



PERTH BETTER OUTDOORS

DESIGN | MANUFACTURE | BUILD

Site Plan – Page 1

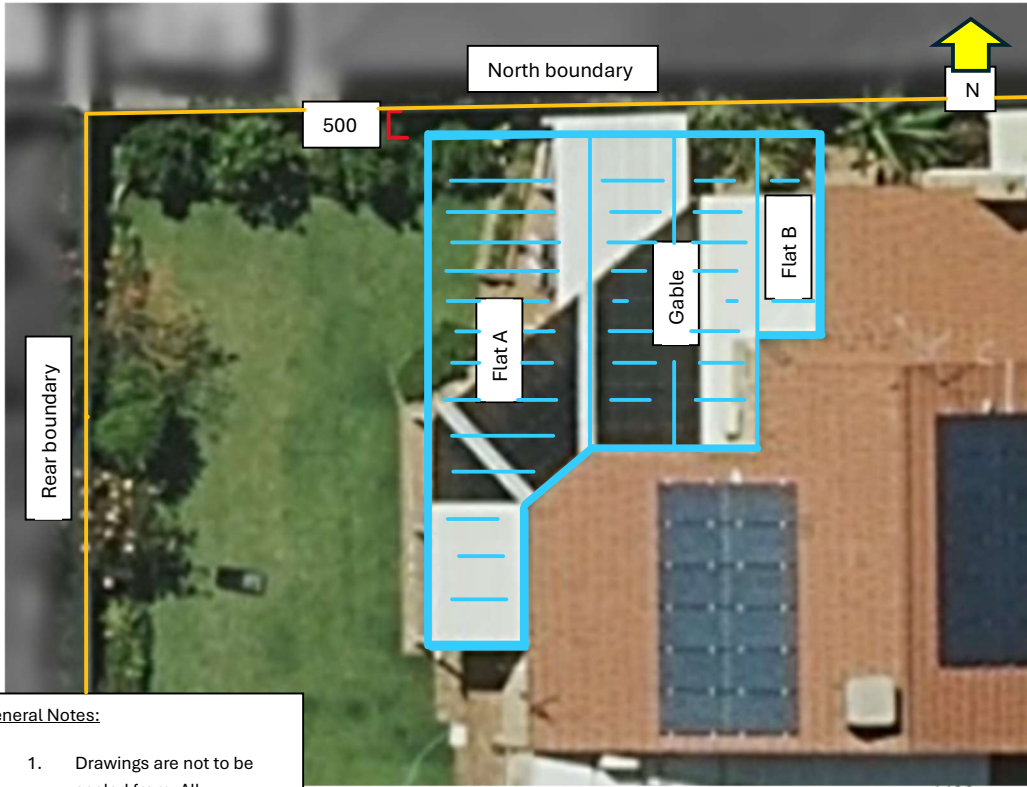
Name: Anthony Beach Address: 17 McGillivray Gardens Winthrop 6150

LOT: 215

Proposed Project: RHS Gable & Flats Date: 05/02/2026

Job Notes:

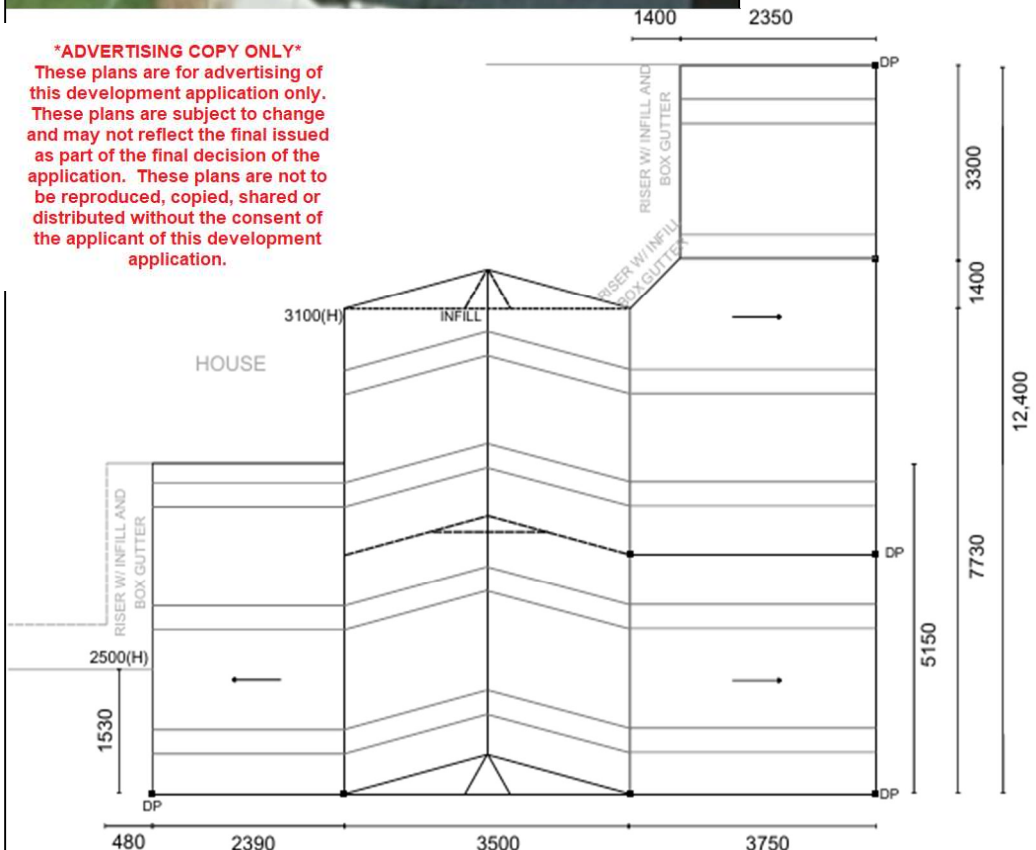
- Patio A – RHS Flat
- Patio B – RHS Flat
- RHS Gable
- All patios attached to existing dwelling
- 500mm from Rear Boundary – see page 3 and amended site plans attached for full boundary image
- Skylights throughout all 3 patios
- Existing Structure to be removed prior to build - see page 3 and attached existing and proposed footprint images
- Trimdeck
- Wind span N2
- WA Aboriginal Places Register
- Retaining/brick wall to be removed prior to install



General Notes:

1. Drawings are not to be scaled from. All measurements are in millimetres unless otherwise stated. Contractors shall confirm all dimensions and site conditions prior to commencing works.
2. Drawings are to read in conjunction with the engineer's drawings and contract documents, including any and all addendums, variations and specifications.
3. Ground level = -100mm below dwelling FFL minimum.
4. Refer to NCC 2022, Table 6.3.9a for Minimum Protective Coatings on Steelwork.
5. Down pipe locations shown indicatively, client to direct storm water to soak wells, storm water drainage, or other shire approved method upon property.
6. Metal roof cladding to be installed in accordance with AS1562.1 (2018)

ADVERTISING COPY ONLY
 These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.





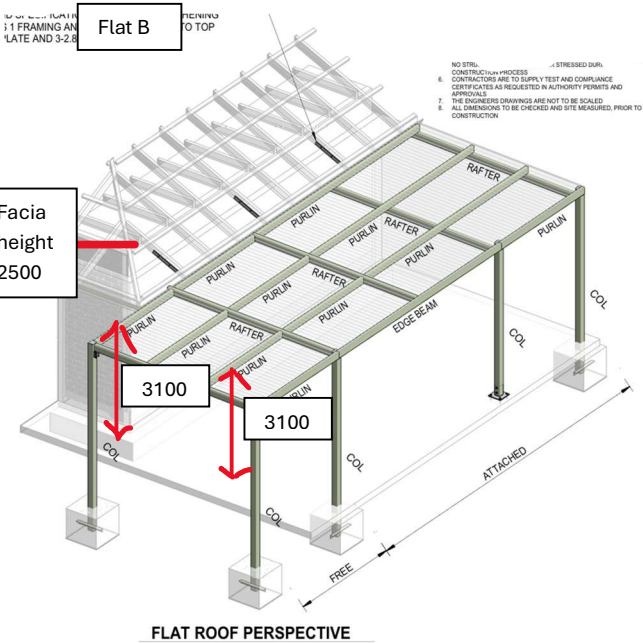
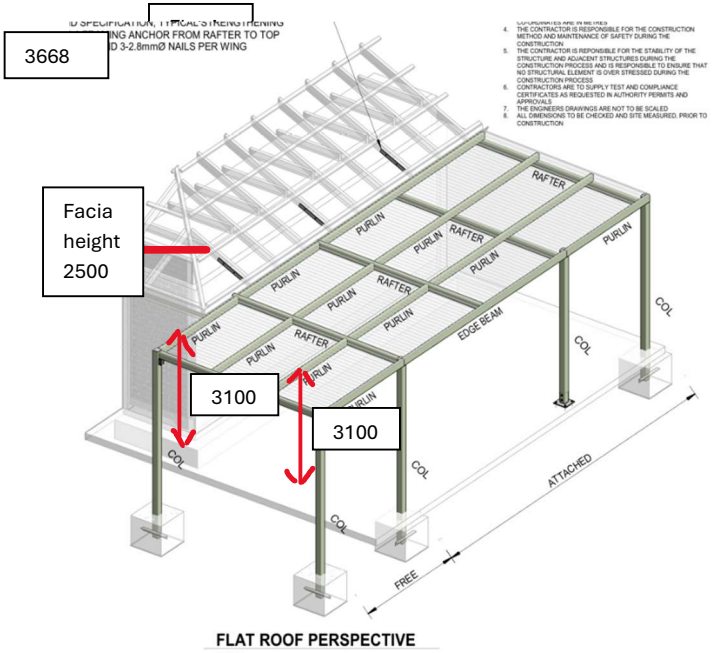
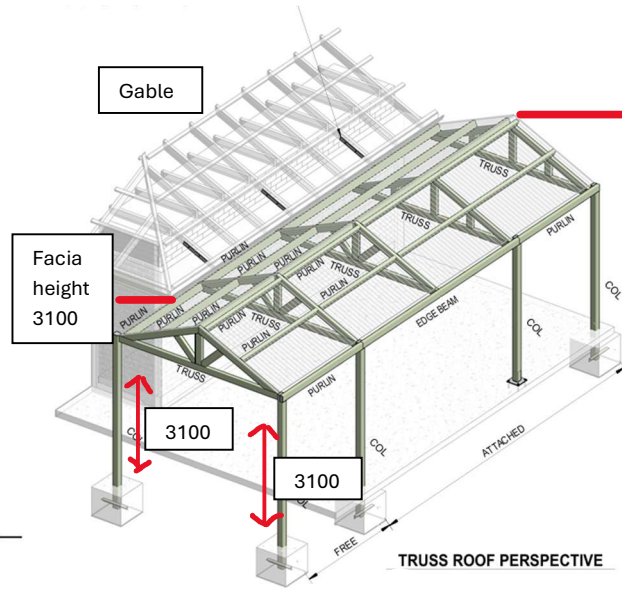
PERTH BETTER OUTDOORS

DESIGN | MANUFACTURE | BUILD

Site Plan – Page 2

Name: Anthony Beach Address: 17 McGillivray Gardens Withrop 6150 LOT: 215

Proposed Project: RHS Gable & Flats Date: 05/02/2026



ADVERTISING COPY ONLY
 These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

General Notes:

- 1 Drawings are not to be scaled from. All measurements are in millimetres unless otherwise stated. Contractors shall confirm all dimensions and site conditions prior to commencing works.
- 2 Drawings are to read in conjunction with the engineer's drawings and contract documents, including any and all addendums, variations and specifications.
- 3 Ground level = -100mm below dwelling FFL minimum.
- 4 Refer to NCC 2022, Table 6.3.9a for Minimum Protective Coatings on Steelwork.
- 5 Down pipe locations shown indicatively, client to direct storm water to soak wells, storm water drainage, or other shire approved method upon property.
- 6 Metal roof cladding to be installed in accordance with AS1562.1 (2018)



Unit 5 / 15 Alex Wood Drive
Forrestdale WA 6112
1800 976 149

Name and Address:
Anthony Beach
17 McGillivray Gardens
Winthrop WA 6150

General Note

- 1: Contractor to verify all dimensions on-site, if any irregularities are found, Contact PBO.
- 2: No changes to floor and ground levels.

Project:

RHS Gable and flat

Plan title:

ELEVATION

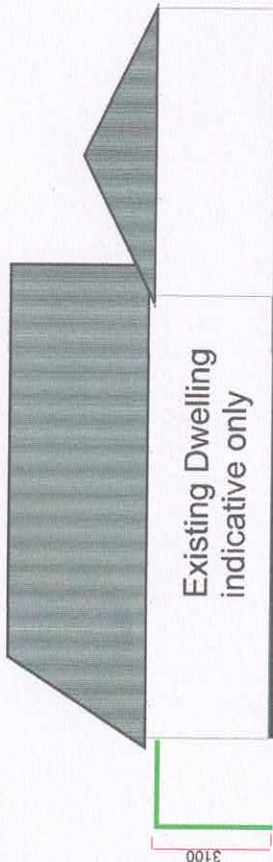
Page No: 1 of 1

ADVERTISING COPY ONLY

These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

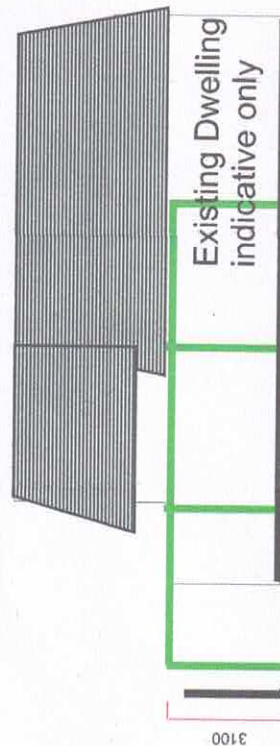
1. Drawing are not to scaled from. All measurements are in millimetres unless otherwise stated. Contractors shall confirm all dimensions and site conditions prior to commencing works.
2. Drawings are to be read in conjunction with the engineers drawings and contract documents, including any and all addendums, variations and specifications.
3. Ground level = -100mm below dwelling FFL minimum
4. Refer to NCC 2022, Table 6.3.9a for minimum.
5. Down pipe locations shown indicatively, client to direct storm water to soakwells, storm water drainage, or other shire approved method on property.
5. Metal roof cladding to be installed in accordance with AS1562.1(2018)

SOUTH ELEVATION



Scale 1:100 @A3

WEST ELEVATION



Scale 1:100 @A3

LOT No: 215

Site Area : 700m²

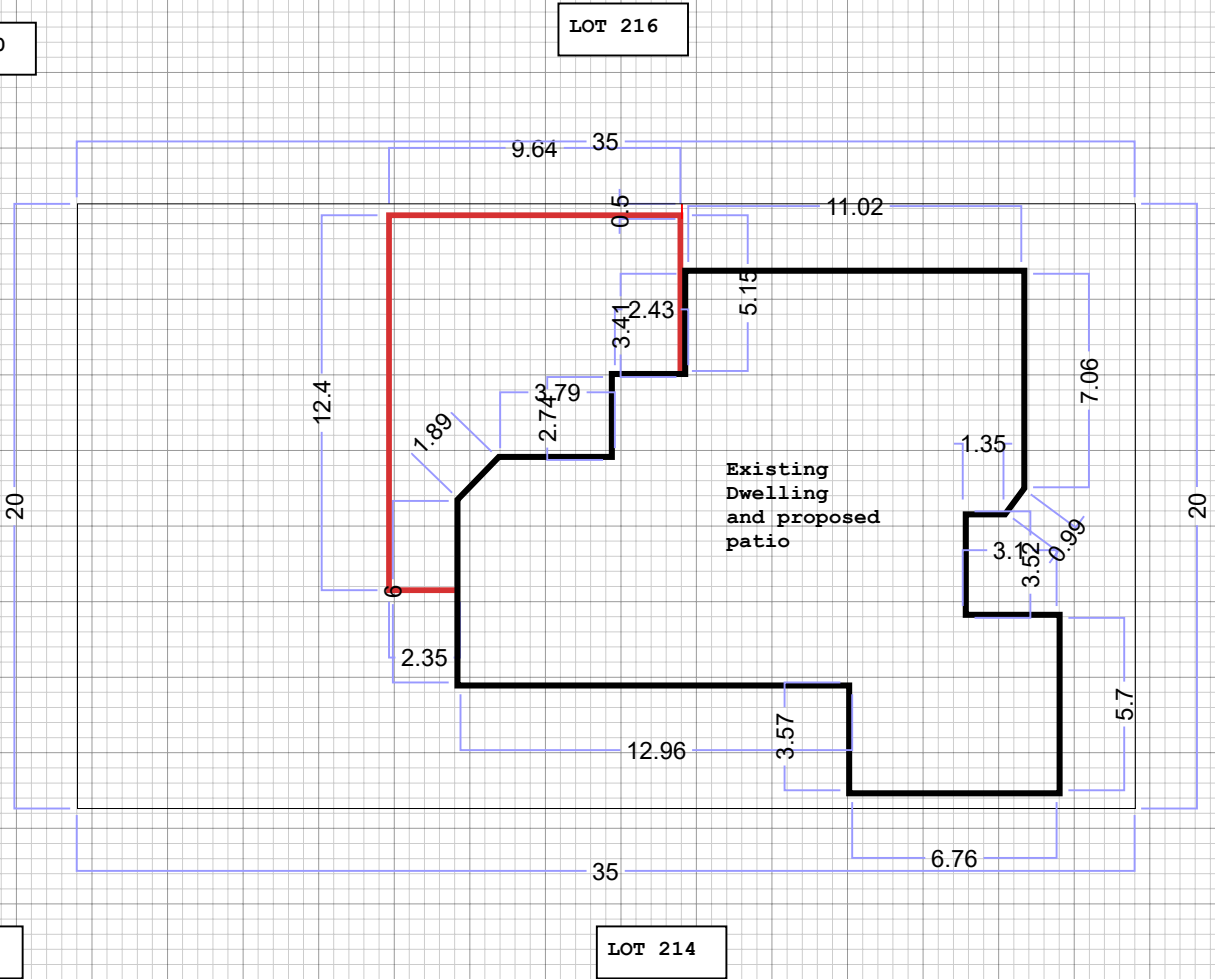
Proposed Patio Area: 86m²

Windspeed Rating: N2 s per AS/NZS1170.2:2021

Bushfire Prone area : NO



ADVERTISING COPY ONLY
 These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.



* Drawings are not to be scaled from. All measurements are in millimeters unless otherwise stated. Contractors shall confirm all dimensions and site conditions prior to commencing works.
 * Drawings are to be read in conjunction with the engineers drawings and contract documents including any and all addendums variations and specifications
 * Ground level = -100mm below dwelling FFL minimum
 * Refer to NDC 2022, Table 6.3.9a for minimum Protective Coatings on Steelwork
 * Down pipe Locations shown indicatively, client to direct storm water to soak wells, storm water drainage or other shire approved method upon property.
 * Metal roof cladding to be installed in accordance with AS1562.1 (2018)

Site: 17 McGillivray Gdns Winthrop 6150	LOT No: 215	Project: RHS Gable and flat Patio	Site Area: 700m2	Notes: No change to floor or ground levels	Perth Better Outdoors Unit 5 15 Alex Wood Drive Forrestdale WA 6112 Page 2 of 2
Name: Anthony Beach	Scale: 1:250	Date: 26.02.2026	Patio Area: 86m2		