1.01	REV. A
SCALE	1:100@A1/1:200@A3			

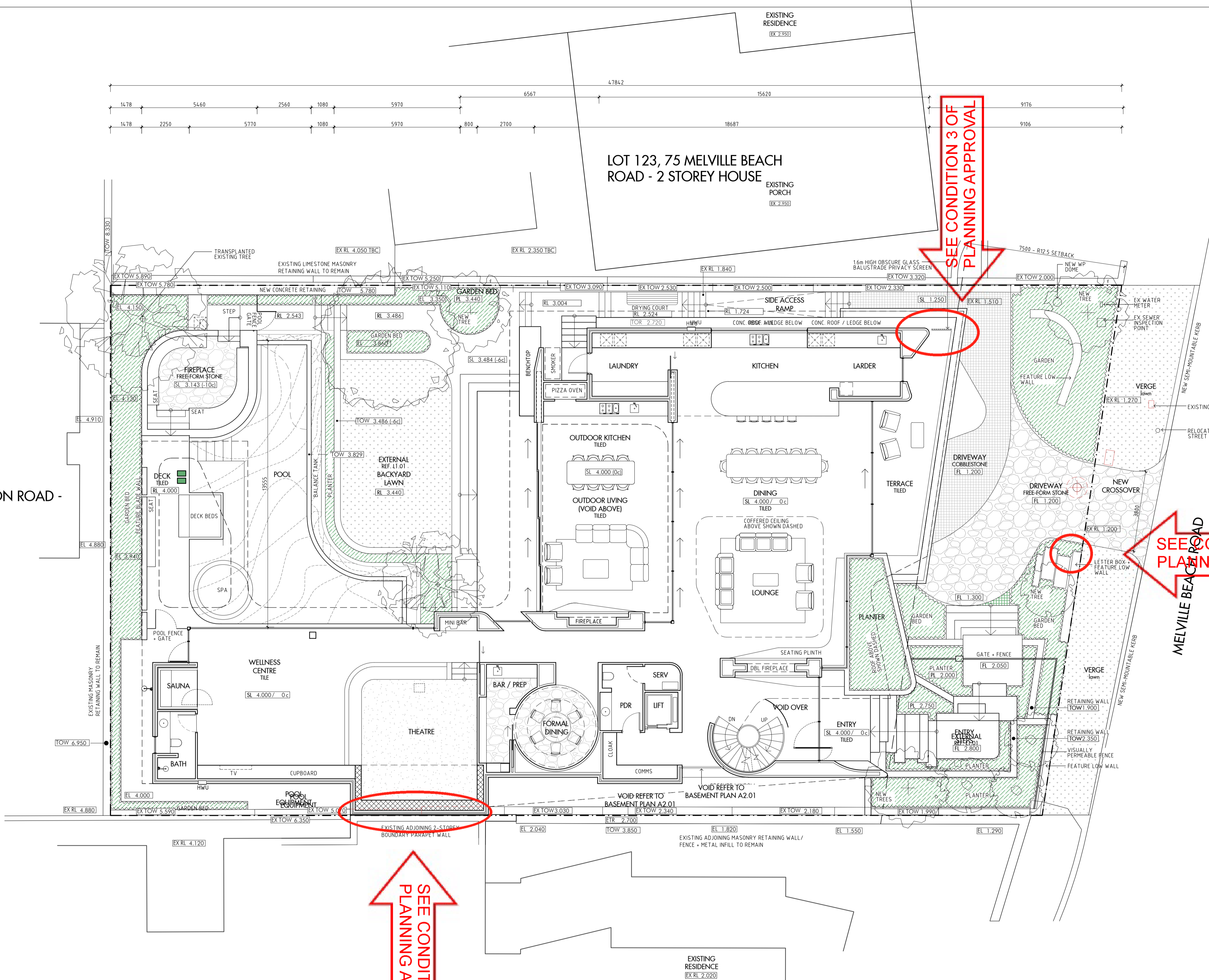
PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

APPLICANTS COPY

LOT 887, 2 CONON ROAD -
2 STOREY HOUSE

LOT 123, 75 MELVILLE BEACH
ROAD - 2 STOREY HOUSE

LOT 3, 71 MELVILLE BEACH ROAD -
SPLIT LEVEL 2 STOREY HOUSE



SEE CONDITION 3 OF
PLANNING APPROVAL

SEE CONDITION 5 OF
PLANNING APPROVAL

SEE CONDITION 6 OF
PLANNING APPROVAL



CARRIER AND POSTMUS ARCHITECTS
Architecture + Landscape
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p: (08) 9380 9020
e: admin@carrierandpostmus.com

ABBREVIATION LEGEND
CJ CONTROL JOINT
CL CEILING LEVEL (BOTTOM OF LNING)
COL COLUMN
CONC CONCRETE
C.O.S. CONFORM ON SITE
CU CONDENSER UNIT
DP DOWNPIPE (AKA RWP)
DU DUCT
DW DISHWASHER
EQ EQUAL
EX EXISTING

EXP EXPOSED
FC FIBRE CEMENT SHEET
FE FIRE EXTINGUISHER
FH FIRE HYDRANT
FL FLOOR LEVEL
FL FLOOR LEVEL W/O FINISHES (AKA SL)
FFL FINISHED FLOOR LEVEL
FR FROGE
FW FLOOR WASTE
HB HAND BASIN
HC HOSE/CLICK

HP HOT PLATE
HW HARDWOOD
HWS HOT WATER SUPPLY
HWP HARDWALL PLASTER (BOAT & SET)
IP INSPECTION POINT
LC LOAD CENTRE
LWN LINEN
M/H MANGLE
M/W MIDWAY
O/A OVERALL
OAE OR APPROVED EQUIVALENT

O/H OVERHEAD
O/F OVERFLOW
OV OVEN
PAN PANTRY
PB PLASTERBOARD
PD POINT DRAIN (REF. HYD FOR TYPES)
PL PLANTING LEVEL (TOP OF MULCH)
RAG RETURN AIR GRILLE
RANG RANGEROOD
RL RELATIVE LEVEL
RWH RAW WATER HEAD

SAG SUPPLY AIR GRILLE
SHWR SHOWER
SK SKIN
SL STRUCTURAL SLAB LEVEL
SNK SINK
SS STAINLESS STEEL
S/S SOIL STACK
STD STANDARD
SMI SINKWELL (REF. HYD.)
TBC TO BE CONFIRMED
TD TUNDISH

TK TRANSITION KERB
TR TROUGH
TW TOP OF WALL (AKA TOW)
TYP TYPICAL
UNO UNLESS NOTED OTHERWISE
VB VANITY BASIN
W/ WITH
W/O WITHOUT
WS WHEEL STOP
WM WASHING MACHINE

DATE Y.M.D	REV	DA AMENDMENT	RECIPIENT / REASON FOR ISSUE
25.10.23	A	DA AMENDMENT	

CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR PREPARING ANY SHOP DRAWINGS
CAD FIGURE DIMENSIONS TAKE PRECEDENCE OVER MANUAL MEASUREMENTS SCALED OFF DRAWINGS
LARGE SCALE DWGS TAKE PRECEDENCE OVER SMALLER SCALE DWGS

Z RESIDENCE
73 MELVILLE BEACH ROAD, APPECROSS
GROUND FLOOR PLAN
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

SCALE	1:100@A1/1:200@A3
CHECKED	JC
DESIGNED	JC
DATE	JULY 2023
CLIENT PROJECT No.	CAPA PROJECT No. 2310
DRAWING No.	A2.02
REV.	A

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15mm@A3

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LOT 123, 75 MELVILLE BEACH ROAD - 2 STOREY HOUSE

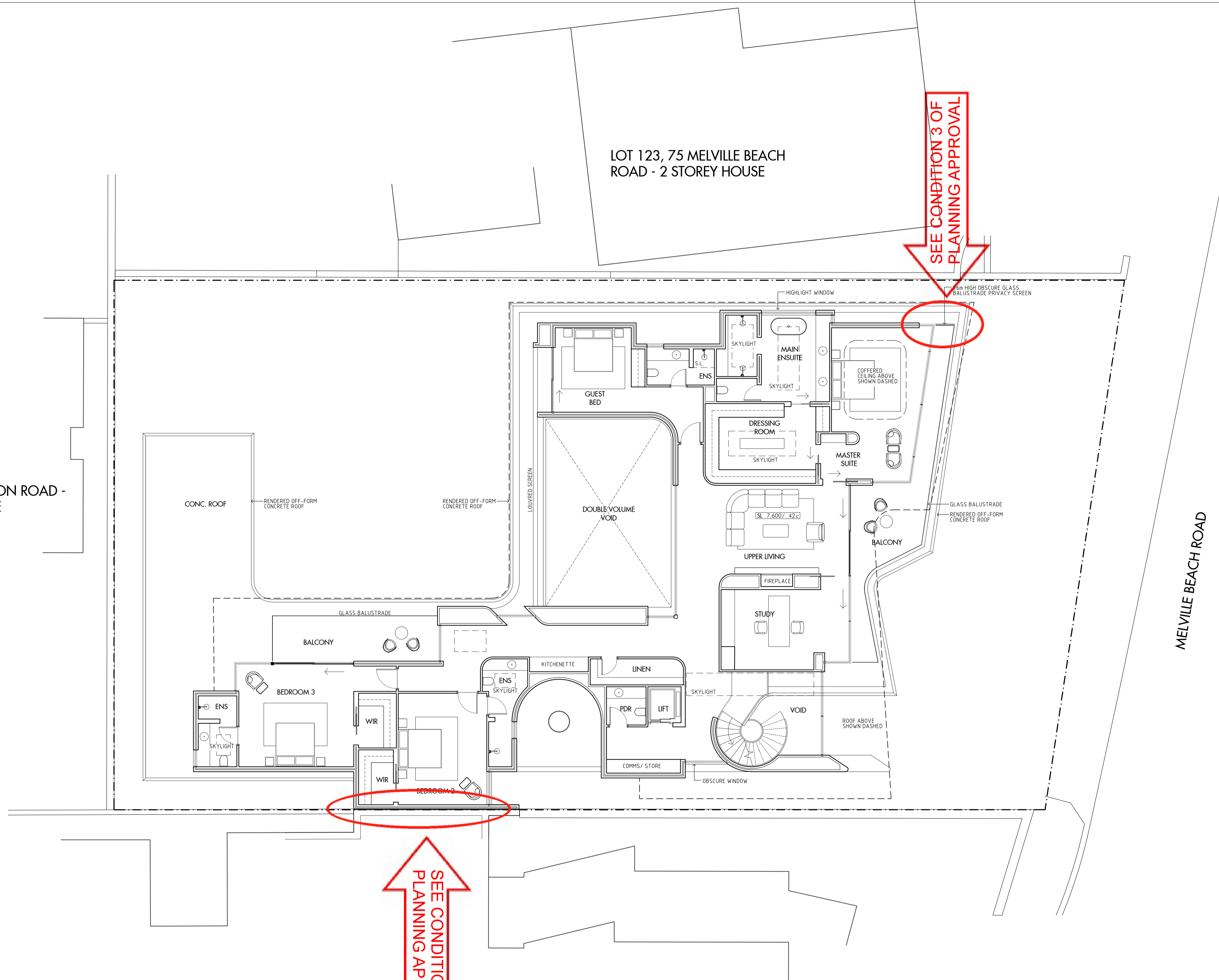
SEE CONDITION 3 OF
PLANNING APPROVAL

LOT 887, 2 CONON ROAD - 2 STOREY HOUSE

MELVILLE BEACH ROAD

LOT 3, 71 MELVILLE BEACH ROAD - SPLIT LEVEL 2 STOREY HOUSE

SEE CONDITION 6 OF
PLANNING APPROVAL



CAPA
architecture

CARRIER AND POSTMUS ARCHITECTS
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ABBREVIATION LEGEND	
ACFP	AIR-CONDITIONING DOWNPIPE
AFFL	ABOVE FINISHED FLOOR LEVEL
AFLL	ABOVE FLOOR LEVEL (W/O FINISH)
AGG	AGGREGATE
AP	ACCESS PANEL
APP	APPLIANCE
BLAU	BALUSTRADE
BK	BARRED KERB
BW	BASE OF WALL (AKA BOW)
CCF	COMPRESSED FIBRE CEMENT SHEET
CJ	CONTROL JOINT
CL	CEILING LEVEL (BOTTOM OF LINING)
COL	COLUMN
CONC	CONCRETE
C.O.S.	CONFIRM ON SITE
CU	CONDENSER UNIT
DP	DOWNPIPE (AKA RWP)
DU	DUCT
DW	DISHWASHER
EQ	EQUAL
EX	EXISTING
EXP	EXPOSED
FC	FIBRE CEMENT SHEET
FE	FIRE EXTINGUISHER
FH	FIRE HYDRANT
FL	FLOOR KERB
FL	FLOOR LEVEL W/O FINISHES (AKA SL)
FFL	FINISHED FLOOR LEVEL
FR	FRIDGE
FW	FLOOR WASTE
HB	HAND BASIN
HC	HOSEHOOK
HP	HOT PLATE
HW	HARDWOOD
HWS	HOT WATER SUPPLY
HWP	HARDWALL PLASTER (FLOAT & SET)
IP	INSPECTION POINT
LC	LOAD CENTRE
LIN	LINEN
M/H	MACHINE
MW	MICROWAVE
O/A	OVERALL
OR	OR APPROVED EQUIVALENT
O/H	OVERHEAD
O/F	OVERFLOW
OV	OVER
PAN	PANTRY
PB	PLASTERBOARD
PD	POINT DRAIN (REF. HYD FOR TYPES)
PL	PLANTING LEVEL (TOP OF MULCH)
RAG	RETURN AIR GRILLE
RH	RANGEHOOD
RL	RELATIVE LEVEL
RWH	RAINWATER HEAD
SAG	SUPPLY AIR GRILLE
SHWR	SHOWER
SK	SINK
SL	STRUCTURAL SLAB LEVEL
SMR	SEM-MOUNTABLE KERB
SS	STAINLESS STEEL
S/S	SOIL STACK
STD	STANDARDS
SW	SWIMMEL REF. HYD)
TBC	TO BE CONFIRMED
TD	TUNDISH
TK	TRANSITION KERB
TR	TROUGH
TW	TOP OF WALL (AKA TOW)
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VB	VANITY BASIN
W/	WITH
W/O	WITHOUT
WS	WHEEL STOP
WM	WASHING MACHINE

DATE	REV	RECIPIENT / REASON FOR ISSUE	BY
25.10.23	A	DA AMENDMENT	CM

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LARGE SCALE DWGS TAKE PRECEDENCE OVER SMALLER SCALE DWGS

Z RESIDENCE
73 MELVILLE BEACH ROAD, APPLECROSS

UPPER FLOOR PLAN

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

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CLIENT PROJECT No.				REV.
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				A

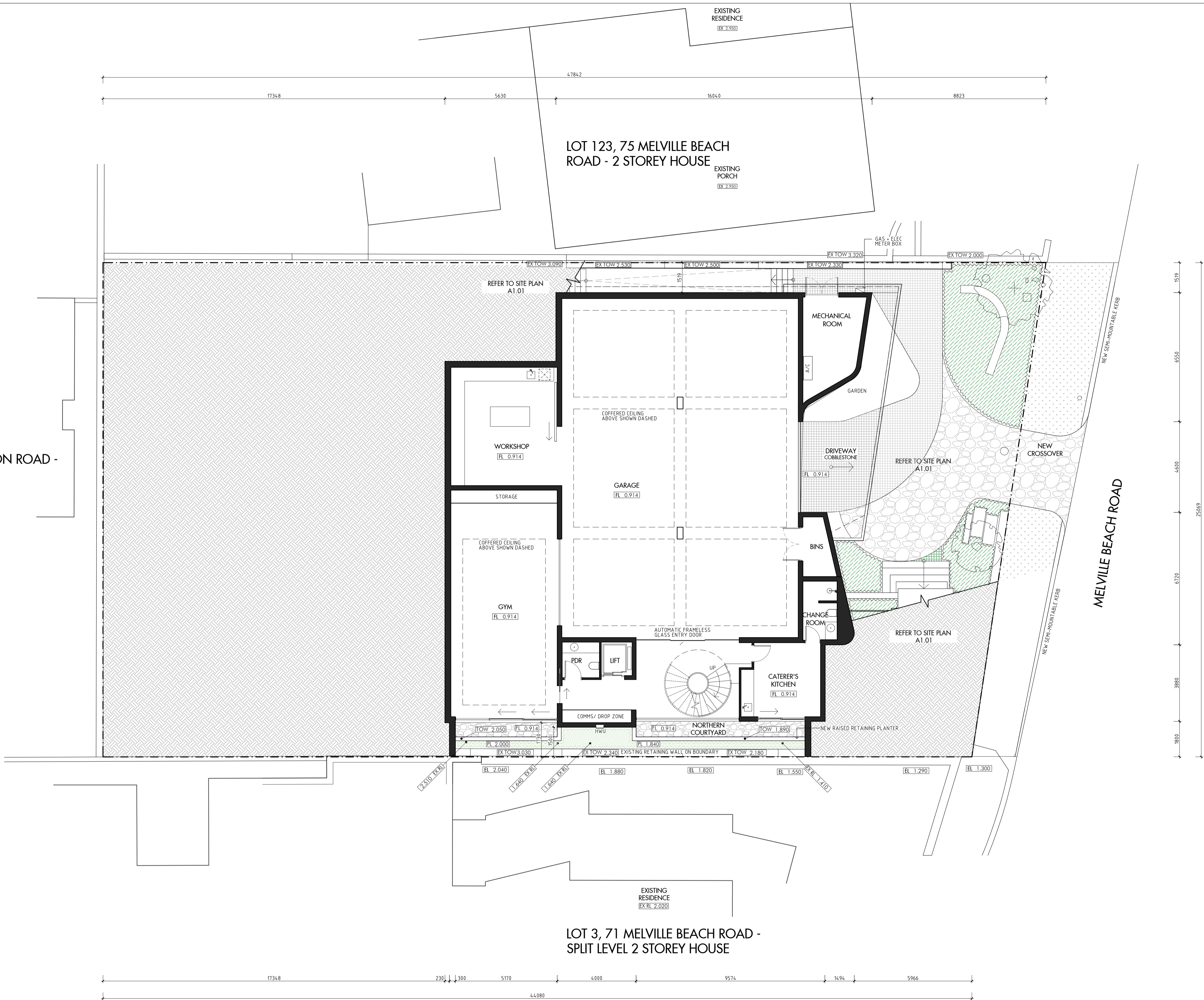
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25076
18330
1736

LOT 887, 2 CONON ROAD -
2 STOREY HOUSE



MELVILLE BEACH ROAD

1519
6550
4600
6770
3880
1800

LOT 3, 71 MELVILLE BEACH ROAD -
SPLIT LEVEL 2 STOREY HOUSE

17348 730 300 5170 4000 9574 1494 5966
44080



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ABBREVIATION LEGEND
AC/CP AIR-CONDITIONING DOWNSPIPE
AFFL ABOVE FINISHED FLOOR LEVEL
AFL ABOVE FLOOR LEVEL (W/O FINISH)
AGG AGGREGATE
AP ACCESS PANEL
APP APPLIANCE
BALU BALUSTRADE
BK BARRED KERB
BW BASE OF WALL (AKA BOW)
CFC COMPRESSED FIBRE CEMENT SHEET
CJ CONTROL JOINT
CL CEILING LEVEL (BOTTOM OF LNING)
COL COLUMN
CONC CONCRETE
C.U.S. CONFORM ON SITE
CU CONDENSER UNIT
DP DOWNSPIPE (AKA RWP)
DU DUCT
DW DISHWASHER
EQ EQUAL
EX EXISTING
EXP EXPOSED
FC FIBRE CEMENT SHEET
FE FIRE EXTINGUISHER
FH FIRE HYDRANT
FL FLOOR KERB
FL FLOOR LEVEL W/O FINISHES (AKA SL)
FFL FINISHED FLOOR LEVEL
FR FROGE
FW FLOOR WASTE
HB HAND BASIN
HC HOSE/CLOAK
HP HOT PLATE
HW HARDWOOD
HWS HOT WATER SUPPLY
HWP HARDWALL PLASTER (FLOAT & SET)
IP INSPECTION POINT
L.C. LOAD CENTRE
LWN LINEN
M/M HANDLE
M/W MIDWAY
O/A OVERALL
DAE OR APPROVED EQUIVALENT
O/H OVERHEAD
O/F OVERFLOW
OV OVEN
PAN PANTRY
PB PLASTERBOARD
PD POINT DRAIN (REF. HYD FOR TYPES)
PL PLANTING LEVEL (TOP OF MULCH)
RAG RETURN AIR GRILLE
RANGH RANGHOOD
RH RELATIVE LEVEL
RWH RAINWATER HEAD
SAG SUPPLY AIR GRILLE
SHWR SHOWER
SK SKIN
SL STRUCTURAL SLAB LEVEL
SNK SNK SEMI-MOUNTABLE KERB
SS STAINLESS STEEL
S/S SOIL STACK
STD STANDARDS
SMI SINKWELL (REF. HYD.)
TBC TO BE CONFIRMED
TD TUNDISH
TK TRANSITION KERB
TR TROUGH
TW TOP OF WALL (AKA TOW)
TYP TYPICAL
UNO UNLESS NOTED OTHERWISE
VB VANITY BASIN
W/ WITH
W/O WITHOUT
WS WHEEL STOP
WM WASHING MACHINE

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Z RESIDENCE
73 MELVILLE BEACH ROAD, APPECROSS
BASEMENT FLOOR PLAN

23.08.04
DATE Y.M.D
FOR DEVELOPMENT APPLICATION
RECIPIENT / REASON FOR ISSUE

QS
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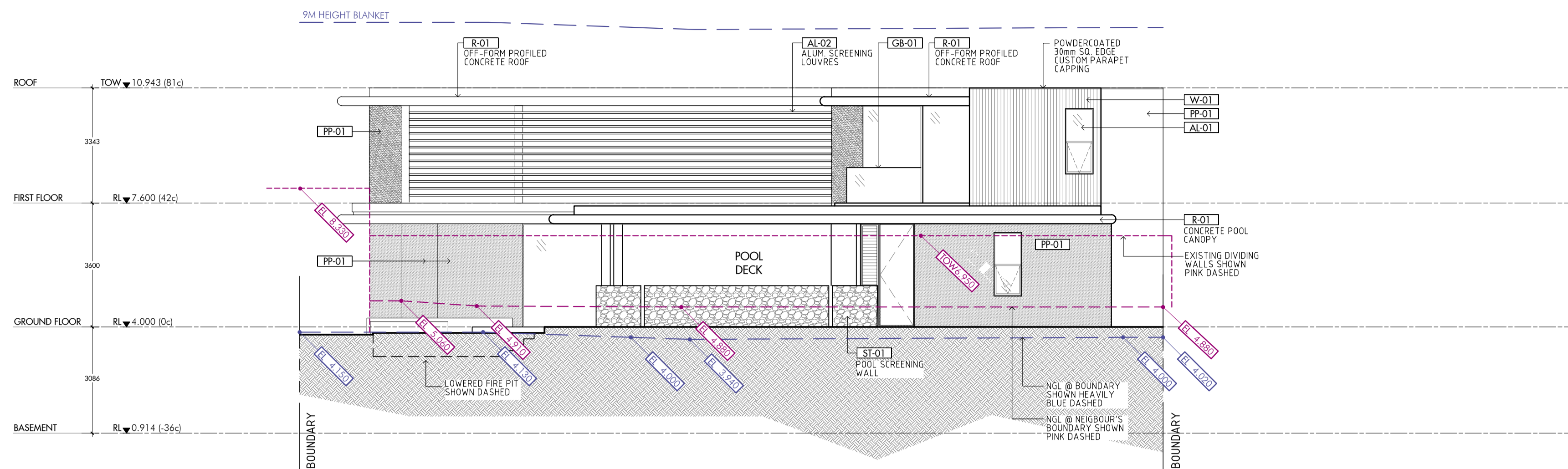
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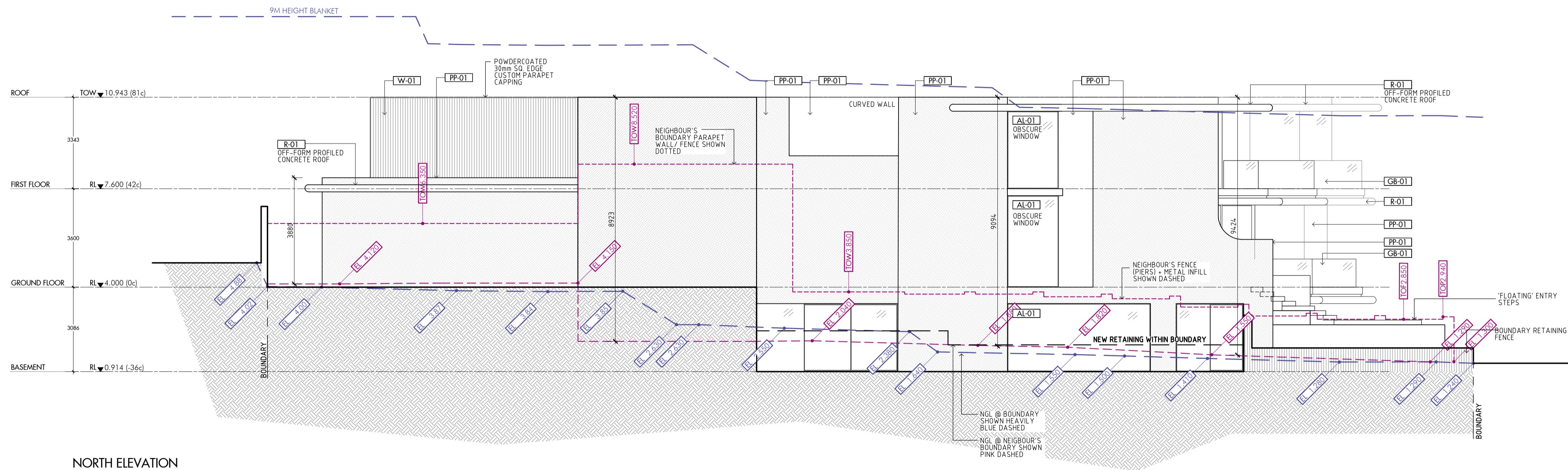
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PRINCIPAL
REDUCTION
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EAST ELEVATION
SCALE 1:100 @ A1



NORTH ELEVATION
SCALE 1:100 @ A1



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ACOP AIR-CONDITIONING DOWNPIPE
AFFL ABOVE FINISHED FLOOR LEVEL
AFL ABOVE FLOOR LEVEL (W/O FINISH)
AGG AGGREGATE
AP ACCESS PANEL
APP APPLIANCE
BALU BALUSTRADE
BK BARBER KEBB
BW BASE OF WALL (AKA BOW)
CFC COMPRESSED FIBRE CEMENT SHEET
CJ CONTROL JOINT
CL CEILING LEVEL (BOTTOM OF LINING)
COL COLUMN
CONC CONCRETE
C.O.S. CONFORM ON SITE
CU CONDENSER UNIT
DP DOWNPIPE (AKA RWP)
DU DUCT
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EQ EQUAL
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FC FIBRE CEMENT SHEET
FE FIRE EXTINGUISHER
FH FIRE HYDRANT
FL FLOOR KERB
FL FLOOR LEVEL W/O FINISHES (AKA SL)
FFL FINISHED FLOOR LEVEL
FR FROGE
FW FLOOR WASTE
HB HAND BASIN
HC HOSE/CLOCK
HP HOT PLATE
HW HARDWOOD
HWS HOT WATER SUPPLY
HWP HARDWALL PLASTER (FLOAT & SET)
IP INSPECTION POINT
LC LOAD CENTRE
LWN LINEN
M/MH MANGLE
MW MIDWAY
O/A OVERALL
DAE OR APPROVED EQUIVALENT
O/H OVERHEAD
O/F OVERFLOW
OV OVEN
PAN PANTRY
PB PLASTERBOARD
PD POINT DRAIN (REF. HYD FOR TYPES)
PL PLANTING LEVEL (TOP OF MULCH)
RAG RETURN AIR GRILLE
RANG RANGEROOD
RL RELATIVE LEVEL
RWH RAINWATER HEAD
SAG SUPPLY AIR GRILLE
SHWR SHOWER
SK SKIN
SL STRUCTURAL SLAB LEVEL
SNK SINK/MOUNTABLE KERB
SS STAINLESS STEEL
S/S SOIL STACK
STD STANDARDS
SMI SMOKEWELL (REF. HYD)
TBC TO BE CONFIRMED
TD TUNDISH
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DATE	Y.M.D	REV		RECIPIENT / REASON FOR ISSUE	BY	

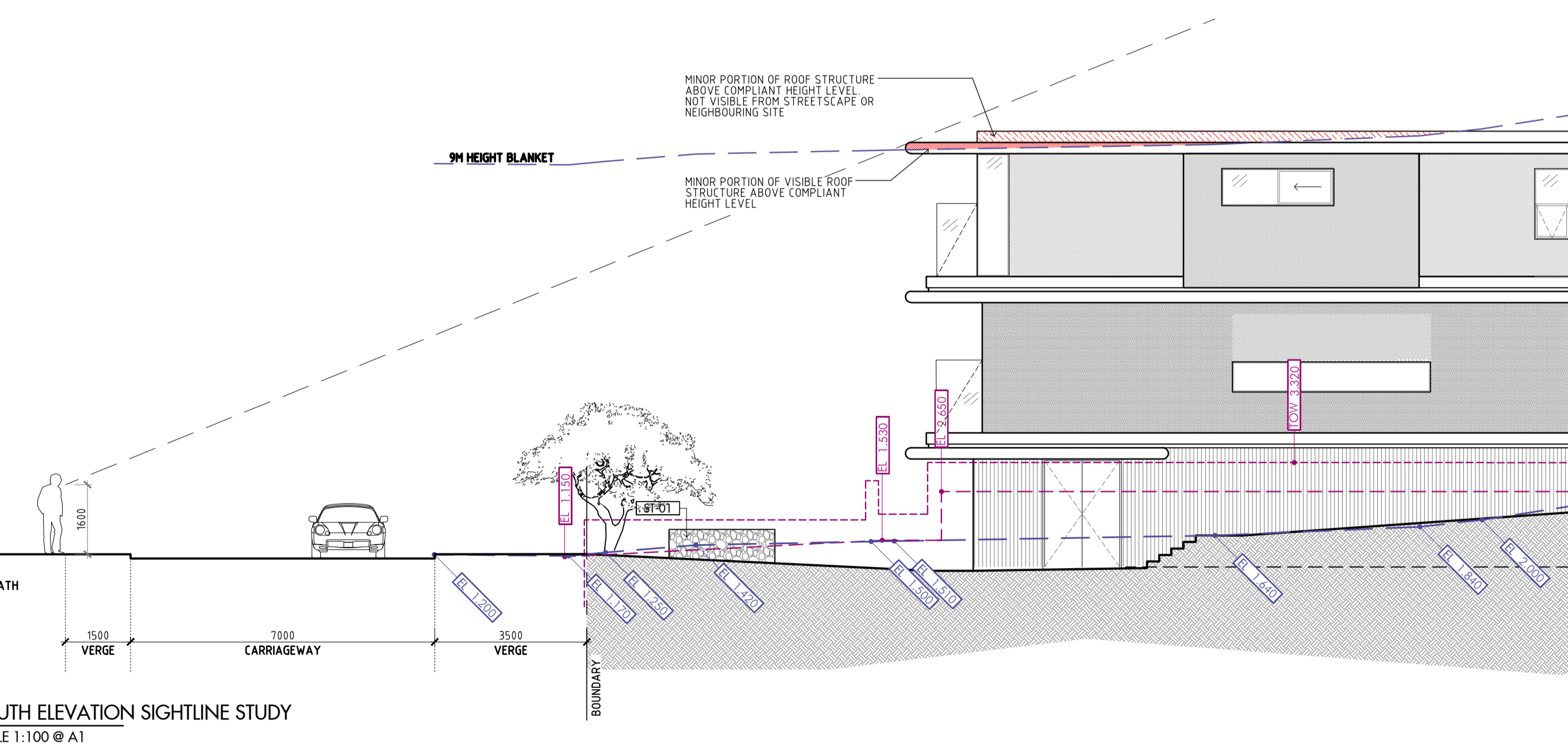
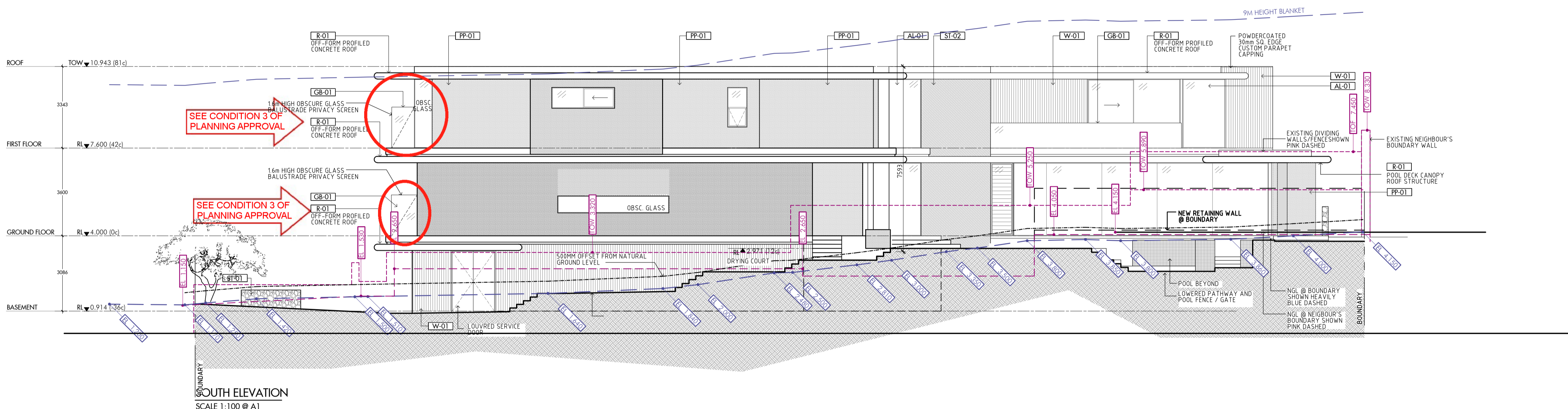
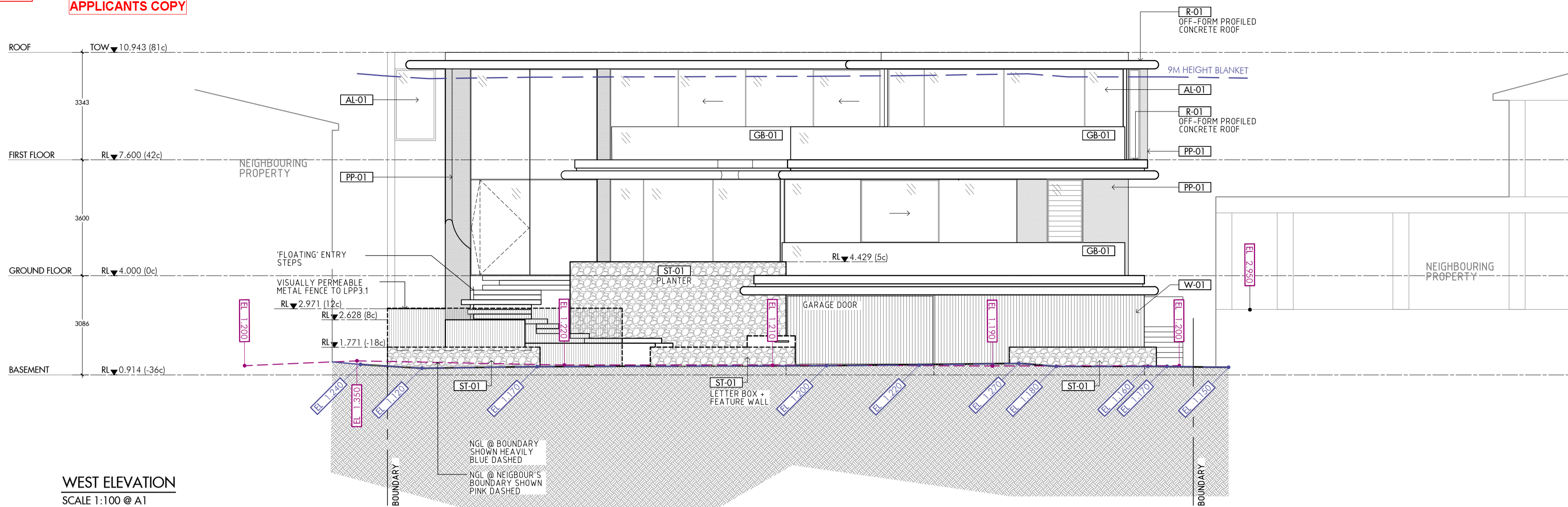
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CLIENT PROJECT No.		SCALE	1:100@A1/1:200@A3	REV. A

Z RESIDENCE
73 MELVILLE BEACH ROAD, APPLECROSS
ELEVATIONS
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

SCALE	1:100@A1/1:200@A3
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 APP APPLIANCE
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 BW BASE OF WALL (AKA BOW)
 CFC COMPRESSED FIBRE CEMENT SHEET
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 CL CEILING LEVEL (BOTTOM OF LNWG)
 COL COLUMN
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 CUS CURB ON SITE
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 FL FLOOR LEVEL W/O FINISHES (AKA SL)
 FFL FINISHED FLOOR LEVEL
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 FW FLOOR WASTE
 HB HAND BASIN
 HC HOSE/CLOAK

HP HOT PLATE
 HW HARDWOOD
 HWS HOT WATER SUPPLY
 HWP HARDWALL PLASTER (FLOAT & SET)
 IP INSPECTION POINT
 LC LOAD CENTRE
 LWN LINEN
 M/M MANHOLE
 MW MIDWAY
 O/A OVERALL
 OAE OR APPROVED EQUIVALENT

O/H OVERHEAD
 O/F OVERFLOW
 OVEN OVEN
 PAN PANTRY
 PB PLASTERBOARD
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 RWH RAINWATER HEAD

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 SS STAINLESS STEEL
 S/S SOIL STACK
 STD STANDARDS
 SWI SWIKWELL (REF. HYD)
 TOC TO BE CONFIRMED
 TD TUNDISH

TK TRANSITION KERB
 TR TROUGH
 TW TOP OF WALL (AKA TOW)
 TYP TYPICAL
 UNO UNLESS NOTED OTHERWISE
 VANT VANTY BASKIN
 W/ WITH
 W/O WITHOUT
 WS WHEEL STOP
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