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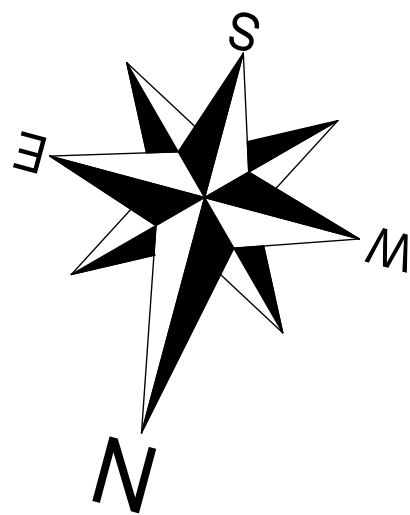


PROPOSED BORADE RESIDENCE FACADE
603 CANNING HIGHWAY, ALFRED COVE

 Passarelli Designs Residential & Commercial Building Designers 76 Walters Drive, Osborne Park, WESTERN AUSTRALIA 6017 PH: 0417 797 760 EMAIL: jpassarelli@gmail.com ©COPYRIGHT WEB www.passarellidesigns.com.au Document Set ID: 7428108 Version: 1, Version Date: 09/09/2026	NOTES CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. REFER TO EXISTING DRAWINGS FOR STRUCTURAL AND CONCRETE WORK. CONSTRUCTION DETAILS MAY VARY ON SITE AT THE BUILDER'S OR OWNER'S DISCRETION. DO NOT SCALE FROM DRAWINGS. This drawings shall remain the sole property of PASSARELLI DESIGNS and must not be copied, given, lent, resold, hired out or otherwise disposed of without the written permission of JOHN PASSARELLI	DATE	STAGE	DRAWN	CLIENT	JOB NO.
		11/19/2025	CONCEPTUAL	R-JAY	BORADE RESIDENCE	00-000
		13/05/2026	REVISIONS	JP		
					ADDRESS	SHEET NO.
					603 CANNING HIGHWAY, ALFRED COVE	DWG. 0
		ZONING: R20	VERSION 001			SCALE AS SHOWN

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⊕	POWER DOME
⊙	POWER POLE
⌈ ⌋	PHONE PITS
⌈ ⌋	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE
TG=10.00	TOP GUTTER

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LOT MISCLOSE
0.000 m

WARNING: strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



87-89 Guthrie Street
Osborne Park, WA 6017

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Business Centre WA 6917

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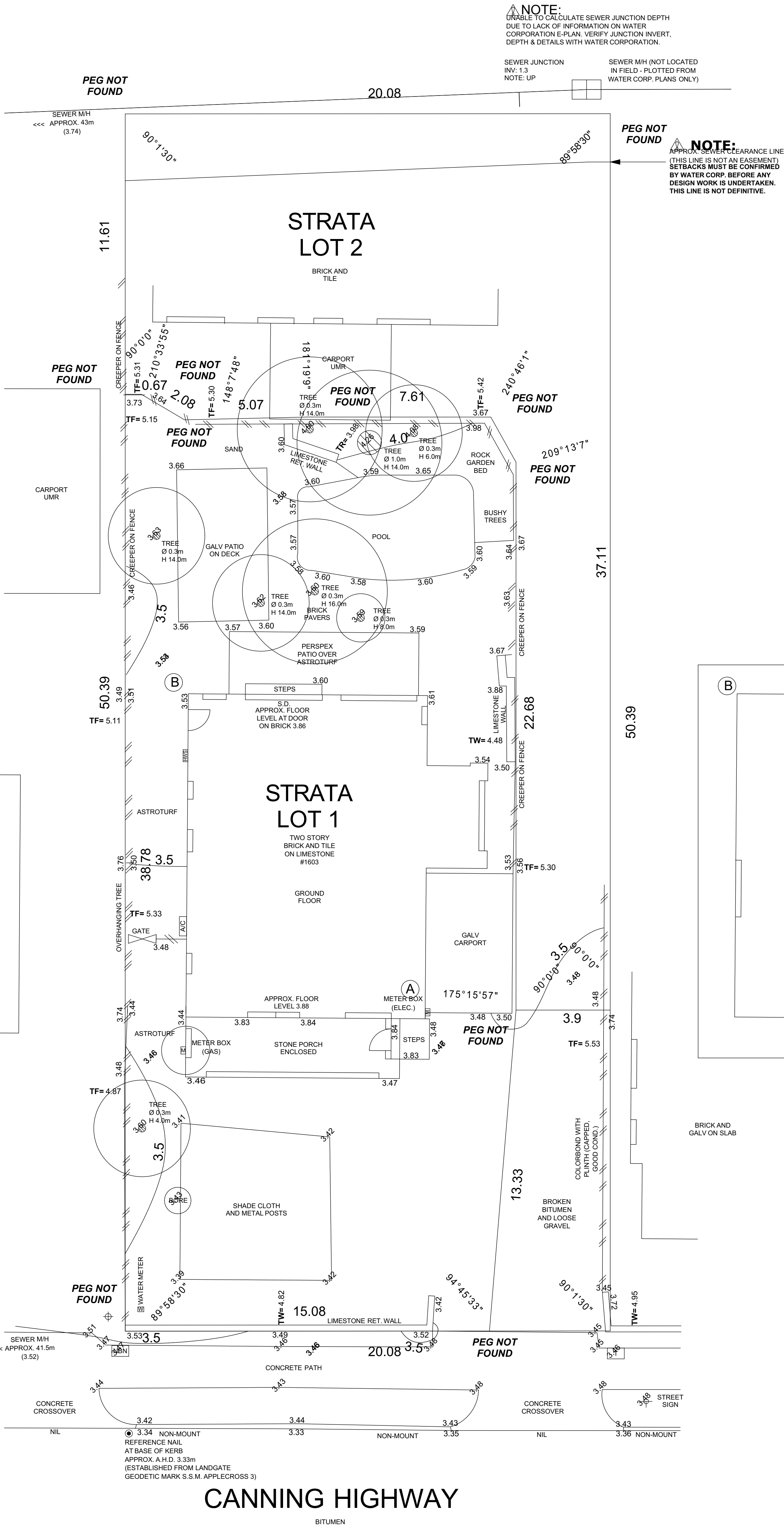
JOB #	649433
CLIENT	Maaks Engineering
ADDRESS	#603 Canning Highway
SUBURB	Alfred Cove
LGA	CITY OF MELVILLE
DRAWN	E. Hellmrch

GPS	Lat: -32.030829 Long: 115.817119
LOT	Survey Strata Lot 1 (SP 31152)
AREA	605m ²
DATE	05 Jun 26
VOL.	2073
FOL.	611
SSA	No

ROADS	Bitumen
KERBS	Non-Mount / Nil
FOOTPATH	Concrete
SOIL	Sand
DRAINAGE	Good
VEGETATION	Light Grass Cover

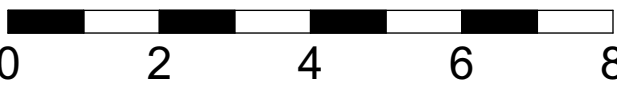
ELEC.	U/Ground
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No

(Approximate Only
Confirm With Shire)



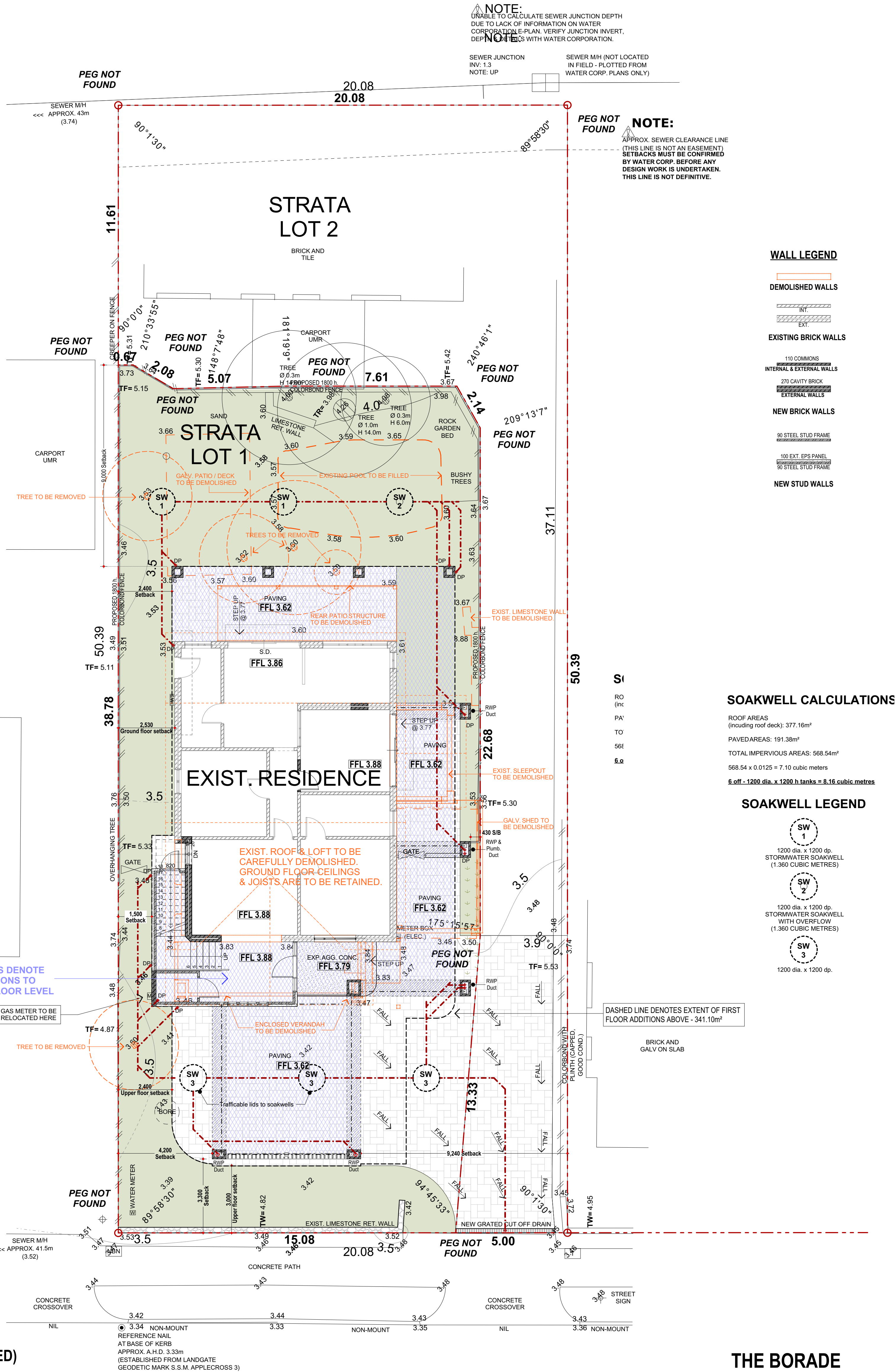
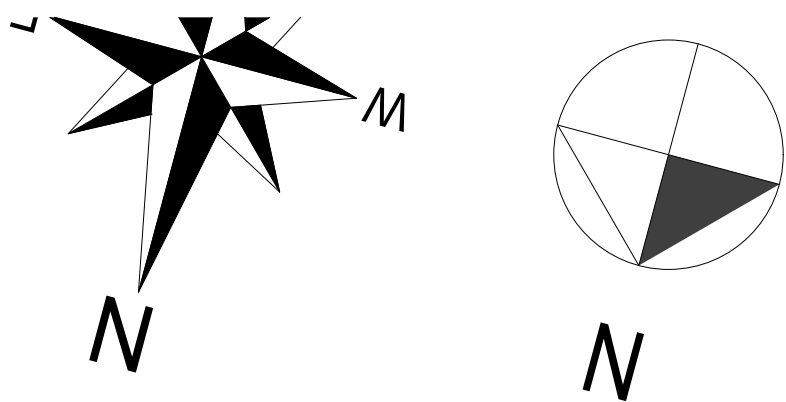
EXISTING SITE PLAN SCALE 1:100

Scale



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OPEN SPACE CALC's (50% REQUIRED)

LOT AREA	- 605m ²
G.F. HOUSE AREA	- 154.12m ²
VERANDAH AREAS	- 91.91m ²
PORCH AREA	- 8.63m ²
CARPORT AREA	- 73.93m ²
TOTAL HOUSE AREA	- 328.59m ²

SUBTRACT 50m² OF COVERED OPEN SPACE = 278.59m² FOOTPRINT

EQUATES TO 54% OPEN SPACE

CANNING HIGHWAY

SITE PLAN SCALE 1:100

THE BORADE AREAS

EXIST. GROUND FLOOR	- 130.39 m ²
NEW G.F. ADDITIONS	- 23.73 m ²
NEW UPPER FLOOR ADDITION	- 281.82m ²
NEW ROOF TOP TERRACE ADDITION	- 88.24m ² (O/ALL)
NEW PORCH ADDITION	- 8.63m ²
NEW CARPORT ADDITION	- 73.93m ²
NEW VERANDAH'S ADDITION	- 91.91m ²
NEW BALCONY ADDITION	- 38.61m ²
NEW DRYING COURT BALCONY	- 5.54 m ²
TOTAL	- 742.80 m ²

Passarelli Designs Residential & Commercial Building Designers PH. 0417 797 760 EMAIL. jpassa60@gmail.com www.passarellidesigns.com.au	NOTES CONSIDER ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL AND CONCRETE WORKING. CONSTRUCTION DETAILS MAY VARY ON SITE. THE BUILDERS OR OWNER'S DISCRETION. DO NOT SCALE FROM DRAWINGS. This drawings shall remain the sole property of PASSARELLI DESIGNS and must not be copied, given, lent, resold, hired out or otherwise disposed of without the written permission of JOHN PASSARELLI	DATE: 11/19/2025 STAGE: CONCEPTUAL DRAWN: R-JAY REVISIONS: JP ZONING: R20 VERSION: 001	CLIENT: BORADE RESIDENCE ADDRESS: 603 CANNING HIGHWAY, ALFRED COVE	JOB NO.: 00-000 SHEET NO.: DWG. 1 SCALE: AS SHOWN
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GENERAL NOTES:

*DO NOT SCALE FROM DRAWNGS.

*DIMENSIONS SHOWN ON THE DRAWINGS ARE TO THE RAW UNPLASTERED BRICKWORK. CHECK ON SITE BEFORE THE COMMENCEMENT OF ANY WORKS.

*ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS DRAWINGS, THE INTERIOR DESIGNERS DRAWINGS AND THE LANDSCAPING ARCHITECTS DRAWINGS.

*BUILDER TO REFER ALSO TO THE ENERGY EFFICIENCY REPORT IN RESPECT TO INSULATION REQUIREMENTS AND SEALING OF OPENINGS OR PENETRATIONS TO THE ATMOSPHERE.

*ANY DISCREPENCIES WHICH MAY AFFECT THE INTEGRITY OF THE DESIGN INTENTION MUST BE BROUGHT TO THE ATTENTION OF THE BUILDER AND THE RELEVANT DESIGNERS TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF ANY WORKS.

*SC - DENOTES STRUCTURAL COLUMN TO ENGINEERS SPECIFICATION.

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WALL LEGEND

DEMOLISHED WALLS

EXISTING BRICK WALLS

NEW BRICK WALLS

NEW STUD WALLS

HATCHED AREAS DENOTE THE NEW ADDITIONS TO THE GROUND FLOOR LEVEL

THE BORADE AREAS

EXIST. GROUND FLOOR	-	130.39 m ²
NEW G.F. ADDITIONS	-	23.73 m ²
NEW UPPER FLOOR ADDITION	-	281.82m ²
NEW ROOF TOP TERRACE ADDITION	-	88.24m ² (O/ALL)
NEW PORCH ADDITION	-	8.63m ²
NEW CARPORT ADDITION	-	73.93m ²
NEW VERANDAH'S ADDITION	-	91.91m ²
NEW BALCONY ADDITION	-	38.61m ²
NEW DRYING COURT BALCONY	-	5.54 m ²
TOTAL	-	742.80 m ²

GROUND FLOOR PLAN SCALE 1:100

FIRST FLOOR PLAN SCALE 1:100

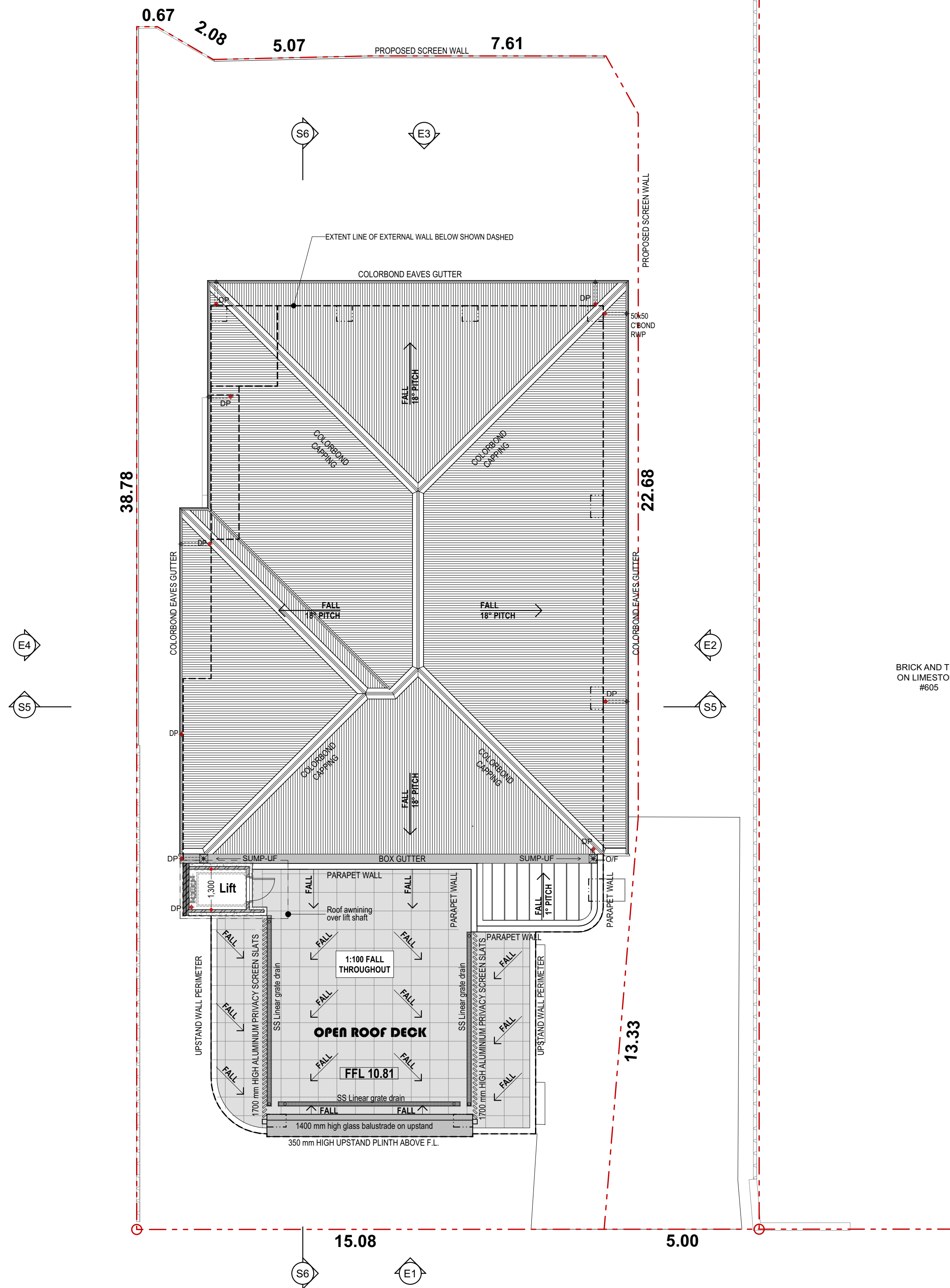
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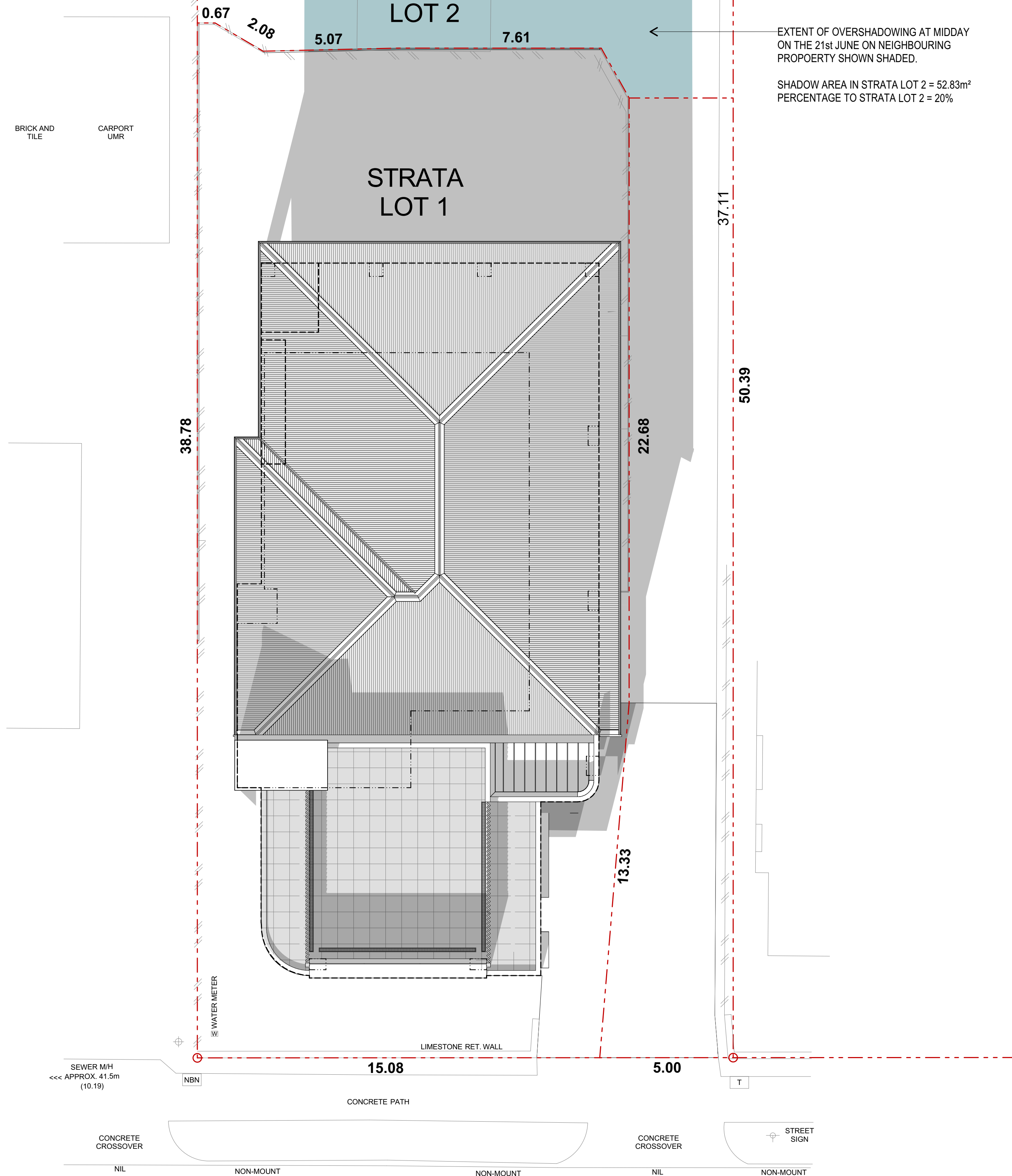
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- EXISTING BRICK WALLS**
- 110 COMMONS
 - INTERNAL & EXTERNAL WALLS
 - 270 CAVITY BRICK
 - EXTERNAL WALLS
- NEW BRICK WALLS**
- 90 STEEL STUD FRAME
 - 100 EXT. EPS PANEL
 - 90 STEEL STUD FRAME
- NEW STUD WALLS**



ROOF PLAN SCALE 1:100

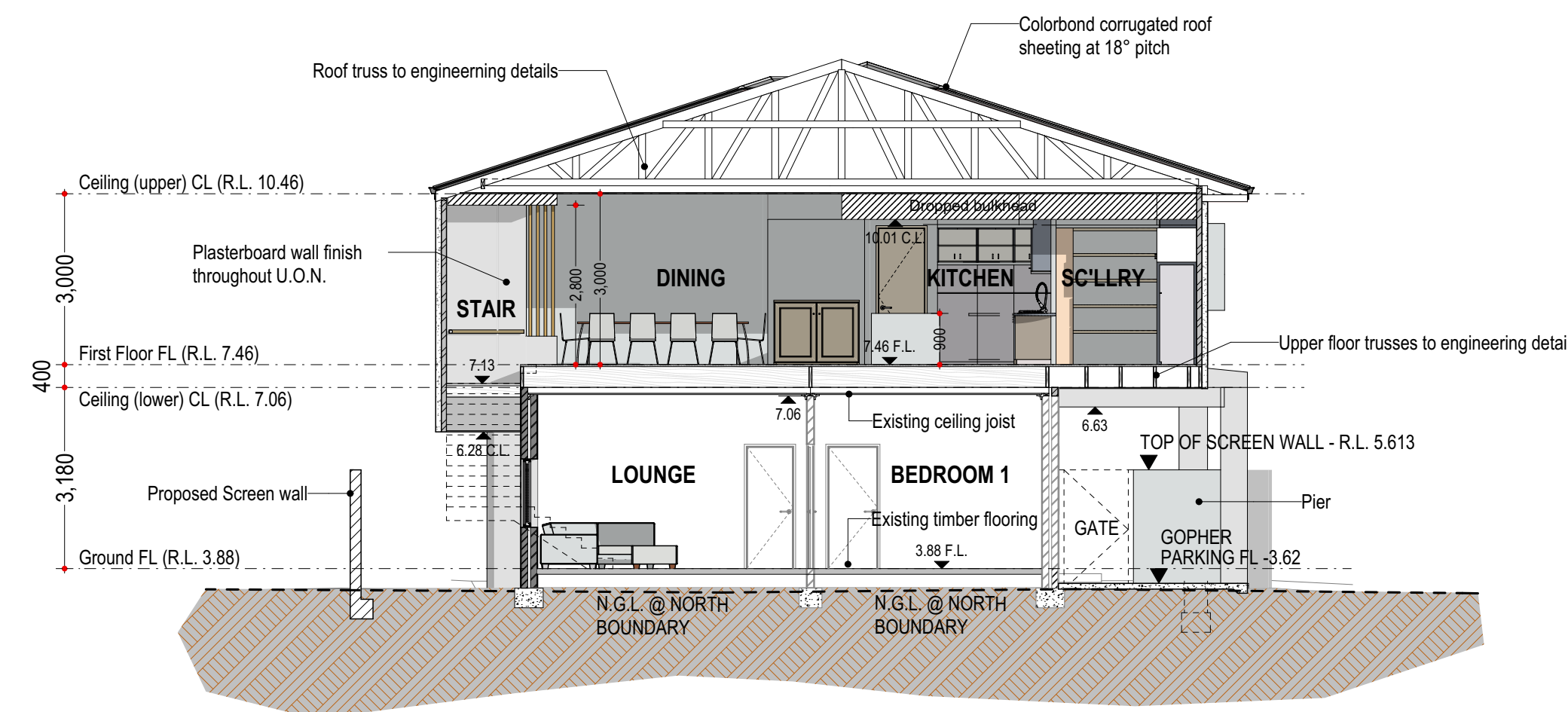


SHADOW DIAGRAM SCALE 1:100

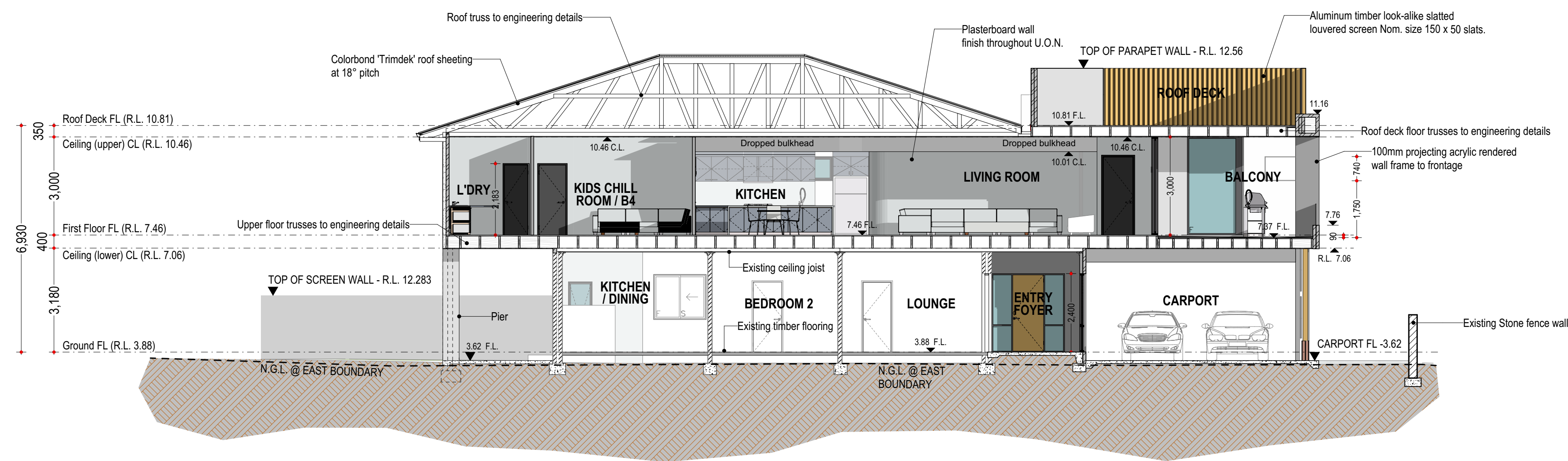
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SECTIONAL VIEW - S5 SCALE 1:100



SECTIONAL VIEW - S6 SCALE 1:100

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