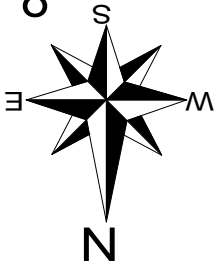


LOT 8



LEGEND	
POWER DOME	
POWER POLE	
PHONE PITS	
WATER COWL	
TOP PILLAR/POST	
TW=10.00 TOP WALL	
TR=10.00 TOP RETAINING	
TF=10.00 TOP FENCE	

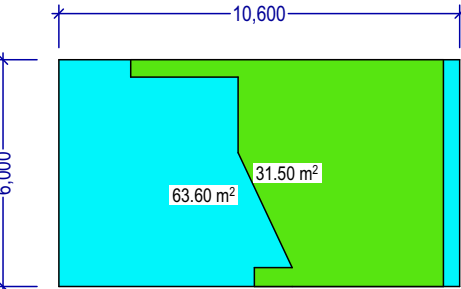
DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

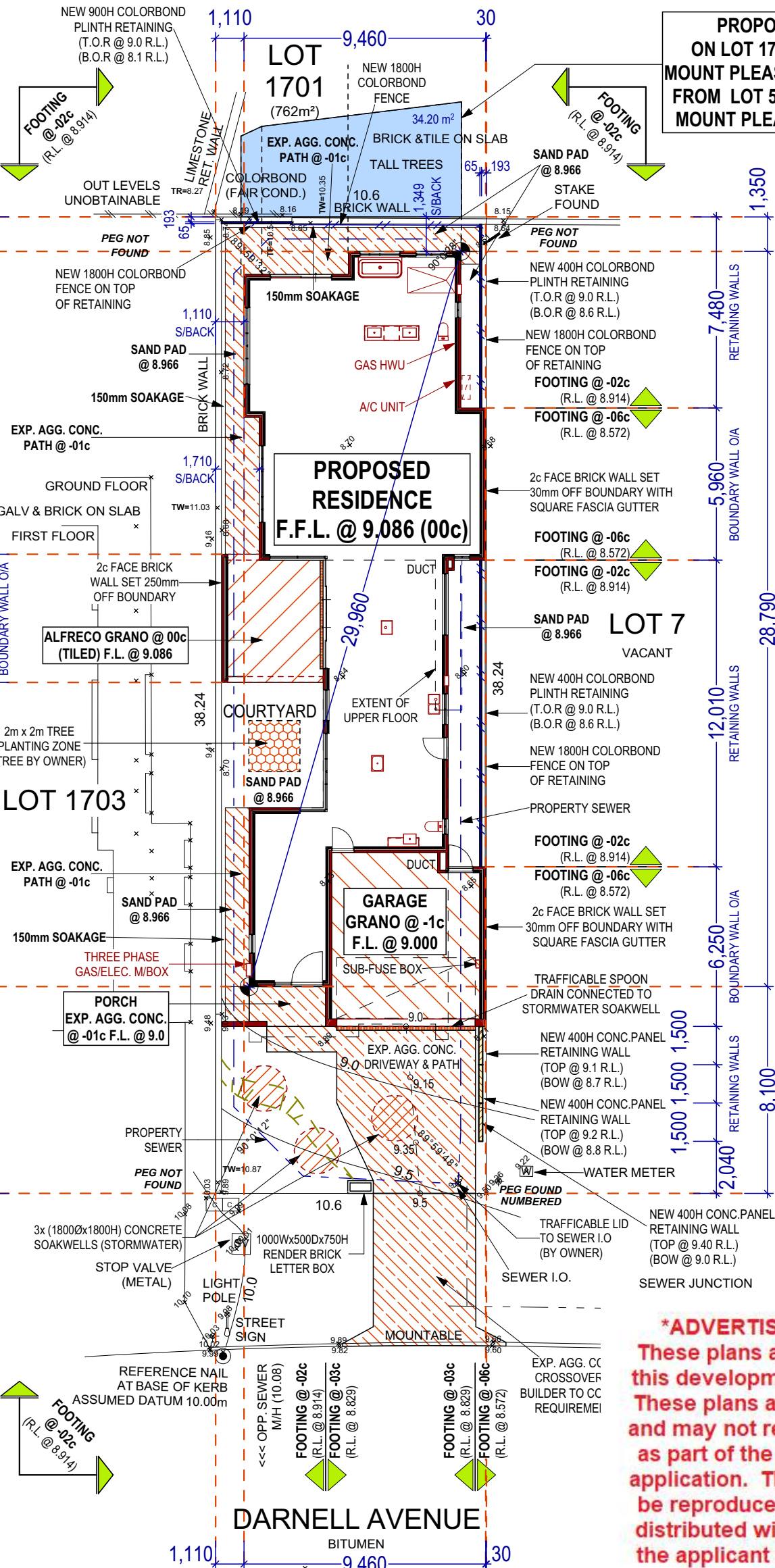
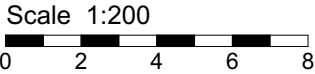
OWNER ACKNOWLEDGES THAT THE FINAL POSITION OF BOUNDARY WALLS TO BE DETERMINED ON SITE BY BUILDER AT THE BUILDERS DISCRETION IN RELATION TO EXISTING BOUNDARY WALLS AND FENCES



6m FRONT SETBACK AREA = 63.60m²
PROPOSED IMPERVIOUS MATERIAL = 31.50m²
APPROXIMATELY 49.53% OF THE 6m FRONT SETBACK AREA IS IMPERVIOUS MATERIAL.

IMPERVIOUS MATERIAL CALCULATION

LOT MISCLOSE
0.001 m



PROPOSED OVERSHADOW
ON LOT 1701 (#14) MALDON WAY,
MOUNT PLEASANT AT NOON, JUNE 21st
FROM LOT 5 (#27) DARNELL AVENUE,
MOUNT PLEASANT IS 34.20m² (4.49%)

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COTTAGE
SURVEYS
LICENSED SURVEYORS

87-89 Guthrie St PO Box 1611 P: (08) 9446 7361
Osborne Park Osborne Park BC E: perth@cottage.com.au
WA 6017 WA 6917 W: www.cottage.com.au

JOB: 632175 DATE: 22 Dec 25 DRAWN: K. Castillo

CONTOUR & FEATURE SURVEY

LOT Lot 8 (DP 428054)
ADDRESS #27 Darnell Avenue, Mt Pleasant
LGA CITY OF MELVILLE
CLIENT Rainstone Property Group Pty Ltd
GPS Lat: -32.035964 Long: 115.845171
SSA No AREA 405m² VOL.4077 FOL.441

GAS	Check Alinta	COMMS	Yes
WATER	Yes	DRAINAGE	Good
ROADS	Bitumen	COASTAL	No
PATH	Nil	SOIL	Sand
KERBS	Mountable	VEG.	Light Grass Cover

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9 WILLCOCK STREET,
ARDROSS. W.A. 6153
PH: 6310 8888 FAX: 6310 8889
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PROPOSED RESIDENCE

FOR:- YEO
LOT N°: PROPOSED LOT 8 (#27) DARNELL AVENUE
MT. PLEASANT

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SITE CLASSIFICATION

A

BAL RATING

N/A

CORROSION CLASSIFICATION

TBA

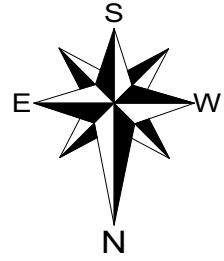
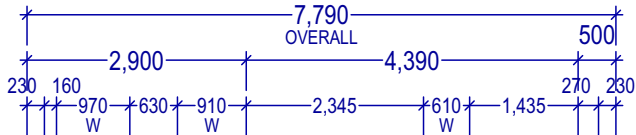
WIND CLASSIFICATION

TBA

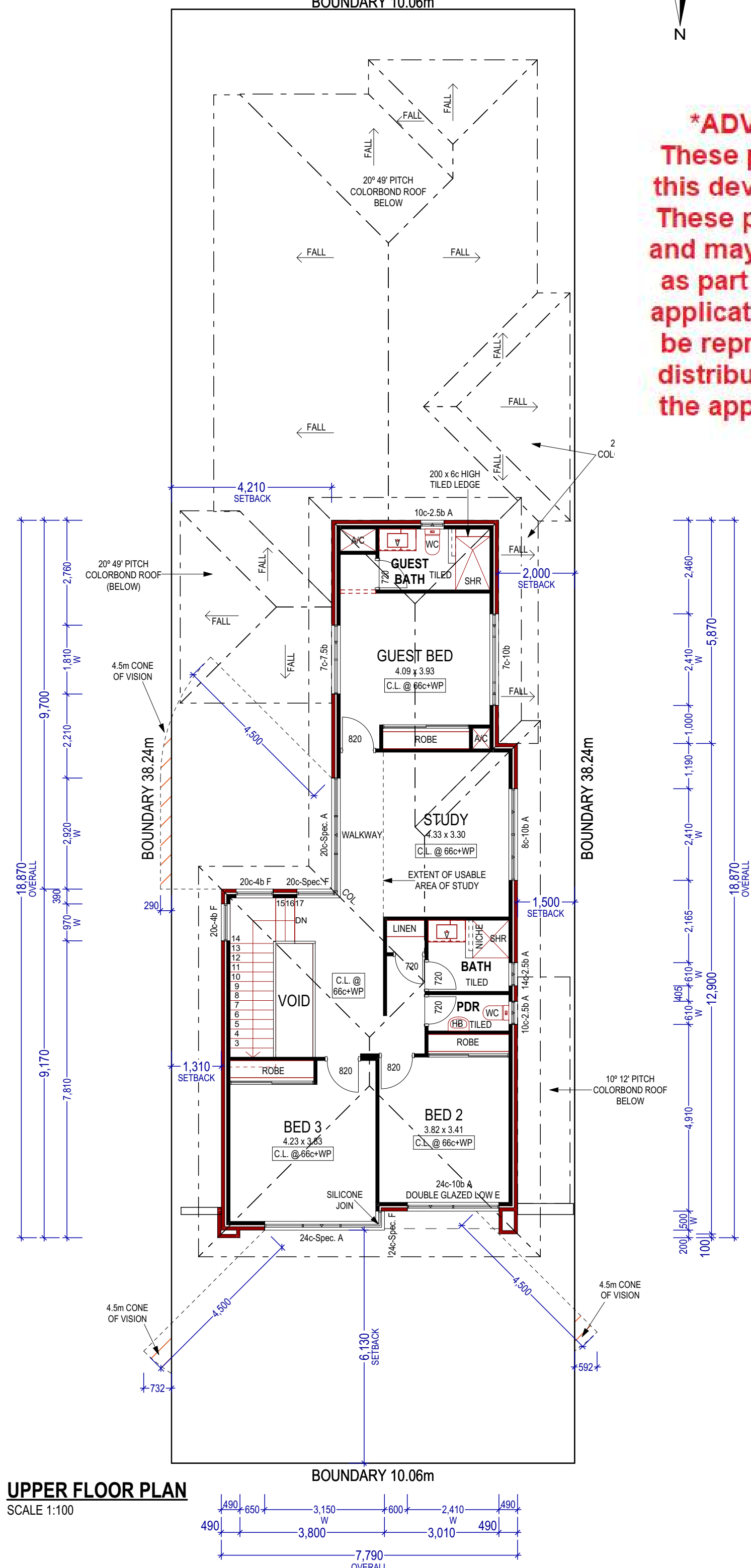
SHEET 3 OF 6

JOB NUMBER:
2365

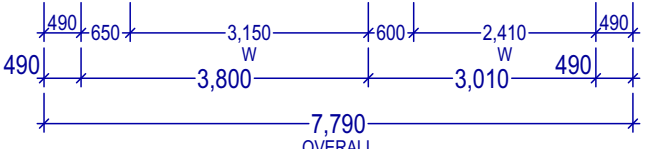
DRAWN	DATE	CHANGES
PVN	16.04.2026	*



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UPPER FLOOR PLAN
SCALE 1:100



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FOR:- YEO
LOT N°: PROPOSED LOT 8 (#27) DARNELL AVENUE
MT. PLEASANT

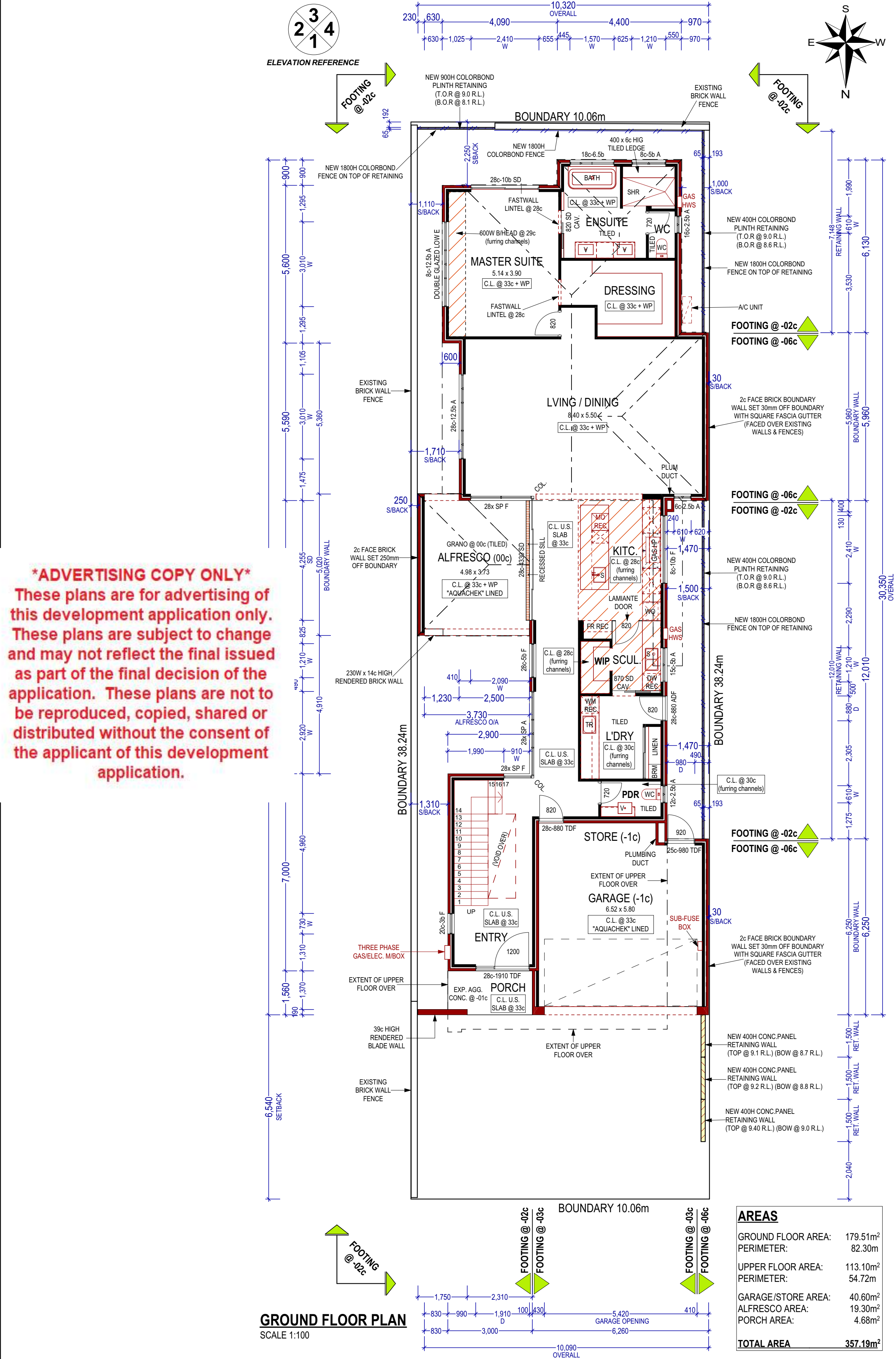
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SITE CLASSIFICATION	BAL RATING	CORROSION CLASSIFICATION	WIND CLASSIFICATION
A	N/A	TBA	TBA

SHEET 5 OF 6

JOB NUMBER:
2365

DRAWN	DATE	CHANGES
PVN	16.04.2026	*



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PROPOSED RESIDENCE

FOR:- YEO
LOT N°: PROPOSED LOT 8 (#27) DARNELL AVENUE
MT. PLEASANT

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SITE CLASSIFICATION

A

BAL RATING

N/A

CORROSION CLASSIFICATION

TBA

SHEET 4 OF 6

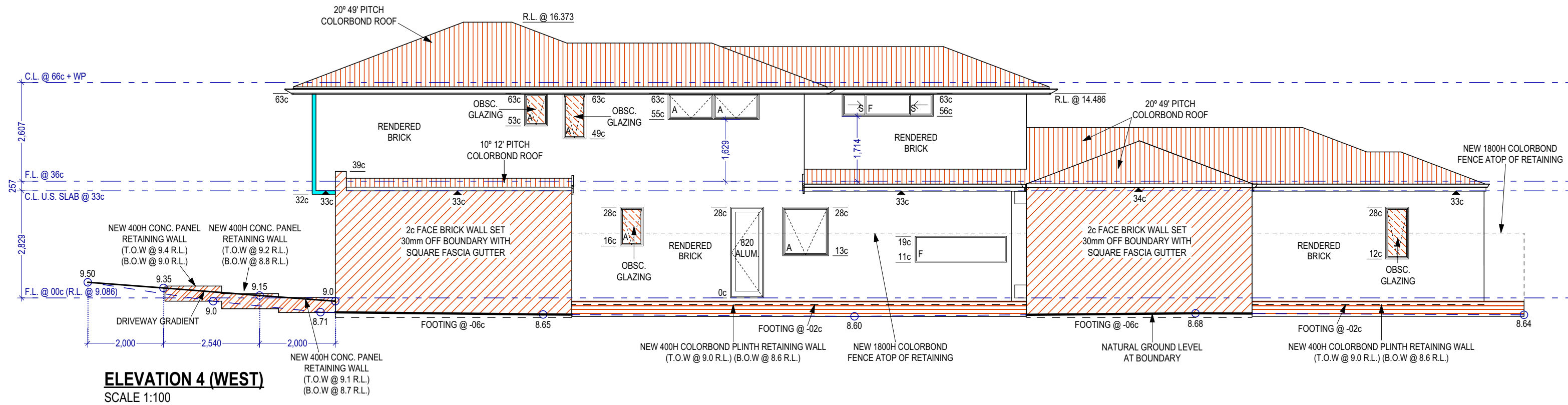
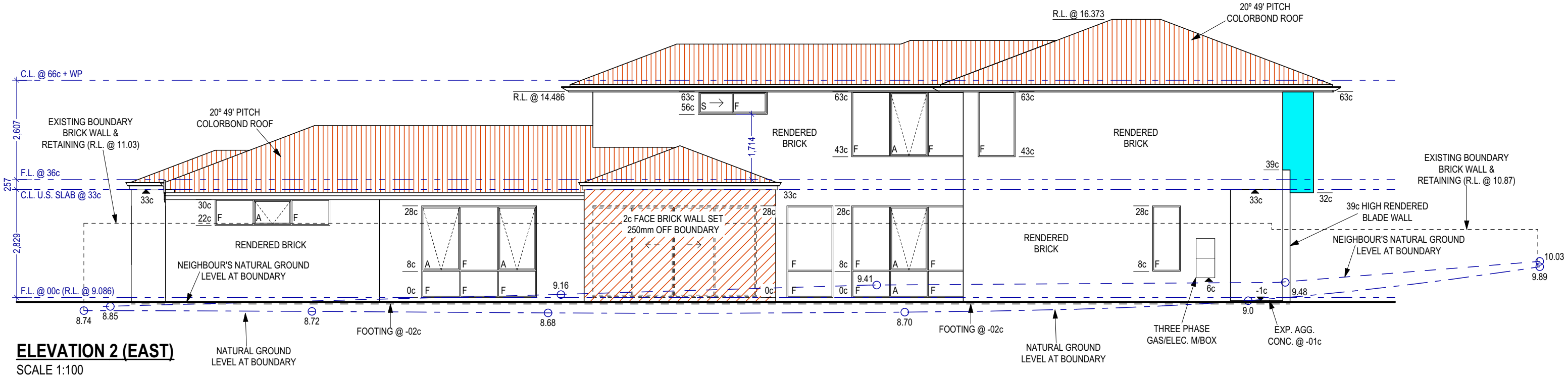
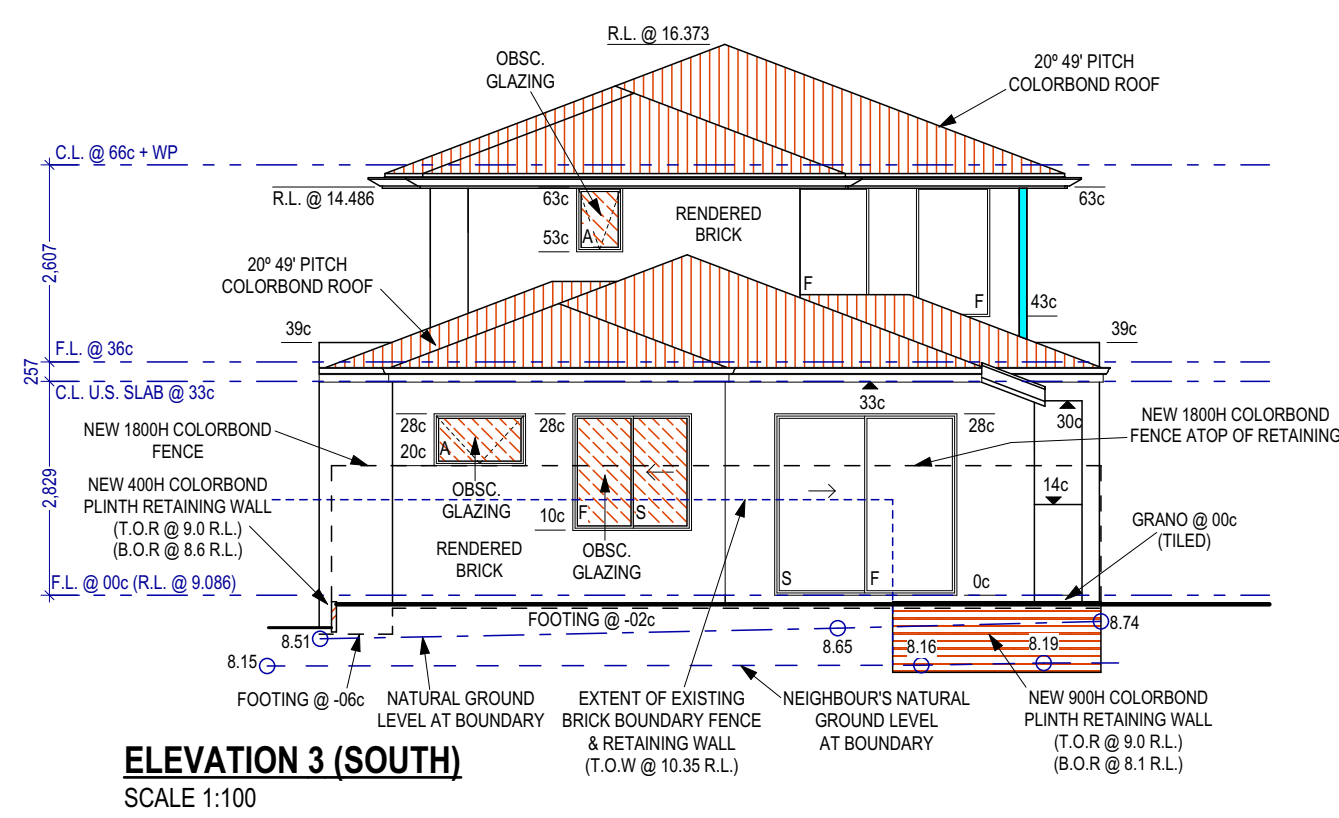
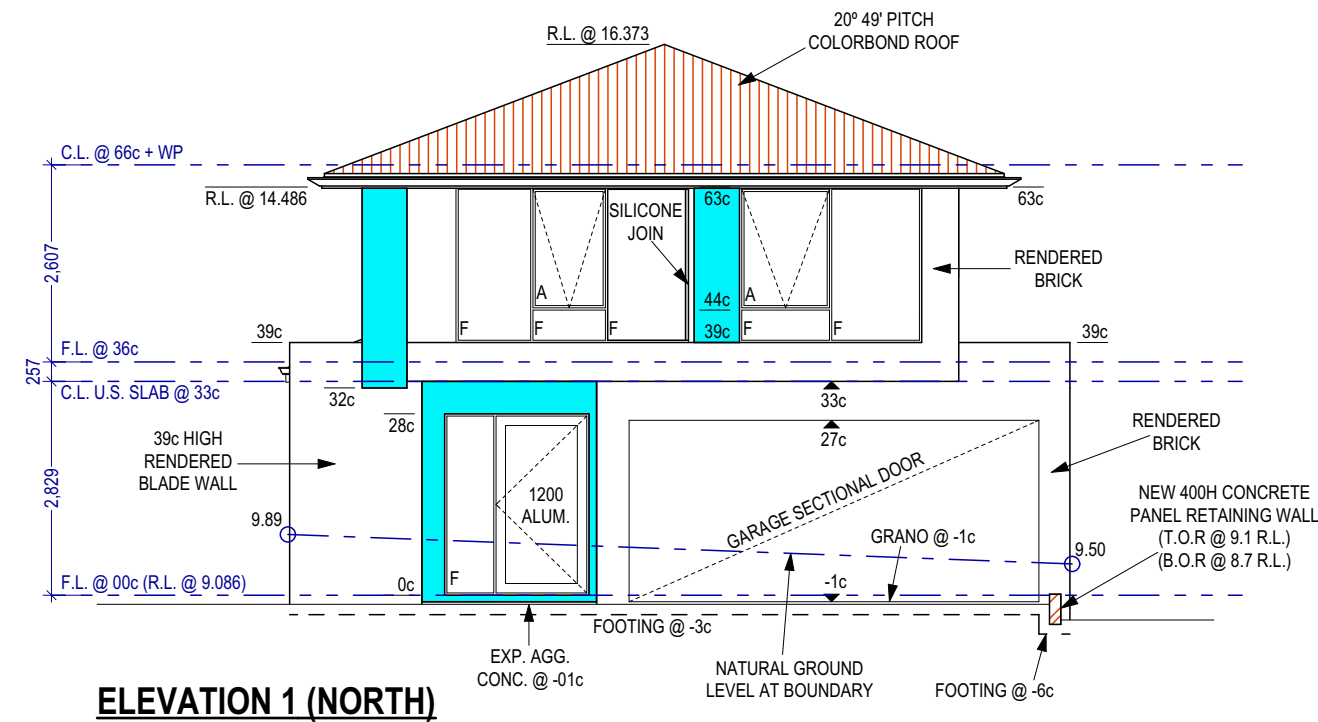
JOB NUMBER:
2365

DRAWN	DATE	CHANGES
PVN	16.04.2026	*

WIND CLASSIFICATION

TBA

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A T R I U M • H O M E S •				PROPOSED RESIDENCE FOR:- YEO LOT N°: PROPOSED LOT 8 (#27) DARNELL AVENUE MT. PLEASANT NOTE: * ALL PLANS & ELEVATIONS ARE DIAGRAMATIC ONLY AND SHOULD NOT BE USED TO SCALE EXACT SIZES. BRICK MEASUREMENTS DO NOT ALLOW FOR PLASTERING FINISH. * ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. * ALL DIMENSIONS ARE TO FACE			
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