

SERVICE LEGEND

DRAINAGE

GRATE

SIDE ENTRY PIT

STORM WATER MANHOLE

ELECTRICAL

CABLE MANHOLE

CABLE PIT / BOX

CABLE DOME

CONSUMER POLE

LIGHT POLE

POWER POLE

STAY POLE

STAY WIRE ANCHOR

O/H POWER LINE

GAS

GAS MANHOLE

GAS MARKER

GAS METER

GAS VALVE

SEWERAGE

SEWER MANHOLE

PROPERTY CONNECTION

SEWER LINE

COMMUNICATIONS

COMMS MANHOLE

COMMS MARKER

COMMS CABLE PIT

WATER

FLUSH POINT

HYDRANT

STOP VALVE

WATER MARKER

WATER METER

UNDEFINED

UNDEFINED MANHOLE

UNDEFINED PIT

UNDEFINED SERVICE

SURVEY

DATUM

PEG FOUND

TEMPORARY / BENCH MARK

OTHER

AWNING / EAVES

ROOF RIDGE

ROOF GUTTER

FLOOR RL

BOLLARD

WINDOW

DOOR

BANK - BOTTOM

BANK - TOP

ROCK OUTCROP

LOT SERVICE RECORD

STATUS	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER	☒	☐	☐	☐
SEWER CONN.	☐	☒	☐	☒
GAS	☒	☐	☐	☐
COMMS	☒	☐	☐	☐
POWER U/G	☒	☐	☐	☐
POWER O/H	☐	☐	☐	☐

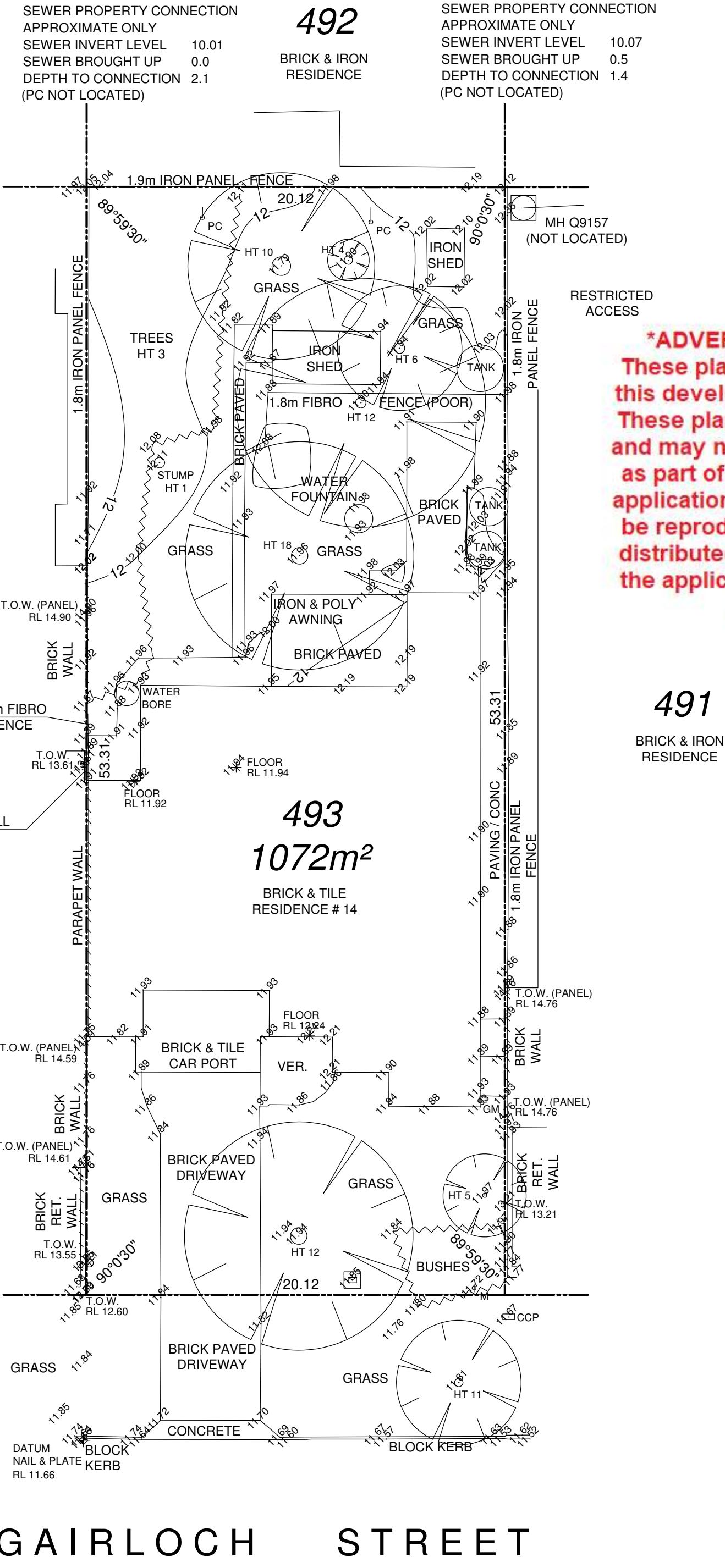
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.

NOTE:
APPROXIMATE AHD LEVEL DERIVED FROM SEWERAGE MANHOLE Q9155 (RL: 11.40m)

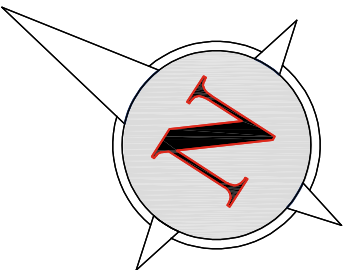
WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

BOUNDARY INFORMATION DERIVED FROM PLAN 1751 AND POSITIONED FROM LANDGATE SPATIAL CADASTRAL DATABASE (SCDB) BOUNDARY CORNER COORDINATES.

THIS LOT IS BURDENED WITH A RESTRICTIVE COVENANT. SEE TRANSFER T12701 / 1956 FOR FURTHER DETAILS.



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LOT : LOT 493 (#14) GAIRLOCH STREET		CLIENT : EMERGEN	
TOWN/SUBURB: APPLECROSS	PLAN 1751	SURVEYED ON : 06/07/2026	
AUTHORITY : CITY OF MELVILLE	C/T : 1665/977	SURVEYOR : AD	DRAWN : JW
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.		Land Surveys 19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au	
SCALE @ A3 : 1:250 ALL DISTANCES ARE IN METRES		JOB No : 2601415	PLAN: FS DRG: 001 REV. A SHEET 1 OF 1

A
REV
PROJECT ADDRESS:
DRAWING:
DRAWING No:
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SCALE
1:100
DRAWN:
CBH
CADFILE:
M2_SARMADI_D001
PAGE SIZE:
A2

ISSUED FOR DEVELOPMENT APPROVAL
AMENDMENT
09/2026
DATE
Proposed New Residence for Mr & Mrs Sarmadi at Lot 493 (14) Gairloch Street APPLECROSS
SURVEY PLAN
A-01
Member of the Building Designers Association WA
SHAYNE LE ROY DESIGN
BUILDING | INTERIORS | PROJECT MANAGEMENT
PO Box 2518
SORRENTO WA 6020
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M: 0437 949 866
CONSTRUCTION NOTES:
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2. Construction shall adhere to all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designer's attention.
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SERVICE LEGEND

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CONSUMER POLE

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ROOF RIDGE

ROOF GUTTER

FLOOR RL

BOLLARD

WINDOW

DOOR

BANK - BOTTOM

BANK - TOP

ROCK OUTCROP

LOT SERVICE RECORD

STATUS	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER	✓			
SEWER CONN.		✓		✓
GAS	✓			
COMMS	✓			
POWER U/G	✓			
POWER O/H				

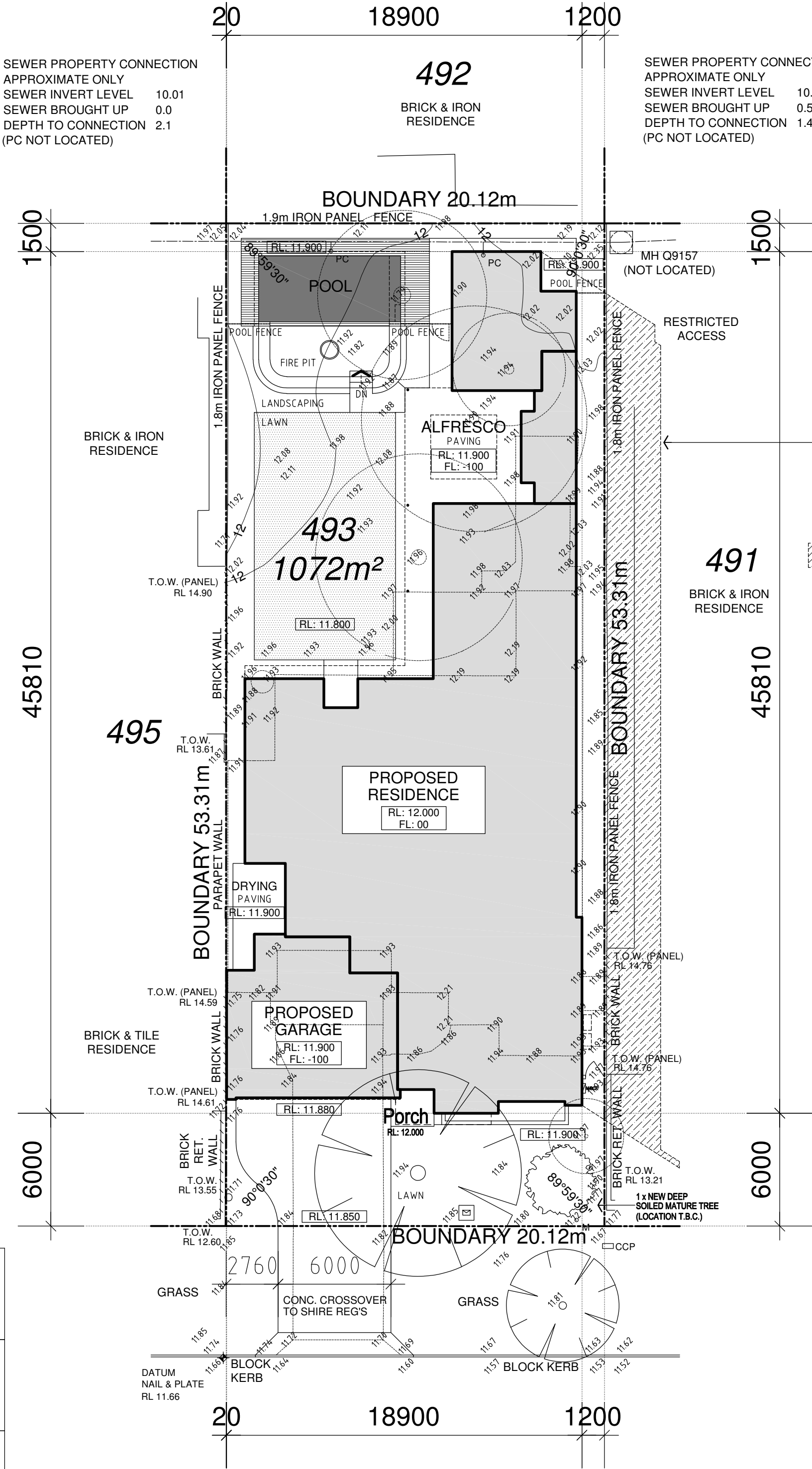
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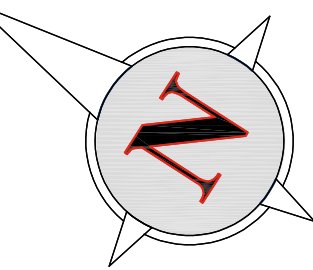
OVERSHADOWING CALCULATION:

LEGEND:
- SHADOW CAST BY PROPOSED NEW RESIDENCE ON 21st JUNE AT MIDDAY

CALCULATION:
EXTENT OF OVERSHADOWING : 131.4m²
NEIGHBOURING SITE AREA : 1072m²
PERCENTAGE OF OVERSHADOWING : 12%

FENCING NOTE:
ALL FENCES ARE EXISTING AND TO REMAIN AS IS

GAIRLOCH STREET



LOT : LOT 493 (#14) GAIRLOCH STREET	CLIENT : EMERGEN
TOWN/SUBURB: APPLECROSS	PLAN 1751
AUTHORITY : CITY OF MELVILLE	C/T : 1665/977
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.	SURVEYED ON : 06/07/2026
SCALE @ A3 : 1:250 ALL DISTANCES ARE IN METRES	SURVEYOR : AD DRAWN : JW
	JOB No : 2601415 PLAN: FS DRG: 001 REV. A SHEET 1 OF 1

A

ISSUED FOR DEVELOPMENT APPROVAL

09/2026

REV

AMENDMENT

DATE

PROJECT ADDRESS:

Proposed New Residence for Mr & Mrs Sarmadi at Lot 493 (14) Gairloch Street APPLECROSS

DRAWING:

SITE PLAN

DRAWING No:

A-02

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SCALE

1:100

DRAWN

CBH

CADFILE

002_SARMADI_0001

PAGE SIZE

A2

SHAYNE LE ROY DESIGN

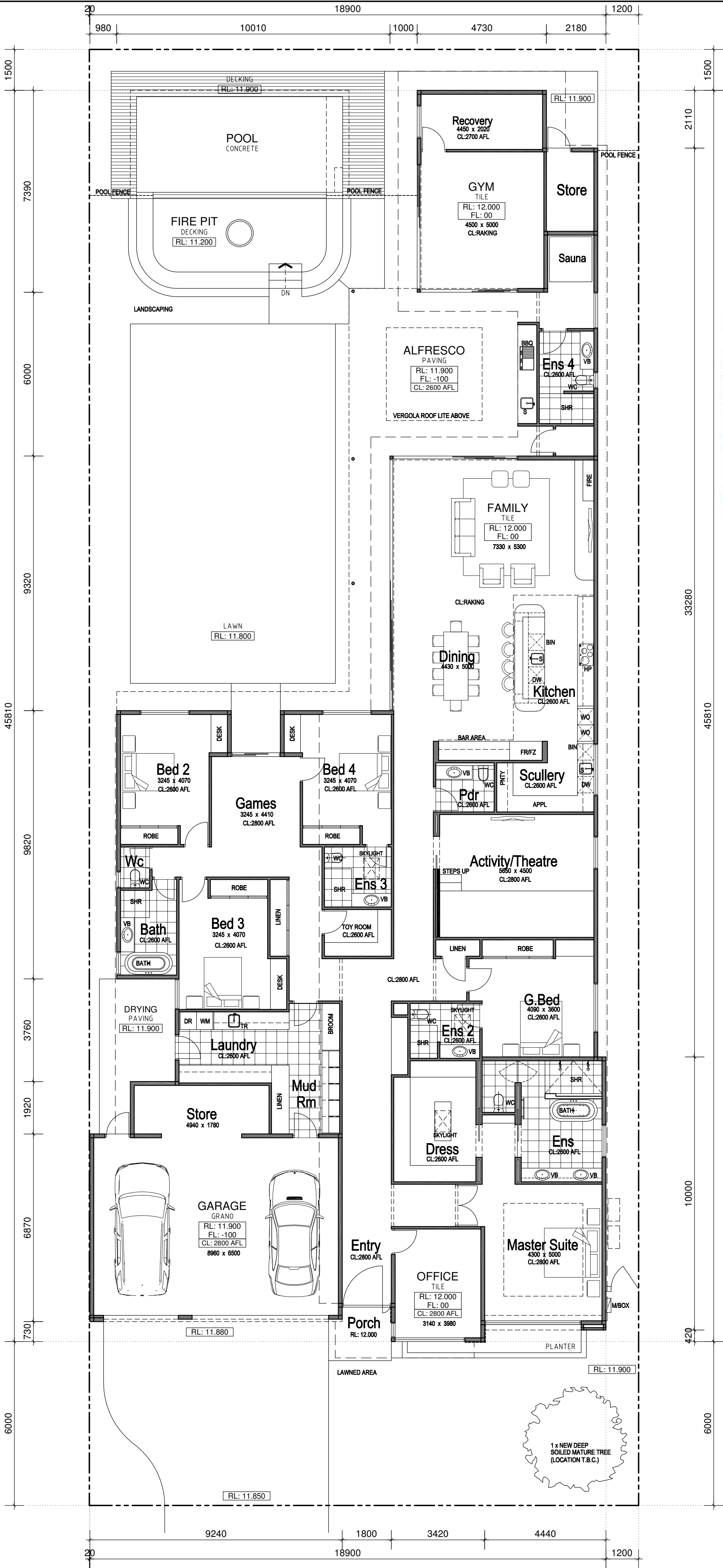
BUILDING | INTERIORS | PROJECT MANAGEMENT

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Sorrento WA 6020

E: shayne@shayneleroy.com.au
M: 0437 949 866

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LOC.	NETT AREA
GR'D FL'R	~381.9 sq.m (Per 104.1m)
GYM	~ 37.0 sq.m (Per 28.0m)
GARAGE	~ 67.4 sq.m
ALFRESCO	~ 58.8 sq.m
VERANDAH	~ 13.9 sq.m
PORCH	~ 3.7 sq.m
TOTAL	~562.7 sq.m

A

ISSUED FOR DEVELOPMENT APPROVAL

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DATE

PROJECT ADDRESS:

Proposed New Residence for Mr & Mrs Sarmadi at Lot 493 (14) Gairloch Street APPECROSS

DRAWING:

FLOOR PLAN

DRAWING No:

A-03

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SCALE

1 : 100

DRAWN:

CBH

CADFILE:

002_SARMADI_0401

PAGE SIZE:

A2

SHAYNE LE ROY DESIGN

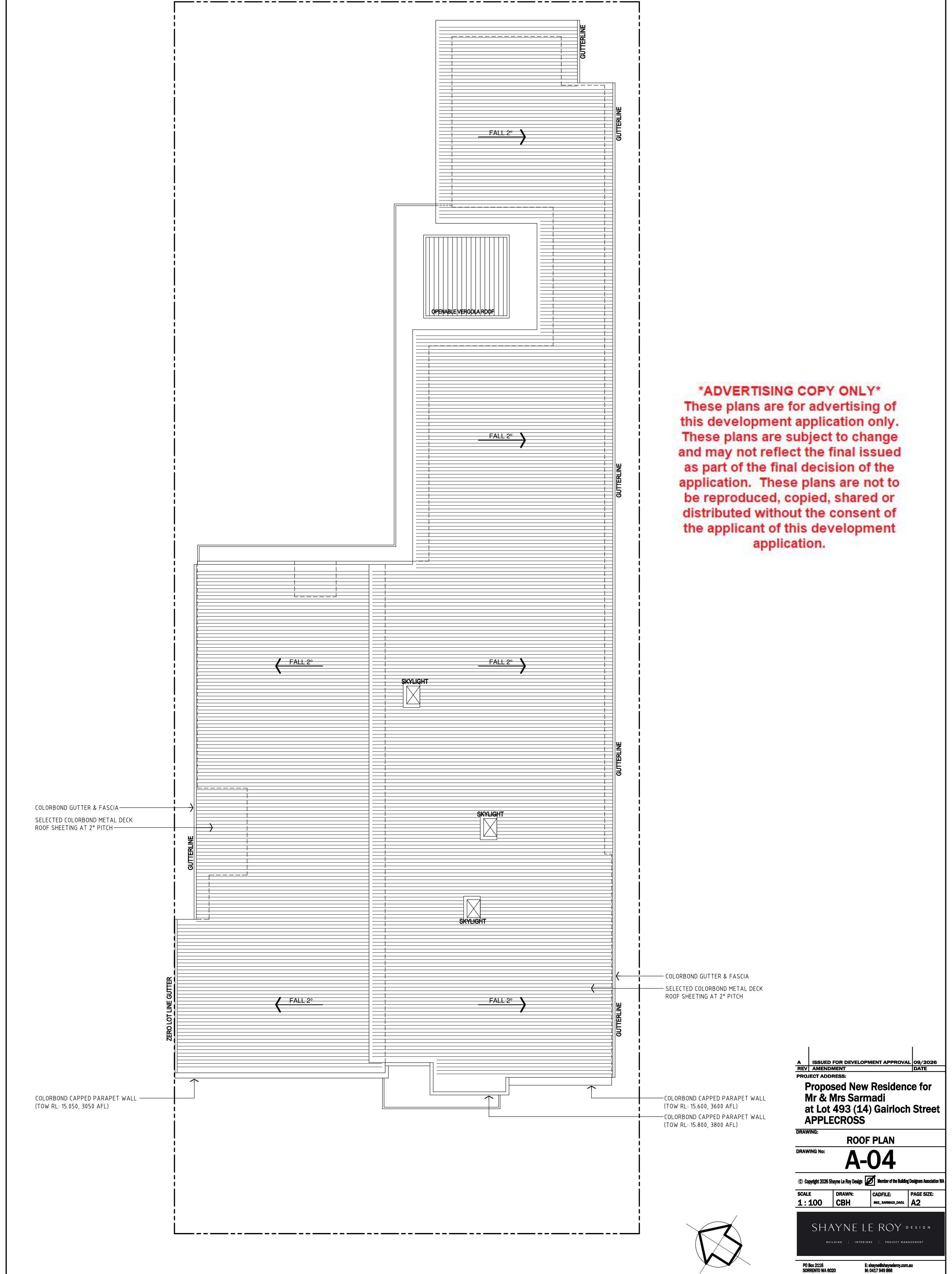
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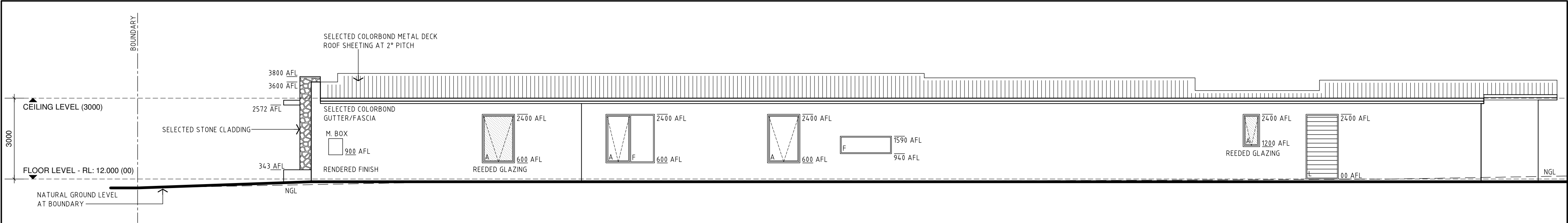
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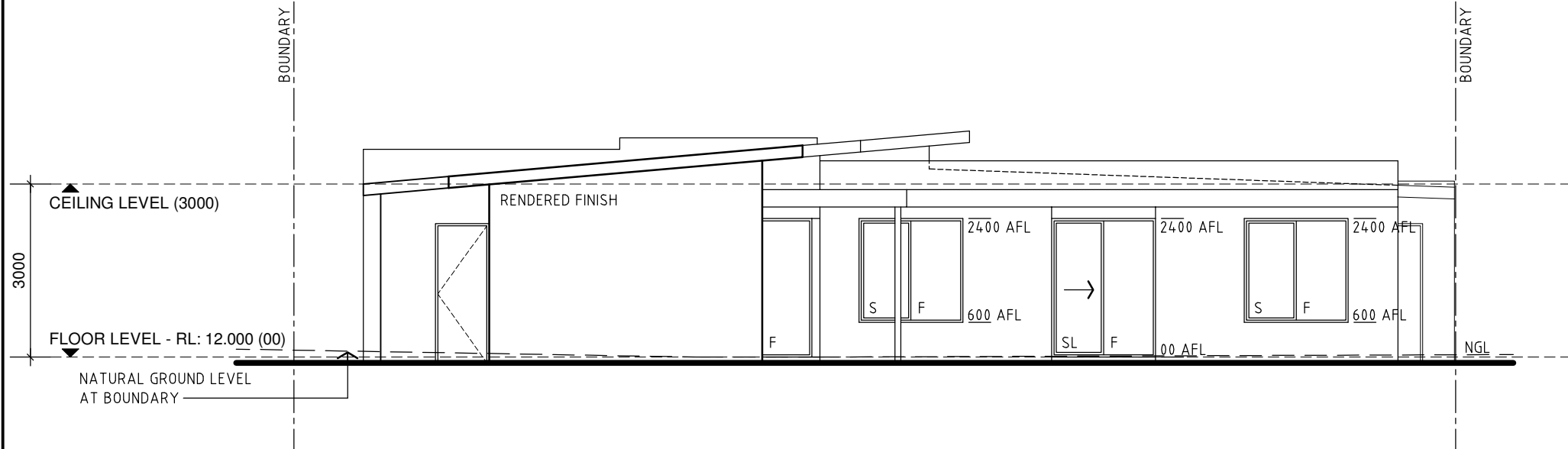


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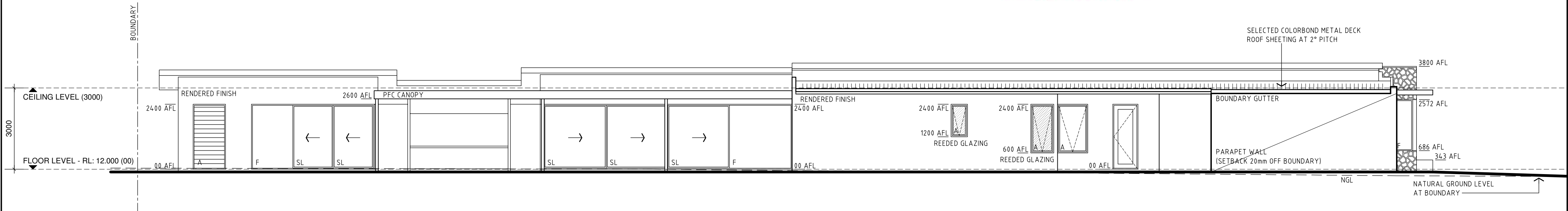
A	ISSUED FOR DEVELOPMENT APPROVAL	09/2026	
REV	AMENDMENT	DATE	
PROJECT ADDRESS:			
Proposed New Residence for Mr & Mrs Sarmadi at Lot 493 (14) Gairloch Street APPLECROSS			
DRAWING:			
ROOF PLAN			
DRAWING No:			
A-04			
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SCALE	DRAWN:	CADFILE:	PAGE SIZE:
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SHAYNE LE ROY DESIGN BUILDING INTERIORS PROJECT MANAGEMENT			
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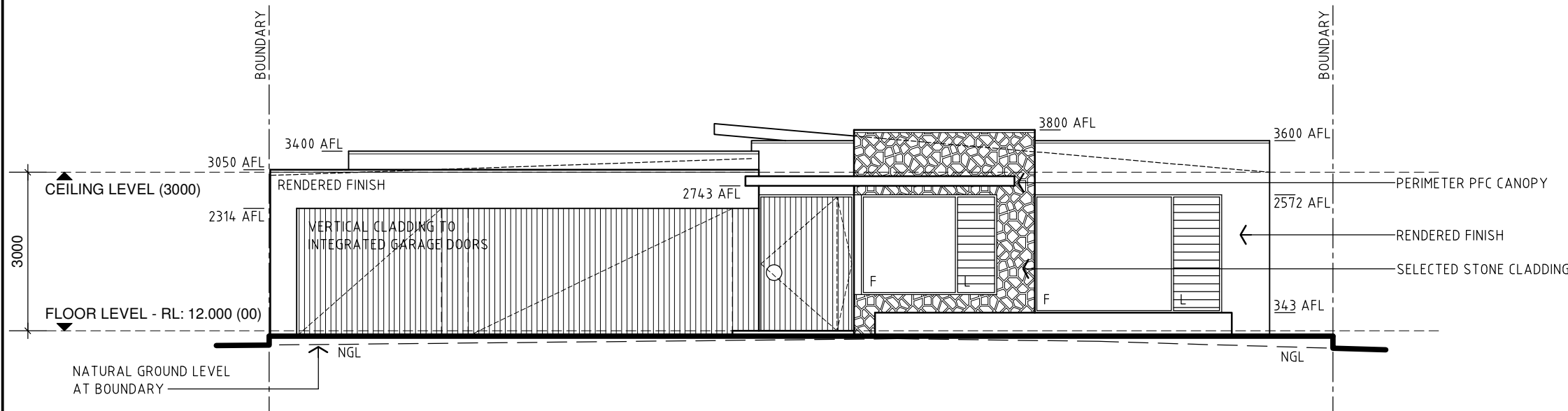
NORTHERN ELEVATION
SCALE 1:100



EASTERN ELEVATION
SCALE 1:100



SOUTHERN ELEVATION
SCALE 1:100



WESTERN ELEVATION
SCALE 1:100

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REV	AMENDMENT	DATE
PROJECT ADDRESS:		
Proposed New Residence for Mr & Mrs Sarmadi at Lot 493 (14) Gairloch Street APPLECROSS		
DRAWING: ELEVATIONS		
DRAWING No: A-05		
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SCALE	DRAWN:	CADFILE:
1 : 100	CBH	002_SARMADI_DWG
PAGE SIZE:		A2
SHAYNE LE ROY DESIGN		
BUILDING INTERIORS PROJECT MANAGEMENT		
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3. Materials to be used shall, prior to commencement, be brought to the Designer's attention.		
4. The Designer shall not be responsible for any errors or omissions.		
5. Owner to note that all plans shown are without plaster (where applicable) and should be allowed for.		