



PROVIDE 3 PHASE POWER

PLUMBER'S NOTE:
PROVIDE REFLUX
VALVE FOR HOBLESS
SHOWERS.

	No.	Soak Well Type
3.8 m3	1	SW 1800x1500
3.8 m3	Total Capacity	
88.0 m2	Roof Area GF	
88.0 m2	Total Area	
1.3 m3	Capacity Required (Area x 0.0150)	
2.5 m3	Extra Capacity Provided	

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS
WITH PVC STORMWATER PIPE

SITE COVER CALC.

ZONED	R15
% ALLOWED	50%
SITE AREA	1012.00m ²
SITE COVER	421.72m ²

OPEN SPACE =41.60%

LOT MISCLOSE

0.000 m

⚠DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

⚠DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

⚠DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

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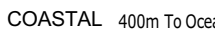
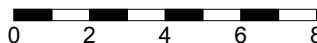
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**FRONT SETBACK AVERAGE
DIAGRAM:**

A1:	4.08m ²
A2:	5.67m ²
A2-A1:	1.59m ²

LANDSCAPING SETBACK AREA:
TOTAL SETBACK AREA 120.72m²
PERVIOUS AREA = 64.00m²
IMPERVIOUS AREA = 56.72m²

Scale 1:200



DO NOT SCALE FROM THIS DRAWING
ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
ALL DIMENSIONS TO BRICKWORK.

ROOF CARPENTER NOTE
- COLORBOND ROOF PITCH AT 25°38'
- TIMBER ROOF CONSTRUCTED IN ACCORDANCE TO AS1684
- CEILINGS AT 2700h UNLESS NOTED OTHERWISE.

NOTE
- MASONARY TO SMALL BUILDINGS TO AS 4773.
- MASONARY STRUCTURES TO AS 3700.

ROOF PLUMBER NOTE
- FINAL POSITIONS OF RWP'S TO BE DETERMINED BY ROOF PLUMBER ON SITE

GYPROCK WALL NOTE
- ALL INTERNAL WALLS TO BE LINED WITH GYPROCK.
- WET AREAS TO BE LINED IN BLUE BOARD W/ FLUSHED JOINT.

PAINT NOTE
- INTERNAL WALL PAINT - 2 COATS (1 COLOUR) W/- 1 COAT OIL BASED SEALER.

WINDOW NOTE
- FLYSCREENS SUPPLIED AND INSTALLED BY OWNER AFTER HANDOVER.
- DENOTES SMOKE DETECTOR (S)

ELECTRICAL NOTE
- SMOKE ALARM USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTERCONNECTING HARDWIRED SMOKE DETECTOR TO BCA 2016 & AS 3786:2014. AS INDICATED ON PLAN.

NOTE
- EXTENT OF BULKHEADS & DROPPED CEILINGS SHOWN SHADED

NOTE
- EXTENT OF CAVITY WALL INSULATION

ALL GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047

GENERAL NOTES
-CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
-ALL DIMENSIONS ARE TO CORE BRICKWORK/STUDWORK ONLY AND DO NOT INCLUDE TILE AND/OR WALL FINISHES UNLESS NOTED OTHERWISE.
-EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
-NEW BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
-EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.

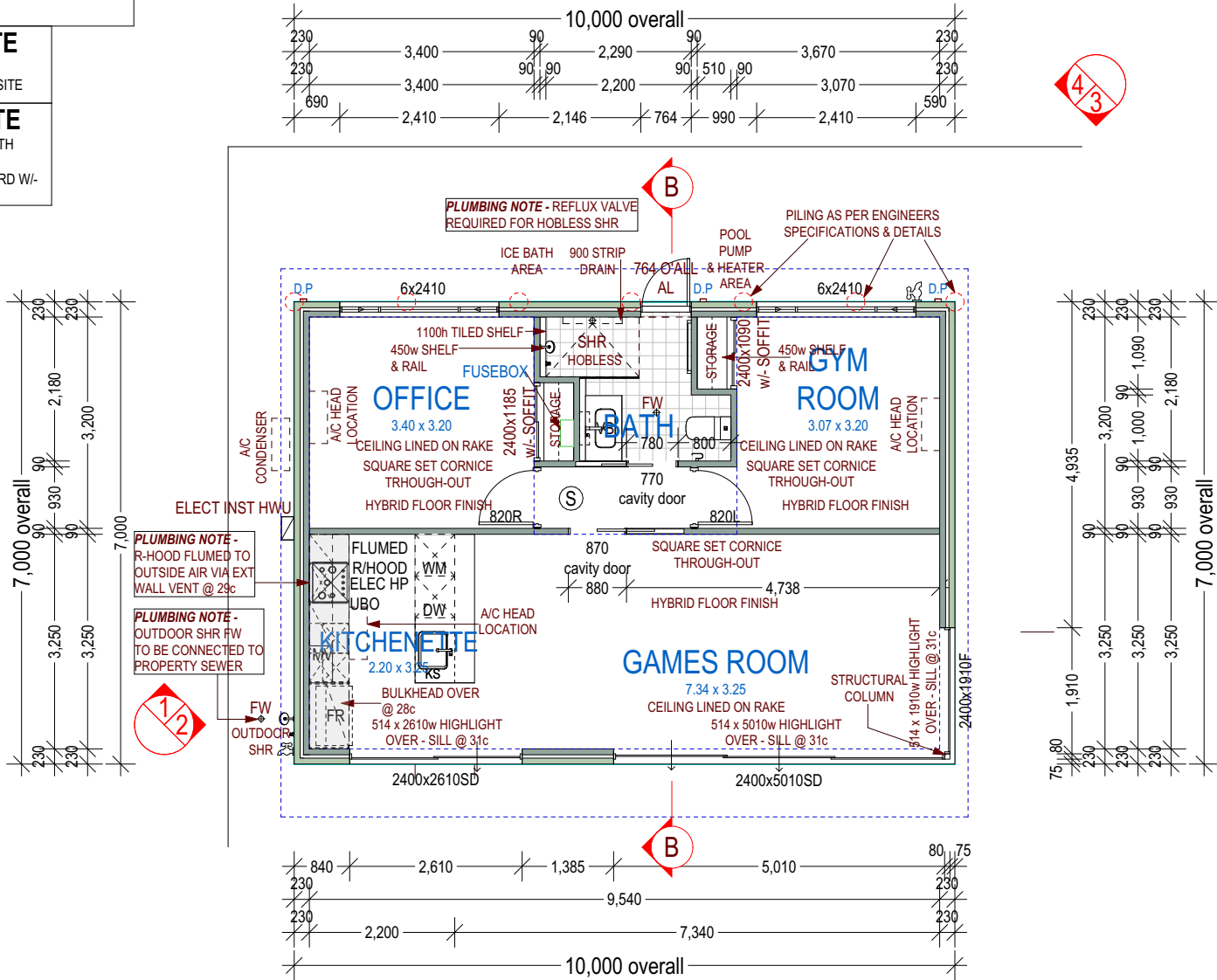
ROOF PLUMBER NOTE
-Numbers and positions of downpipes are indicative only and are subject to variation by roof plumber on site.
All downpipes shall be installed in accordance with the 2019 NCC Vol. II.

-Connect new downpipes to existing stormwater systems if possible or add new soakwells of suitable size if necessary.

TERMITE TREATMENT NOTE
All primary building elements used for the construction of this building will be consisting entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 & will comply with part 3.1.4 of 2019 NCC Vol. II amendment 1.

GENERAL NOTES
- TERMITE TREATMENT TO NCC VOL.II REQUIREMENTS.
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700-MASONRY CODE.
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 3660.1.
- UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
-ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
- ALL STORM WATER WILL BE CONTAINED ON SITE.
- TERMITE TREATMENT INCLUDING PHYSICAL BARRIER TO WALLS ON BOUNDARIES TO COMPLY WITH AS3660 (2014).
- PROTECTIVE COATINGS FOR STEELWORK SHALL BE IN ACCORDANCE WITH THE NCC VOL.II TABLE 3.4.4.2.
- PROVIDE ADEQUATE METHODS OF WATERPROOFING TO ENSURE WET AREAS & INNER PARTS OF THE BUILDING ARE PROTECTED IN ACCORDANCE WITH NCC PART 3.8.1 & AS3740.
- EVERY PLUMBING FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS3500 AND BYLAWS MADE UNDER THE METROPOLITAN WATER SUPPLY SEWERAGE AND DRAINAGE ACT 1909 AND SHALL HAVE AN ADEQUATE SUPPLY OF WATER.

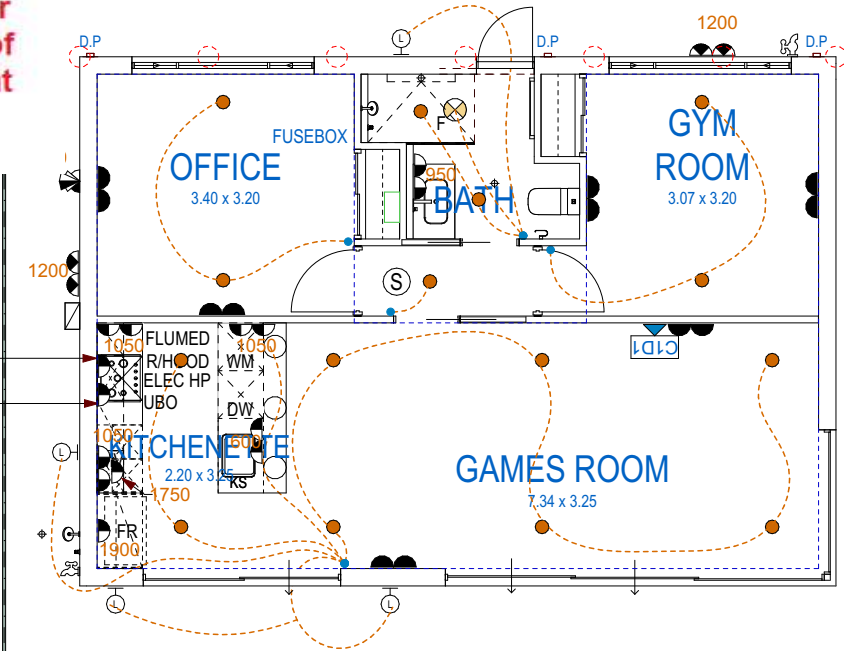
GROUND ELECTRICAL		
RECESSED LED LIGHT FITTING (CLIPSAL TPDL1C1 LED) (S & I)		15
DOUBLE GPO @ 300AFL		6
DOUBLE GPO @ NOMINATED HEIGHT		5
LOW VOLTAGE WALL LIGHT		4
PENDANT LIGHT (OWNER SUPPLIED)		3
CEILING FAN		2
SINGLE GPO @ NOMINATED HEIGHT		2
W-PROOF DOUBLE GPO @ NOMINATED HEIGHT		2
32AMP WP ISOLATOR SWITCH @ NOMINATED HEIGHT		1
DATATV POINT		1
EXHAUST FAN (FLUMED)		1



FLOOR PLAN
1:100

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ENERGY EFFICIENCY REQUIREMENTS			
REFER TO ABSA ASSESSMENT			
SEALS TO ALL WINDOWS AND DOOR FRAMES THROUGHOUT.			
THERMAL PERFORMANCE SPECIFICATIONS			
WINDOWS			
GLASS:	SINGLE CLEAR	FRAME:	ALUMINIUM
U VALUE:	6.57		
DETAILS:	THROUGHOUT	SHGC:	0.74
EXTERNAL WALLS			
BRICK:	2c FACEBRICK & RENDERED		
DETAILS:	NIL		
CEILINGS	INCLUDING GARAGE		
INSULATION:	R4.0		
ROOF			
INSULATION:	50mm ANTICON		
COLOUR:	MEDIUM - SA 0.475 - 0.7		



ELECTRICAL PLAN
1:100

AREAS		
	AREA (m2)	Perimeter
BUILDING STRUCTURE	70.00	34,000
	70.00 m²	34,000 mm

ROOF QUANTS	
Material Type	Roof - Metal 140
Surface [m2 on the rake]	87.65
Area [m2 on the flat]	86.32

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INDEMNITY NOTE -The Client as invoiced indemnifies The Henderson Family Trust T/A GRH Designs Pty Ltd against any legal action, associated costs, Financial Loss or Damages
GENERAL NOTE
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(4) All setbacks/levels subject to survey.

PROPOSED RESIDENCE FOR:
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**Lot 82 (#4)
FLETCHER STREET
APPLECROSS**

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DATE: 29-10-24
DESIGN: GRH DESIGNS
ISSUE DATE:
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JOB NO: 6269
SCALE: 1: 100
ONE OFF
SHEET NUMBER : 1 of 1

GRH designs

Granny Flats
BY HALLMARK DEVELOPMENTS

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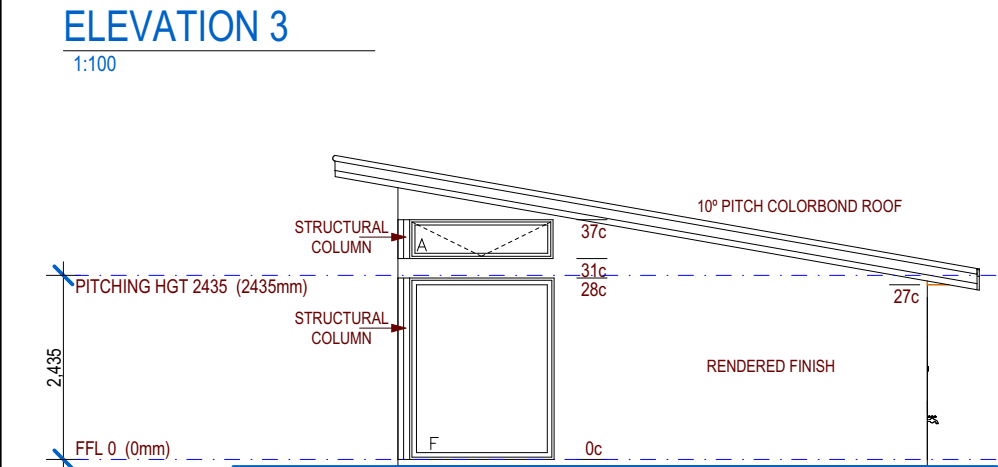
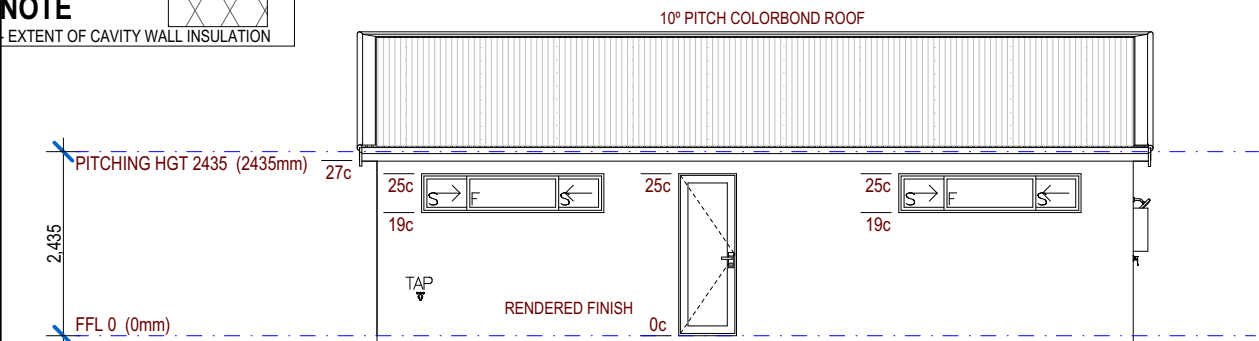
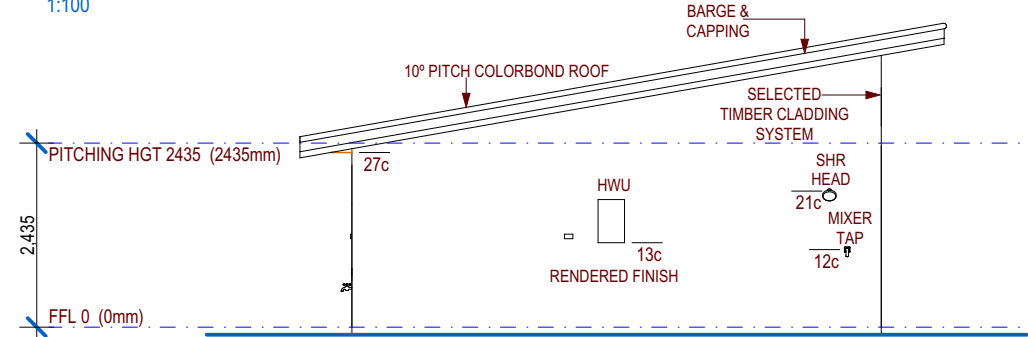
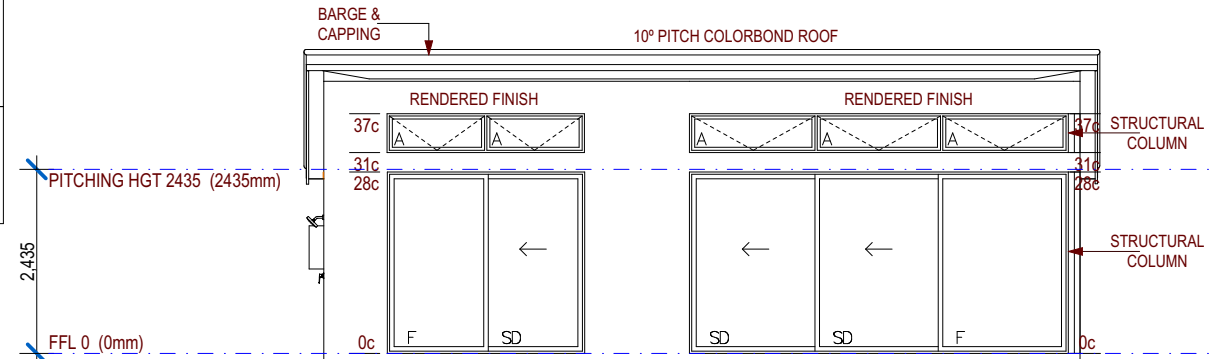
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CEILINGS
INCLUDING GARAGE
INSULATION: R4.0

ROOF
INSULATION: 50mm ANTICON
COLOUR: MEDIUM - SA 0.475 - 0.7

DESIGN NOTE:

SOME ASPECTS OF THE SKETCH DESIGN MAY HAVE TO BE ALTERED TO COMPLY WITH THE 6 STAR ENERGY EFFICIENCY RATINGS IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA (BCA). ONCE FINALISED, ADDITIONAL DESIGN COMPLIANCE ITEM/S WILL BE AT EXTRA OVER COST/S TO SATISFY THE CODES.

PRELIMINARY DESIGN

ONLY

DUE TO THE IMPLEMENTATION OF THE AMENDED RESIDENTIAL DESIGN CODES AND THE BUILDING CODES OF AUSTRALIA ENERGY EFFICIENCY PROVISIONS, THIS DESIGN MAY BE SUBJECT TO CHANGE.

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