



REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 22 NOVEMBER 2022

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Peter Prendergast, Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: peter.prendergast@melville.wa.gov.au or Tel 9364 0626.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY 25 NOVEMBER 2022



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 22 NOVEMBER 2022.**

PRESENT

P Prendergast
M Scarfone
T Cappellucci

Manager Statutory Planning
Planning Services Coordinator
Senior Planning Officer

DISCLOSURES OF INTEREST



**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995**

Members' interests in matters to be discussed at meetings to be disclosed

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.



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**U22/0595 – CAR PARK – SANTA MARIA CATHOLIC COLLEGE (NOS. 2-44)
STONEHAM ROAD, ATTADALE WA 6156 (REC) (ATTACHMENT)**

Ward : Bicton – Attadale – Alfred Cove
 Category : Operational
 Application Number : DA-2022-763
 Property : Santa Maria Catholic College – 18 (Lot 1)
 Stoneham Road, Attadale
 Proposal : Car Park
 Applicant : Hatch Roberts Day
 Owner : McAuley Property Limited
 Disclosure of any Interest : No Officer involved in the preparation of this
 report has a declarable interest in this matter.
 Responsible Officer : Peter Prendergast
 Manager Statutory Planning
 Previous Items : DA-2020-1020 (Local Development Plan – Santa
 Maria Catholic College). Approved by Council at
 its Ordinary Meeting of Council on 20 April 2021

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (e.g. under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>



**U22/0595 – CAR PARK – SANTA MARIA CATHOLIC COLLEGE (NOS. 2-44)
STONEHAM ROAD, ATTADALE WA 6156 (REC) (ATTACHMENT)**

KEY ISSUES/SUMMARY

- Approval is sought for a new on-site car park at Santa Maria Catholic College at the corner of Stoneham and Moreing Roads.
- The car park will be accessed via a new crossover proposed off Moreing Road and comprise of 99 car bays with extensive tree planting and vegetation. This crossover will be used for staff parking during school hours and for anyone to use outside of school hours for special events/productions held at the College. In addition, 4 ACROD bays adjacent to the existing Chapel are also proposed.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), the provisions of the Santa Maria Catholic College Local Development Plan (LDP) and relevant local planning and council policies.
- In accordance with Clause 3.4 (c) of Local Planning Policy 1.1, the proposed development was advertised to the adjoining owners and occupiers. During the consultation period one submission of objection was received.
- The details of the development have been assessed against the provisions of the LDP and relevant local planning policies, taking into account the submission received. It is recommended that approval be granted subject to conditions.

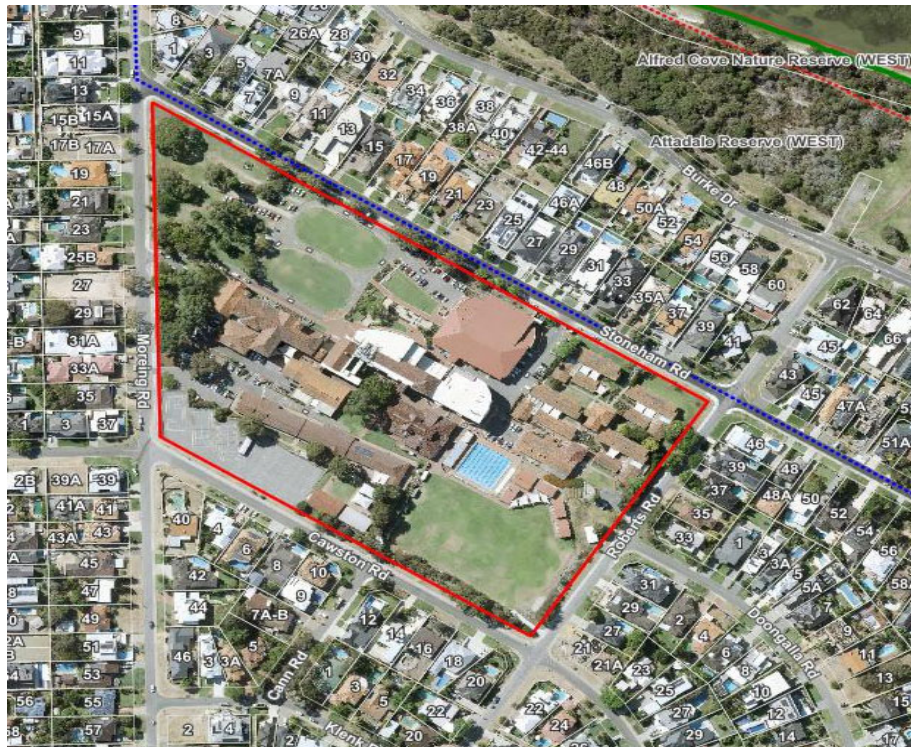


Figure 1 – Aerial Photography



**U22/0595 – CAR PARK – SANTA MARIA CATHOLIC COLLEGE (NOS. 2-44)
STONEHAM ROAD, ATTADALE WA 6156 (REC) (ATTACHMENT)**

BACKGROUND

Site Context

Santa Maria College, located at 2-44 Stoneham Road, Attadale (the subject site) is zoned 'Private Clubs, Institutions and Place of Worship' under Local Planning Scheme No. 6 (LPS6). The administration building and chapel have heritage significance and are listed on the City of Melville Municipal Heritage Inventory.

Since the school was established on this site in 1938, a number of buildings have been constructed, including most recently a new science block, a new gymnasium, and various upgrades to existing buildings on site.

The subject site is located within the residential suburb of Attadale. It is bordered by Moreing Road, Cawston Road, Roberts Road and Stoneham Road. The character of the residential area around the site is typically of single residential style with a dominance of two storey houses. In terms of its topography, the highest point on the site is in the south west corner, falling by approximately 20 metres to the low point in the north east close to the intersection of Roberts Road and Stoneham Road.

Local Development Plan

At the Ordinary Meeting of Council held on 20 April 2021, Council approved a Local Development Plan for the site as part of DA-2020-1020 (refer to Figure 2 below).

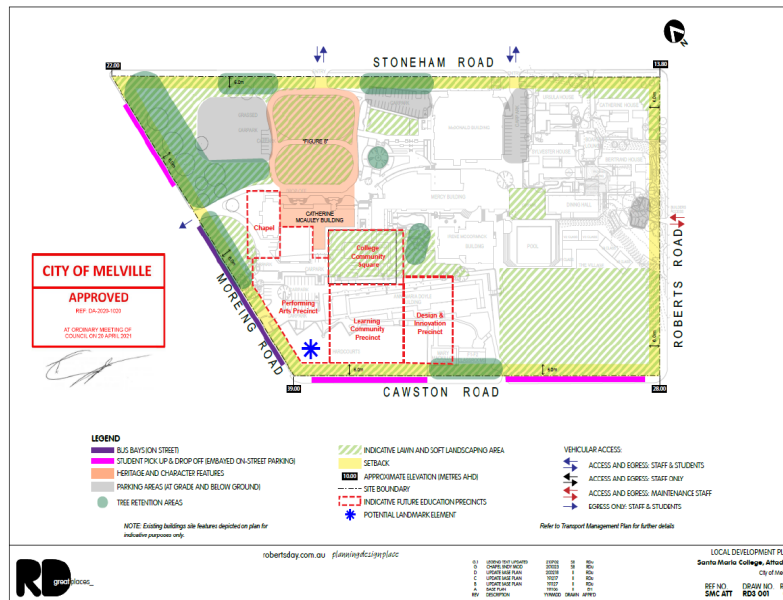


Figure 2 - Approved Local Development Plan for Santa Maria Catholic College



**U22/0595 – CAR PARK – SANTA MARIA CATHOLIC COLLEGE (NOS. 2-44)
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Under the provisions of LPS6, development on land zoned ‘Private Clubs, Institutions and Place of Worship’, is required to have regard to a LDP which has been approved by the City in accordance with the *Regulations*.

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Private Clubs, Institutions and Place of Worship
R-Code	: N/A
Use Type	: NA
Use Class	: NA

Site Details

Lot Area	: 67432sqm
Street Tree(s)	: Numerous verge trees to be retained
Street Furniture (drainage pits etc.)	: NA
Site Details	: Refer to Figure 1 above

A copy of the plan forms part of the attachments to the Agenda which were distributed to Elected Members on Friday, 25 November 2022.

DETAIL

The proposed development is for a car park with 99 car parking bays and 4 new ACROD bays near the existing Chapel building with associated landscaping and an additional crossover off Moreing Road. The new crossover will be used for staff parking during school hours as well as be available for general use for special events/productions that occur at the College. The car park will also be accessible from the existing crossover off Stoneham Road. The car park is split over two levels and has been designed to:

- Limit the visual impact of the car park by responding to the topography;
- Enable sustainable water management; and
- Enable extensive tree retention as only one tree on-site will be removed.

The application has been assessed against the provisions of LPS6, the Santa Maria College LDP approved for the site and relevant local planning and council policies. The proposal complies with all the relevant development provisions of the LDP. However, it varies the approved LDP as follows:

- The location of the proposed car park is slightly varied to the location shown in the approved LDP (as per Figure 2) for the north west corner of the site as the car park proposed is closer to both frontages of Moreing Road and Stoneham Road; and
- An additional access and egress off Moreing Road is proposed.



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STONEHAM ROAD, ATTADALE WA 6156 (REC) (ATTACHMENT)**

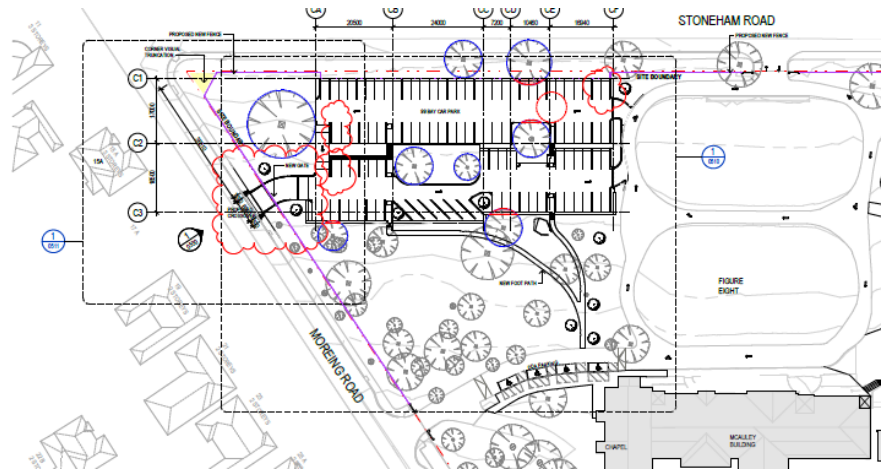


Figure 3 – Proposed Site Plan showing location of car park with additional crossover off Moreing Road

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comments Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
 Support/Object: One objection received.

A summary of the content of the objection received and a response is provided in the table below.

Summary of Issues Raised	Comments	Action (Condition/ Uphold/ Not Uphold)
The access should only be one-way (i.e., only to exit, or only to enter but not both)	Discussed further in the comment section.	Not Uphold
The crossover should be designed at an angle whereby it faces the verge of 19 Moreing Road, Attadale. As currently proposed, the crossover is directly across and into the existing driveway of 19 Moreing Road and future driveway to 17 Moreing Road which is not safe.	Crossover design has been supported by the Civil Design team of the City's Technical Services.	Not Uphold



**U22/0595 – CAR PARK – SANTA MARIA CATHOLIC COLLEGE (NOS. 2-44)
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II. OTHER AGENCIES / CONSULTANTS

No consultation with other agencies/consultants is required.

STATUTORY AND LEGAL IMPLICATIONS

Should the City refuse the application or impose a condition that the applicant does not agree with they have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There is no strategic, risk, or environmental management implications with this application.

POLICY IMPLICATIONS

There are no Local Planning Policy or Council Policy implications in relation to this development.

COMMENT

Car Park

The new crossover proposed off Moreing Road will allow a left in, left out only vehicle movement. The car park is proposed to be used by staff only during school hours and for general use for special events, productions etc that occur outside of the standard college day. In respect of the use of the car park by staff during term times, the crossover will be used generally outside of peak school periods with the majority of staff arriving prior to 8am and leaving after 3.40pm, mitigating any potential conflict with traffic along Moreing Road during major school pick-up and drop-off periods. No additional students are proposed to be accommodated on site as part of the works proposed and as such no additional vehicle movements are anticipated above those that already exist.

The proposed car park will effectively formalise a car parking arrangement that has been in place for a number of years, with the vehicles of college staff being regularly parked on the grassed area under the trees in the same location as is now proposed. In that respect, additional vehicle movements to and from the college are not anticipated, and the surrounding road network will not be placed upon any additional strain. It is noted that the capacity of the roads surrounding the college to manage the movement of vehicles associated with the college activities, particularly during the morning and afternoon peaks and without prejudice to safety, has been demonstrated by the submission of a revised Traffic Impact Statement (TIS). This TIA has been assessed by the City's Technical Services Officers and is supported. It is also noted that the number of car parking bays



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located within the college grounds will exceed the minimum requirements of the City's Local Planning Policy LPP1.6 Car parking and Access.

ALTERNATE OPTIONS AND THEIR IMPLICATIONS

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide an opportunity to call this matter up for formal Council consideration.

CONCLUSION

As a result of the assessment undertaken it is concluded that the development is acceptable in principle, and is recommended for conditional approval on that basis.

OFFICER RECOMMENDATION

APPROVAL

1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.
2. All stormwater generated on site is to be retained on site in accordance with a plan approved in writing by the City. Prior to the commencement of development, a stormwater design plan is to be submitted (an ARI of 1 in 100 year for a 24 hour storm duration is recommended) for the approval of the City. Prior to initial use of the development a 'Notice of Completion' certifying that the development has been constructed in accordance with the approved plan is to be submitted to the City.
3. Prior to the initial occupation of the development, all parking bays manoeuvring areas, driveways and points of ingress and egress shall be provided in accordance with the approved plans to the satisfaction of the City. The bays shall thereafter be retained for the life of the development.
4. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;
 - a maximum width in accordance with the City's specifications;
 - located a minimum of 2m away from the outside of the trunk of any street tree; and
 - a minimum of 1m from any existing street infrastructure.

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

5. Where a driveway meets the street, walls or fencing within sight line areas are to meet the requirements contained under clause 5 of Local Planning Policy *LPP3.1 Residential Development*, to the satisfaction of the City.



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6. Prior to commencement of development, a detailed landscaping and reticulation plan for the subject site shall be submitted to and approved in writing by the City. The landscaping plan is to include proposed details of (but is not limited to):
- (a) The location, number and type of proposed trees and shrubs including planter size and planting density;
 - (b) Any lawns to be established;
 - (c) Any existing vegetation and/or landscaped areas to be retained; and
 - (d) Any verge treatments

The approved landscaping and reticulation plan shall be fully implemented within the first available planting season after the initial occupation of the development and maintained thereafter, to the satisfaction of the City.

7. The management of on-site parking and access associated with the subject car park is to be undertaken in accordance with the Traffic Impact Statement and Addendum dated 18 August 2022 and 7 November 2022 respectively, submitted as part of the application, to the satisfaction of the City.