COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

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Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
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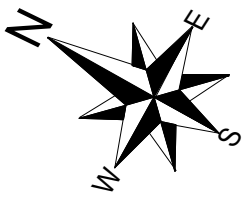
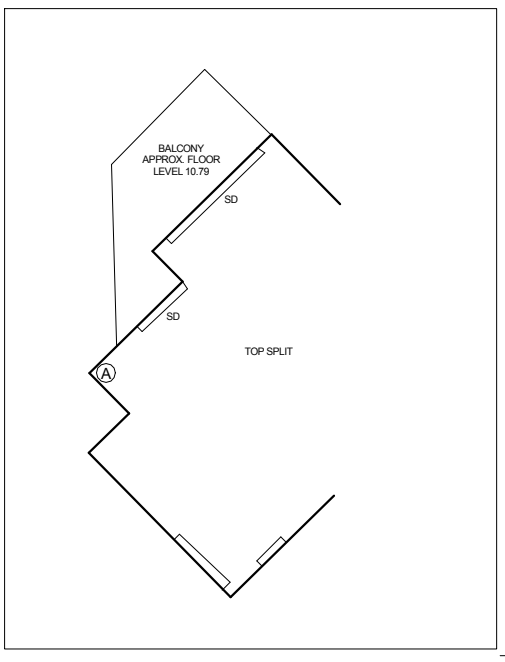
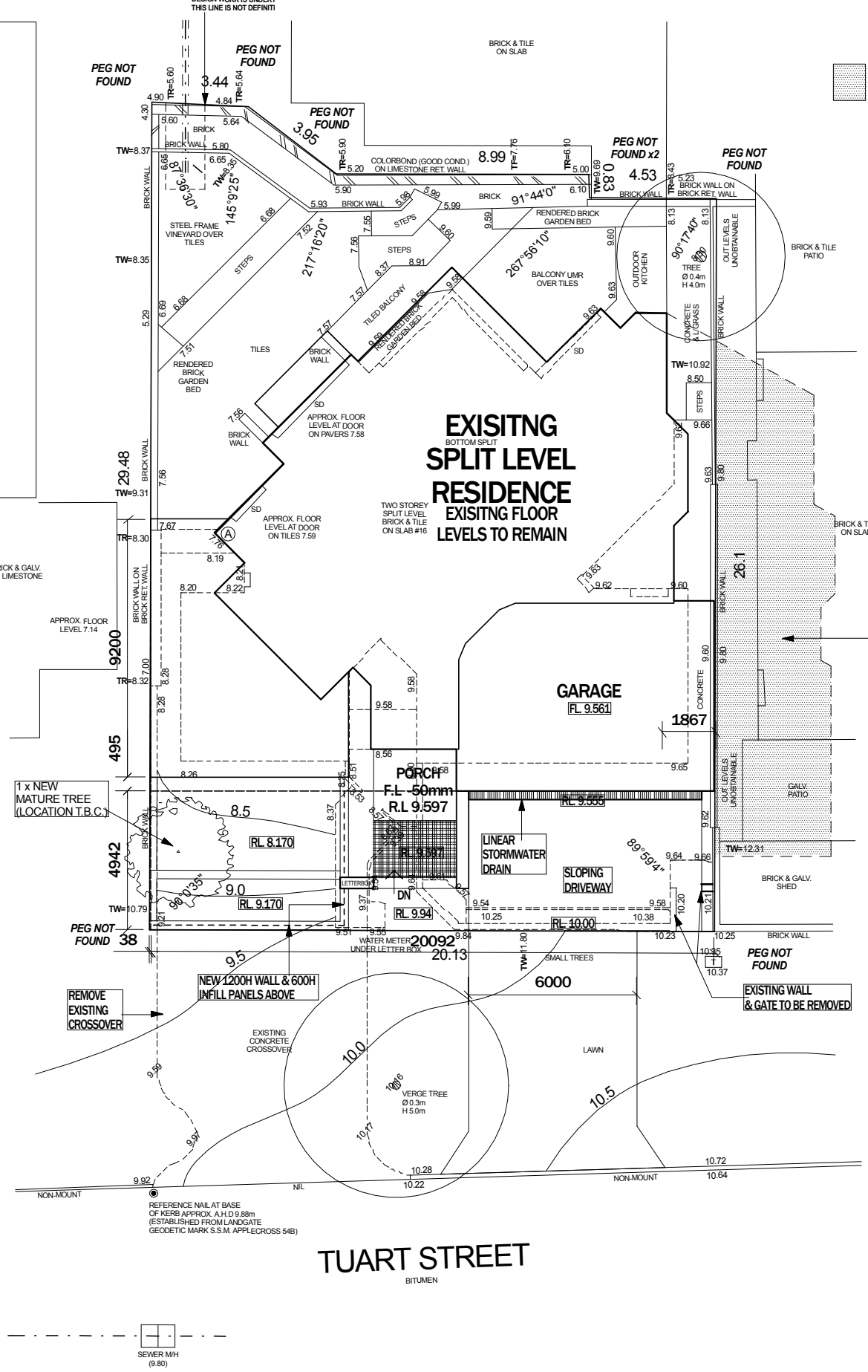
JOB #	589039	**GPS**	Lat: -32.008037 Long: 115.832470	**ROADS**	Bitumen	**ELEC.**	U/Ground(Not Loc)
CLIENT	Shayne Le Roy Design			**KERBS**	Non-Mount / Nil	**COMMS.**	Yes
ADDRESS	#16 Tuart Street	**LOT**	Lot 20 (Diag. 71739)	**FOOTPATH**	Nil	**WATER**	Yes
SUBURB	Applecross			**SOIL**	Sand	**GAS**	Check Alinta
LGA	CITY OF MELVILLE	**AREA**	551m² **VOL.** 1764 **FOL.** 853	**DRAINAGE**	Good	**SEWER**	Yes
DRAWN	M. Kouroulis	**DATE**	07 Oct 24 **SSA** No	**VEGETATION**	Light Grass Cover	**COASTAL**	250m To River (Approximate Only Confirm With Shire)

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

NOTE:
UNDERGROUND POWER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH WESTERN POWER.







OVERSHADOWING CALCULATION:

LEGEND:
- SHADOW CAST BY PROPOSED NEW RESIDENCE ON 21st JUNE AT MIDDAY

CALCULATION:
EXTENT OF OVERSHADOWING : 68.184m²
NEIGHBOURING SITE AREA : 1203m²
PERCENTAGE OF OVERSHADOWING : 5.6%

LEGEND	
	POWER DOME
	POWER POLE
T C	PHONE PITS
W	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

LOT MISCLOSE
0.003 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries **to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.**

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

REV	AMENDMENT	DATE
02	AMENDED PLANS	16/10/2025
01	DA PLANS	01/05/2025

PROJECT ADDRESS:
Proposed Additions & Alterations for
[redacted]
at Lot 20 (#16) Tuart Street
APPLECROSS

DRAWING:
SITEPLAN

DRAWING No:
DA-02

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Member of the Building Designers Association WA

SCALE	DRAWN:	CADFILE:	PAGE SIZE:
1 : 200	SL	KonYu_Tuart_a1.SKF	A3

SHAYNE LE ROY DESIGN
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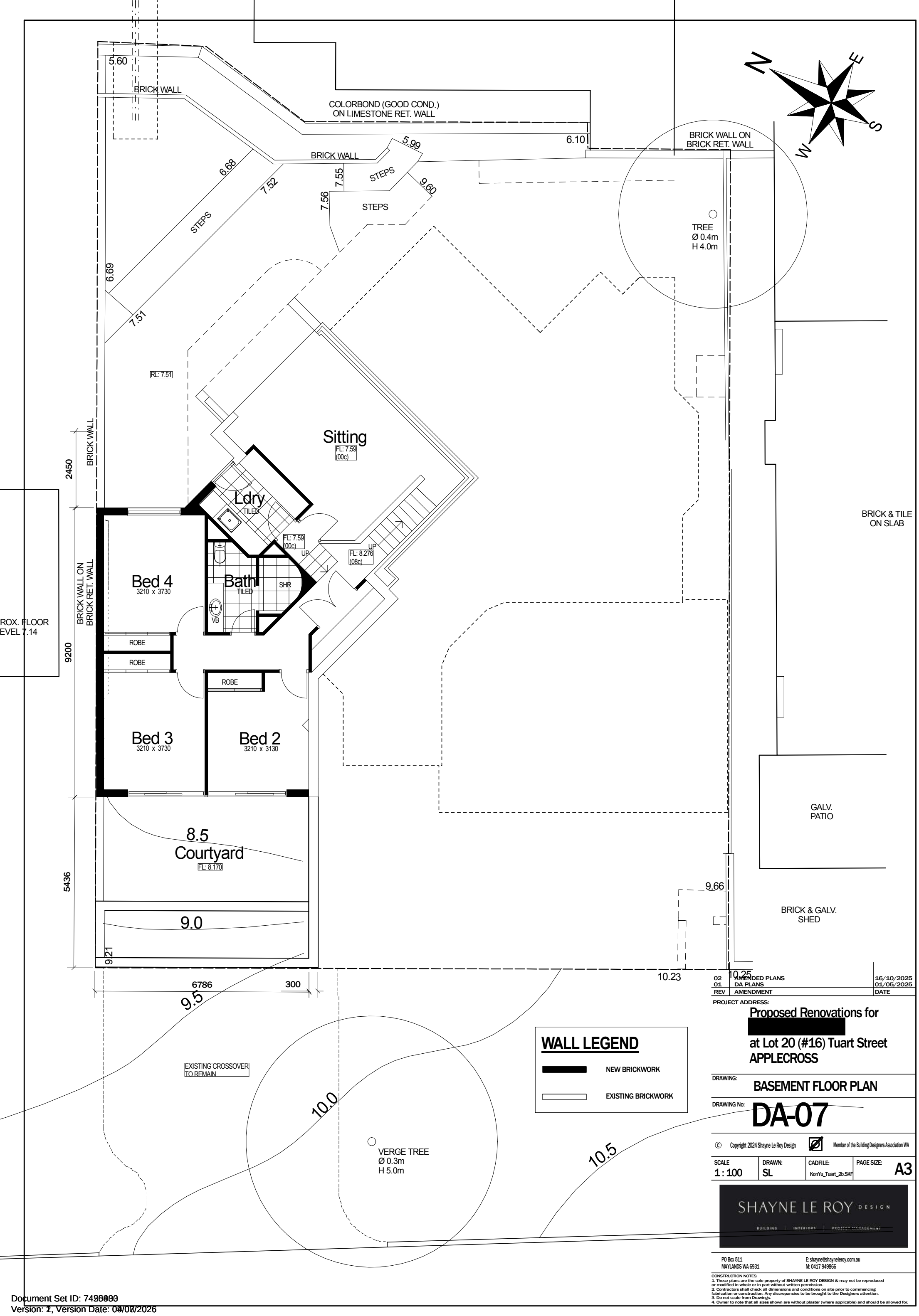
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



WALL LEGEND

NEW BRICKWORK

EXISTING BRICKWORK

REV	AMENDMENT	DATE
02	AMENDED PLANS	16/10/2025
01	DA PLANS	01/05/2025

PROJECT ADDRESS:

Proposed Renovations for
[redacted]
at Lot 20 (#16) Tuart Street
APPLECROSS

DRAWING:
BASEMENT FLOOR PLAN

DRAWING No:
DA-07

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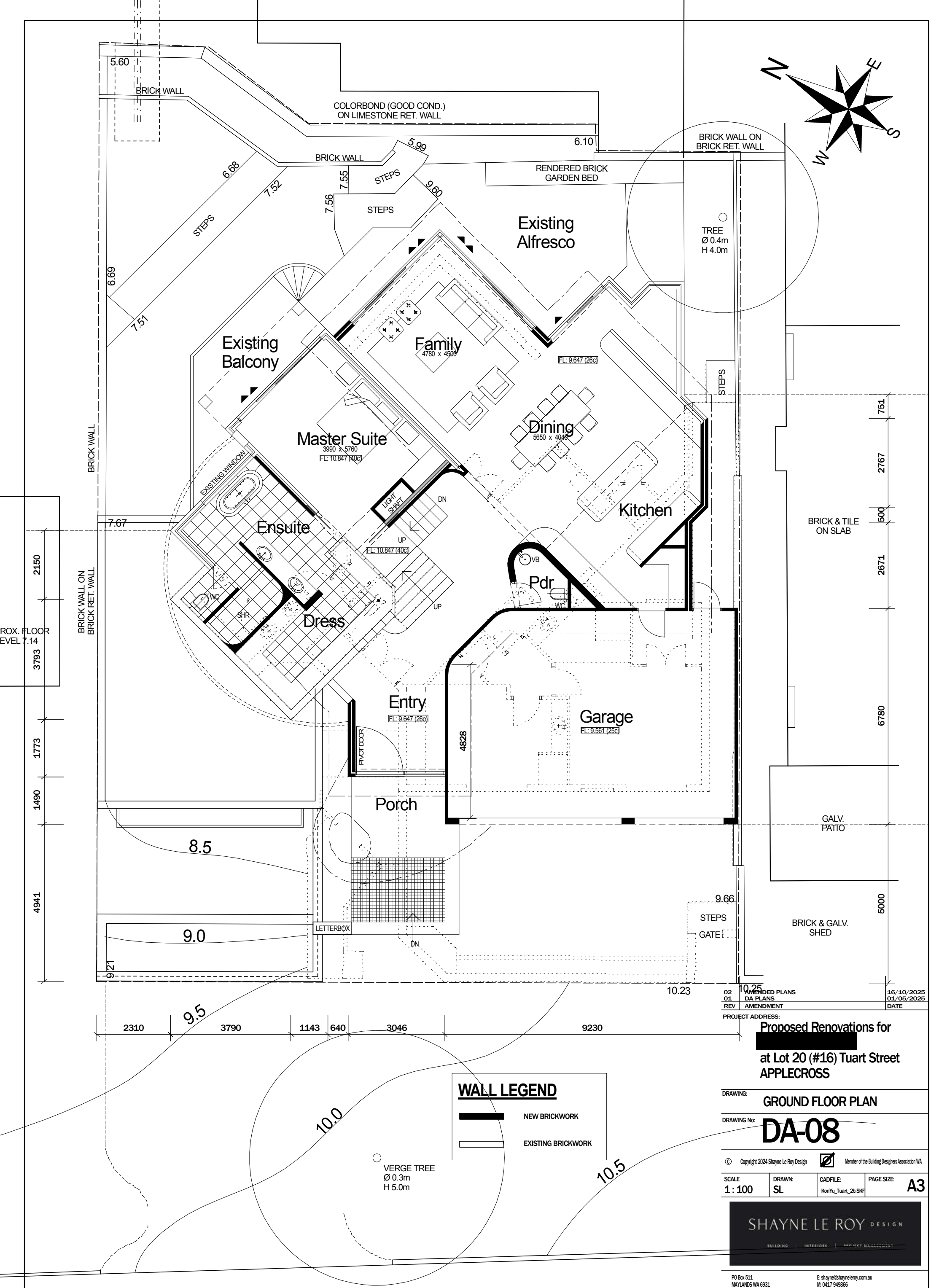

WALL LEGEND

NEW BRICKWORK

EXISTING BRICKWORK

REV	AMENDMENT	DATE
02	AMENDED PLANS	16/10/2025
01	DA PLANS	01/05/2025

PROJECT ADDRESS:

Proposed Renovations for [redacted]

at Lot 20 (#16) Tuart Street APPLECROSS

DRAWING: **GROUND FLOOR PLAN**

DRAWING No: **DA-08**

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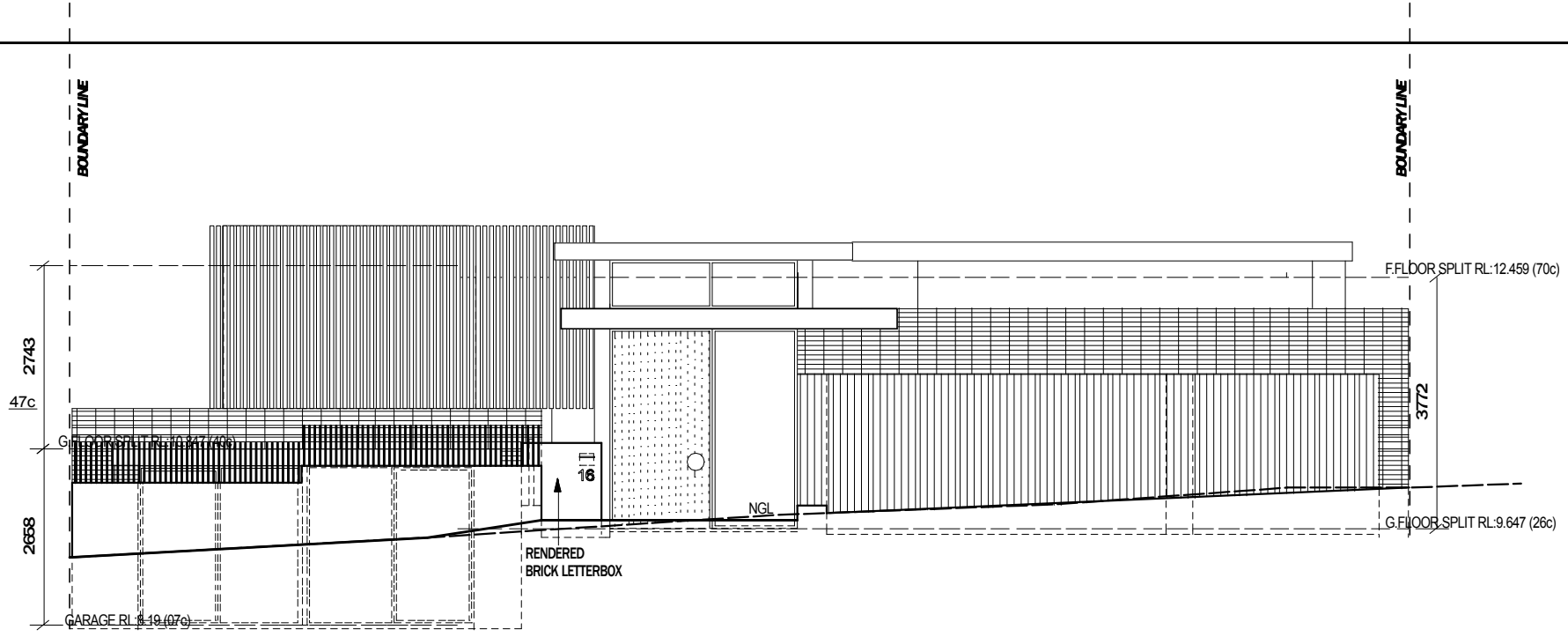
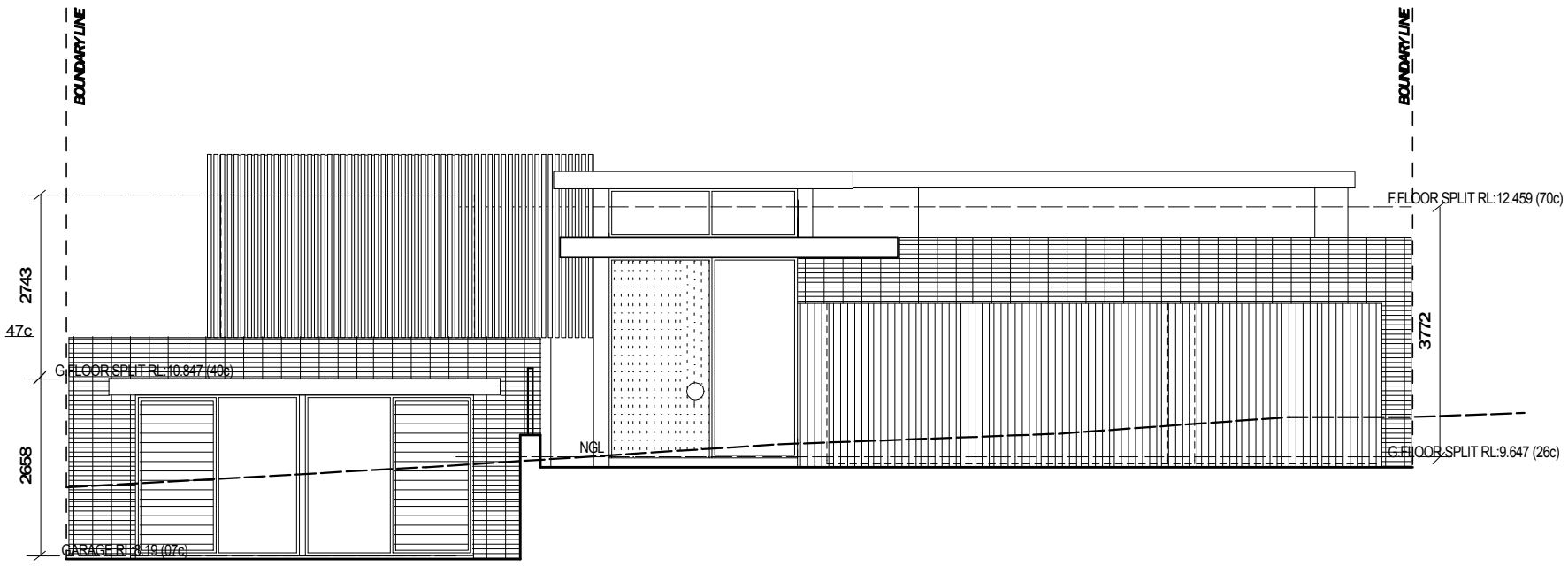
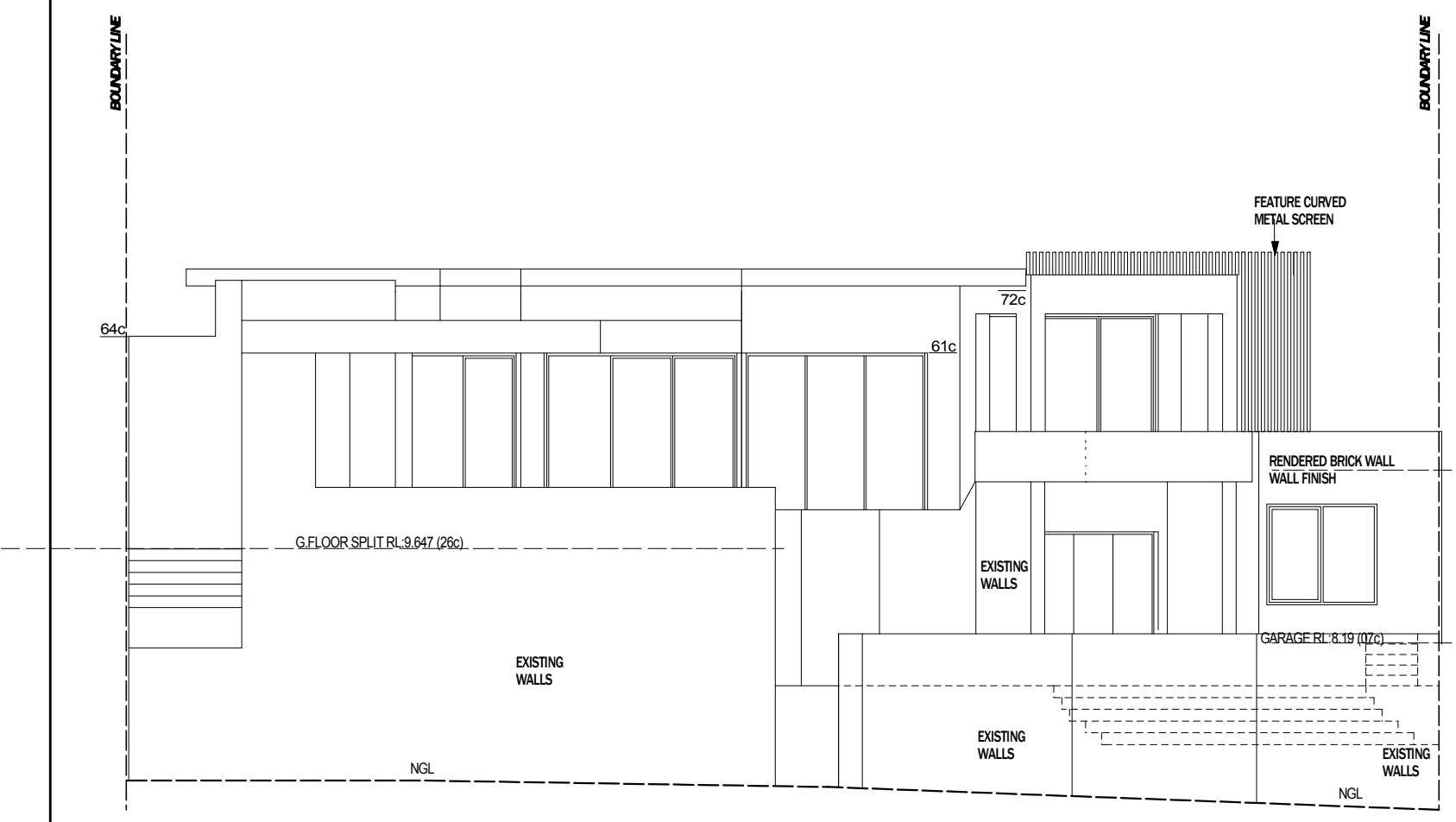


Streetscape Elevation



Western Elevation



Eastern Elevation

REV	AMENDMENT	DATE
02	AMENDED PLANS	16/10/2025
01	DA PLANS	01/05/2025

PROJECT ADDRESS:

Proposed Renovations for
[redacted]
at Lot 20 (#16) Tuart Street
APPLECROSS

DRAWING: **ELEVATIONS**

DRAWING No: **DA-09**

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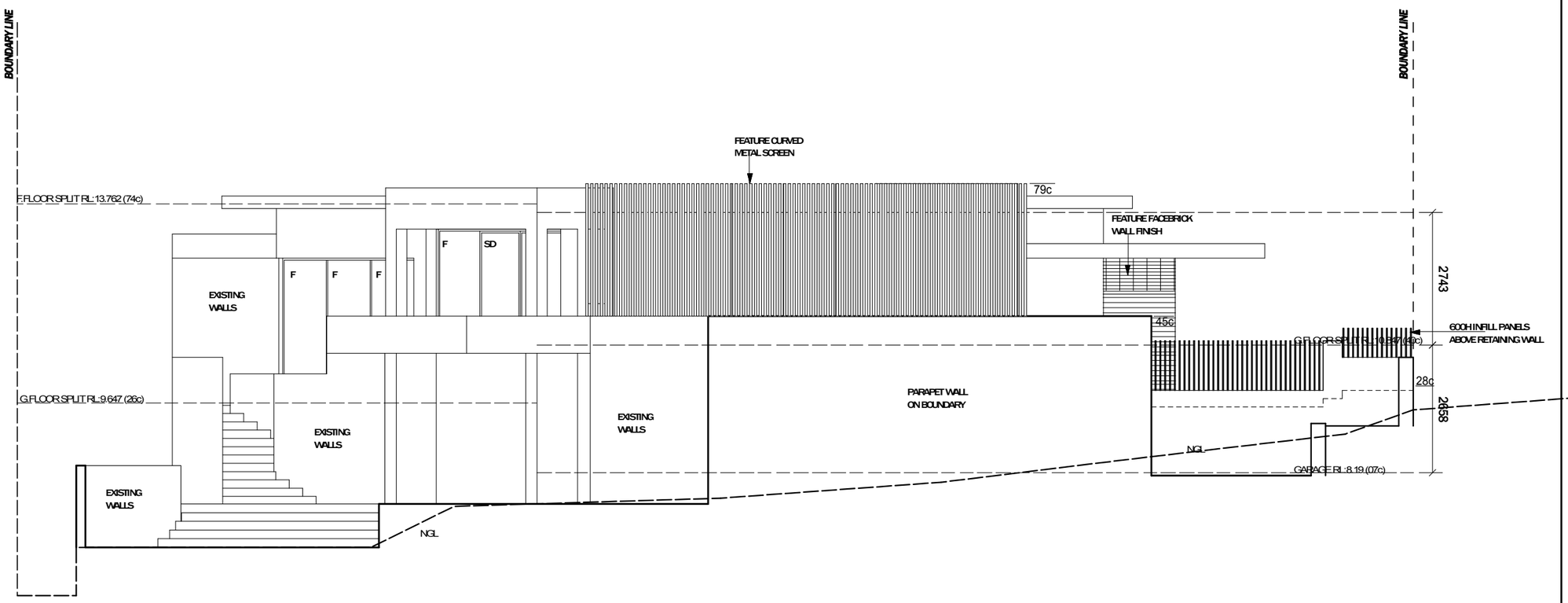
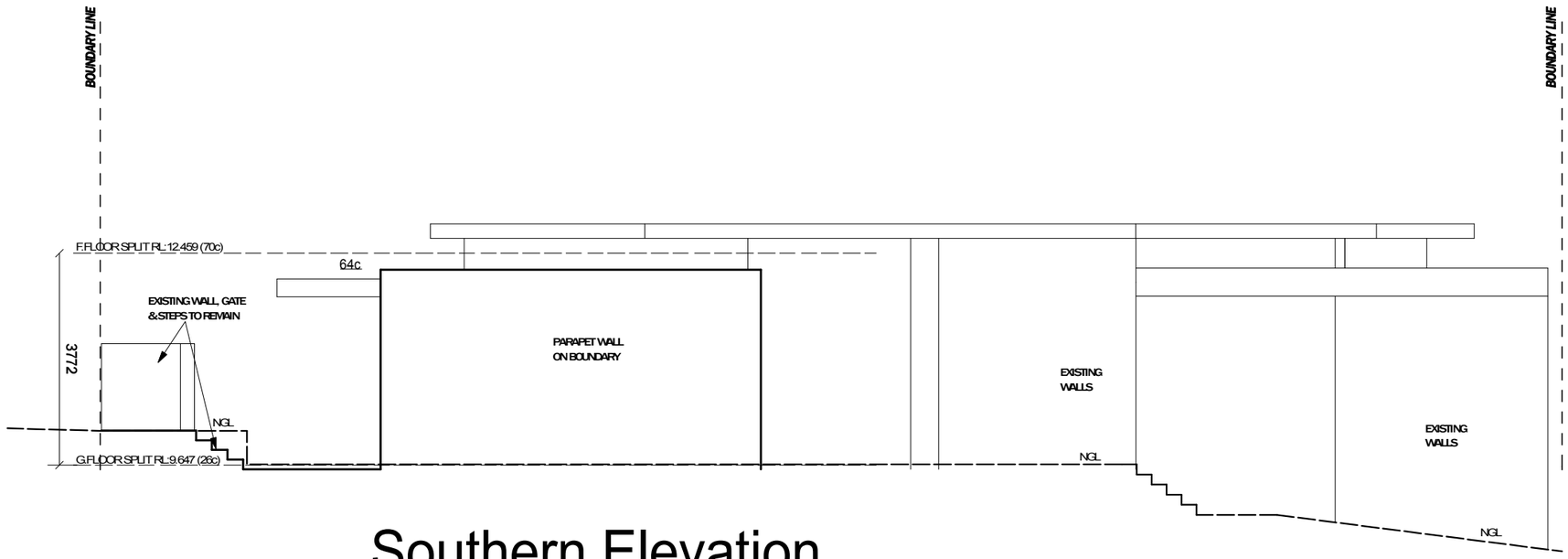
Version: 1, Version Date: 08/07/2026



Northern Elevation



Southern Elevation

REV	AMENDMENT	DATE
02	AMENDED PLANS	16/10/2025
01	DA PLANS	01/05/2025

PROJECT ADDRESS:

Proposed Renovations for [redacted] at Lot 20 (#16) Tuart Street APPLECROSS

DRAWING:

ELEVATION

DRAWING No:

DA-10

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Version: 2, Version Date: 04/08/2026