



Assets | Engineering | Environment | Noise | Spatial | Waste

Mt Pleasant Bowling Club

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Building ID: BL10198B1

Audit Date: 27 March 2020



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1 Introduction

1.1 General

On Friday 27th of March an audit was carried out at Mt Pleasant Bowling Club in Ardross for the City of Melville. The audit had a number of objectives:

- Assess the condition of the building
- Identify key assets present in the building
- Review the building for statutory compliance
- Review the building for asbestos risk
- Generate an action list

1.1.1 Building Condition

Generally, the building appears to be in good condition for its age. It was structurally sound at the time of the inspection and does not pose any notable hazard to either the staff working there or members of the public who are visiting the facility.

The building has double brick walls with a metal roof cover. Walls and ceilings are also in good condition.

1.1.2 Key Assets

The electrical switchboard board was located in the bowls storeroom and was recently inspected.

The building has air conditioners fitted which appear to be located on the roof and around the building. There are also a number of instantaneous and storage hot water system that supply the bathrooms and the kitchen.

There is a burglar alarm fitted to the building which is functioning correctly.

These assets should be located and inspected as part of regular maintenance by the City of Melville.

There are no CCTV cameras.

There was not a fire indicator panel for the site.

No generators were located on site.

1.1.3 Statutory Compliance

The building appears to be compliant with statutory requirements.

1.1.4 Asbestos

The building contains asbestos to eaves sheeting and verandah ceiling lining around the building. There is also asbestos to the walls and ceilings within the building. It appears that the location of the asbestos has been recorded in the asbestos register and inspected regularly.

1.1.5 Preventative Maintenance

Refer to current City of Melville Preventative Maintenance ('PM') Schedule.



1.1.6 Action List

The most urgent action required is to engage a structural engineer to inspect the cracking of the load bearing brick walls. There are number of minor maintenance items that need to be carried out – see section 7.

2 Building Condition

The building is double brick construction with custom orb metal roof cover. The ceilings are in good condition. The majority of the floors are a combination of timber, carpet and tiles in the bathrooms. Windows and door frames are in good condition for their old age.

2.1 External Condition

The building is generally in sound condition externally. There are a number of issues that are outlined below.

2.1.1 Foundation and Walls

Footings for the building appear to be stable with no significant cracking on the lower section of the exterior walls. However, there is evidence of significant cracks to the upper section of the brickwork and the walls are generally in poor condition see Figure 1. The majority of the cracking has occurred in the mortar around the windows. Some cracks may have been caused by corrosion jacking but some cracks occur in the middle of the wall. It is not known what has caused this separation. It is recommended that the walls are inspected by a structural engineer to ensure structural adequacy. It is also recommended that the brick work is repaired.



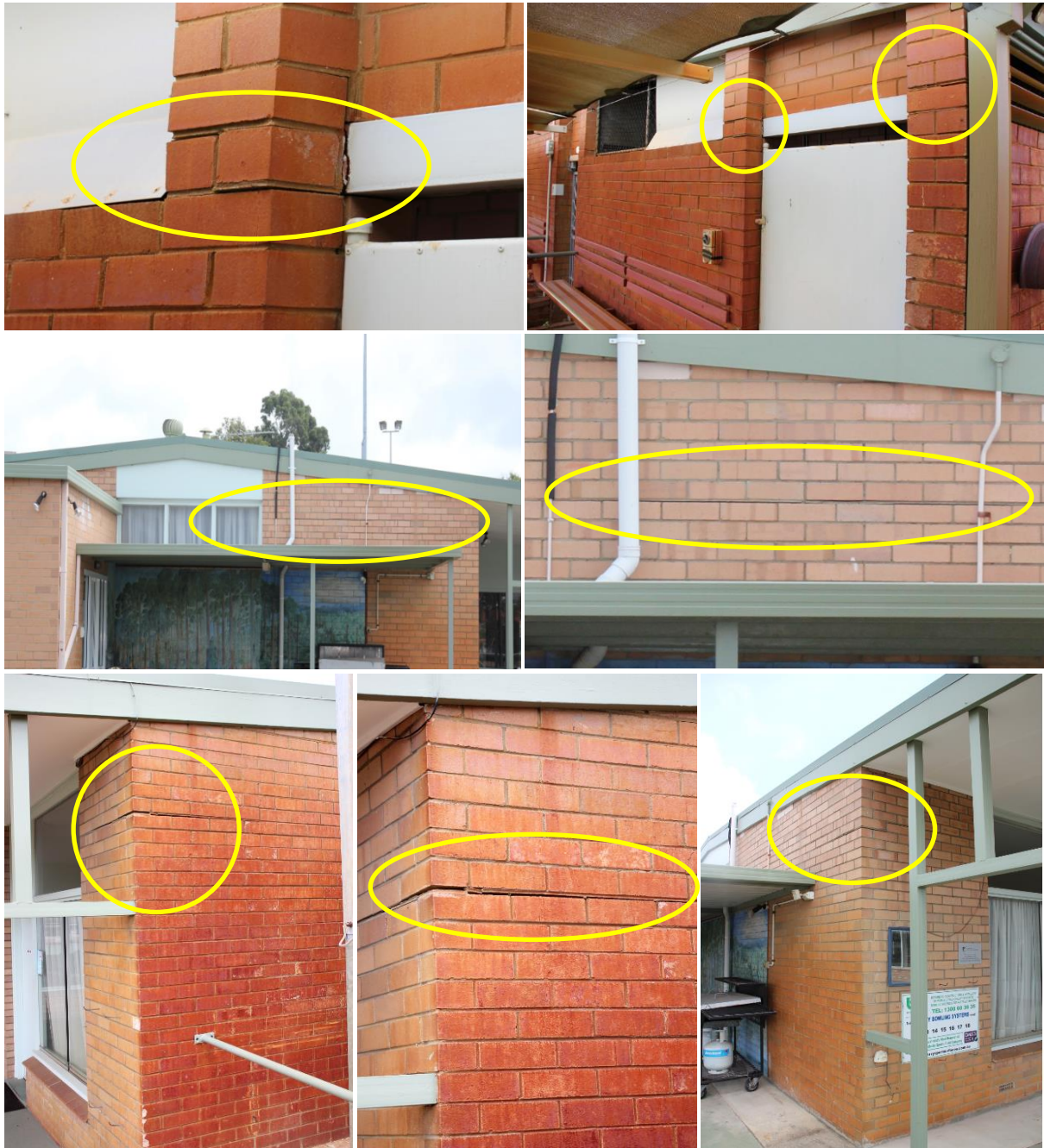


Figure 1: Photo 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 & 11 – Brick walls

2.1.2 Roof

The condition of the metal roof is in good condition for its age see Figure 2. However, there are signs of water staining on some ceilings throughout the building. It is recommended that the roof is inspected and repaired if water leaks occur. The staining could have resulted from previous leaks which may have been repaired. The gutters are in good condition for their age. However, some of the downpipes are in poor condition. It is recommended that the damaged down pipes are replaced. The bargeboards are well painted and in good condition for their age. However, a small section of the timber appears to have started to decay beneath the paint. No action is recommended at this time.



Figure 2: Photo 12, 13, 14, 15 & 16 – Roof cover

2.1.3 Doors and Windows

The doors and windows are in good condition for their age see Figure 3. However the paint is starting to flake off on some windows and the paint on the timber doors appears thin. It is recommended that the paint on the windows is removed and timber repainted. The south facing double doors are also in average condition. The bottom timber panel of the joinery has started to split. It is recommended that the doors are repaired and painted.

The steel lintels are in poor condition. The steel is rusting and in some cases causing corrosion jacking which has damaged the structural integrity of the brick walls. It is recommended that the lintels are replaced and brickwork is repaired.

The aluminium windows are in good condition. There are only a few windows with security screens fitted to the windows. There is also glass louver windows with broken glass. It is recommended that the glass is replaced. In general the windows and doors require a lot of maintenance and repairs. No further action is recommended.





Figure 3: Photo 17, 18, 19, 20, 21, 22, 23 & 24 - Windows and doors

2.1.4 External Services

There are a number of air conditioners fitted to the roof and walls of the building see Figure 4. The air conditioners all appear to be in good working condition. The hot water systems are generally located internally and supply the bathrooms and kitchen. The building is connected to natural gas. The bathrooms are connected to the deep sewer main and appears to be in good working order.



Figure 4: Photo 25 & 26 – Air conditioners

2.1.5 Verandahs/Paths

The verandah is in poor condition see Figure 5. The verandahs support poles are starting to corrode. The concrete path in which the post sits has also cracked due to the pressure. The bricks at the side of the rear step to the male bathrooms appear loose. The concrete has also cracked. It is recommended that the posts, brickwork and concrete is repaired. The concrete verandah floor is structurally sound. However, the paint has flaked off and looks visually terrible. It is recommended that the concrete is repainted. The asbestos ceiling lining to the verandahs is well labelled and in good condition. However, there is a little bit of flaking paint to the north side of the building. The flaking paint will be a health concern as it is laced with asbestos. It is recommended that the ceiling is repainted to prevent flaking paint. The asbestos eaves sheeting appears to be in good condition. The south facing steel patio appears to be in good condition. No further action is recommended.



Figure 5: Photo 27, 28, 29, 30, 31 & 32 – Verandah and eaves lining

2.2 Internal Condition

In general, the internal condition of the building is average. The bathrooms are of satisfactory condition. However, there are a few minor issues that need attention.

2.2.1 Entry Foyer (east side of building)

The entry to the main hall is in good condition for its age see Figure 6. The face brick walls are in good condition. The asbestos wall and ceiling lining is in good condition. It does appear that there is some staining along the centre join of the sheet. It is recommended that the ceiling is repainted. The tiled floor is also in good condition. No further action is recommended.



Figure 6: Photo 33, 34 & 35 – Entry foyer

2.2.2 Office 1

The office is in good condition for its age see Figure 8. The face brick walls are in good condition. The asbestos wall and ceiling lining is in good condition. The door and frame is well painted and is in good condition. The carpet floor cover appears old and lightly stained but is fit for purpose. No action is recommended.

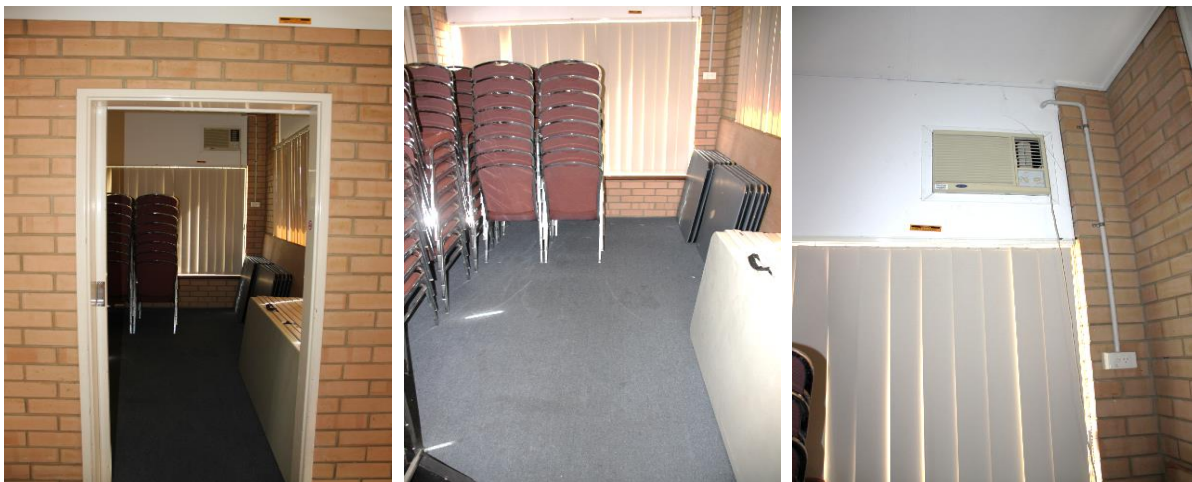


Figure 7: Photo 36, 37 & 38 – Office 1



2.2.3 Office 2

The office is in good condition for its age see Figure 8. The face brick walls are in good condition. The asbestos wall lining is in good condition. The asbestos ceiling is in good condition but it is a little water stained. The door and frame is well painted and is in good condition. The carpet floor cover appears old and lightly stained but is fit for purpose. No action is recommended.



Figure 8: Photo 39, 40, 41, 42, 43 & 44 – Office 2

2.2.4 Main hall

The Main hall is in good condition for its age see Figure 9. The timber floor cover is in good condition for its age. The ceiling panels are also in good condition. However, there are a few panels that are not sitting correctly in the frame. It is recommended that the panels are moved back into position. The paper face from the gyprock ceiling panel across the centre of the room is torn. It is recommended that the ceiling is patched and painted.

The brick walls and windows are in good condition for their age. As mentioned in 2.1.3 Doors and windows, it was recommended that the south facing double doors need to be repaired and repainted.

The air conditioner duct cover is in poor condition, The fingers on the vents are corroding and the paint is flaking off. It is recommended that the vents are replaced.



Figure 9: Photo 45, 46, 47, 48, 49 & 50 – Main hall

2.2.5 Bar area

The bar area is in good condition see Figure 11. The carpet and vinyl floor cover is in good condition. The bar cabinets and equipment also appear to be in good condition. The floor behind the bar was painted and was in good condition for its age. However, it was noticed that there were no rubber matting on the floor this may have been due to the fact that the bowling club was closing down due to covid-19. It is recommended that the bar area is fitted with removable rubber matting to prevent staff slipping.



Figure 10: Photo 51, 52, 53, 54 & 55 – Bar area



The bar area ceiling was in average condition see Figure 11. There is water staining on the ceiling in a few spots. It appears that mould is growing in one section. It is recommended that roof is inspected for leaks, It is also recommended that the damaged section is removed and replaced.

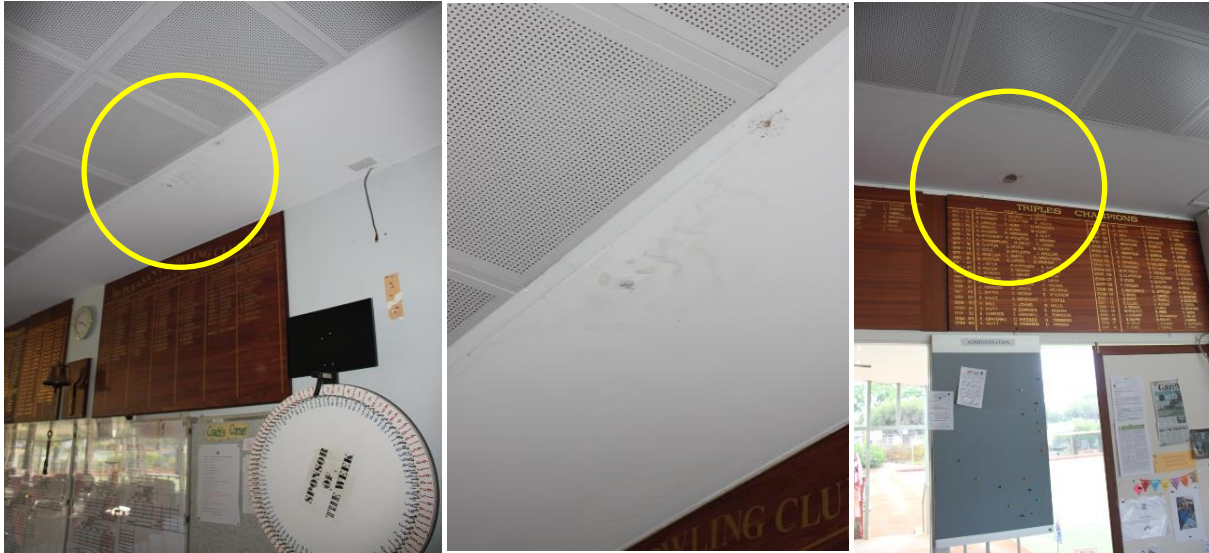


Figure 11: Photo 56, 57 & 58 – Bar area ceiling

2.2.6 Office 3

The office is located behind the bar area and is in average condition for its age see Figure 12. The floor is bare concrete and is in average condition. The concrete floor paint and is worn out. It is recommended that the floor is repainted. The walls and ceiling are in good condition for their age and are fit for purpose. This office gives access to the cool room used for the bar. The cool room was locked. However, it appears to be in good working condition.

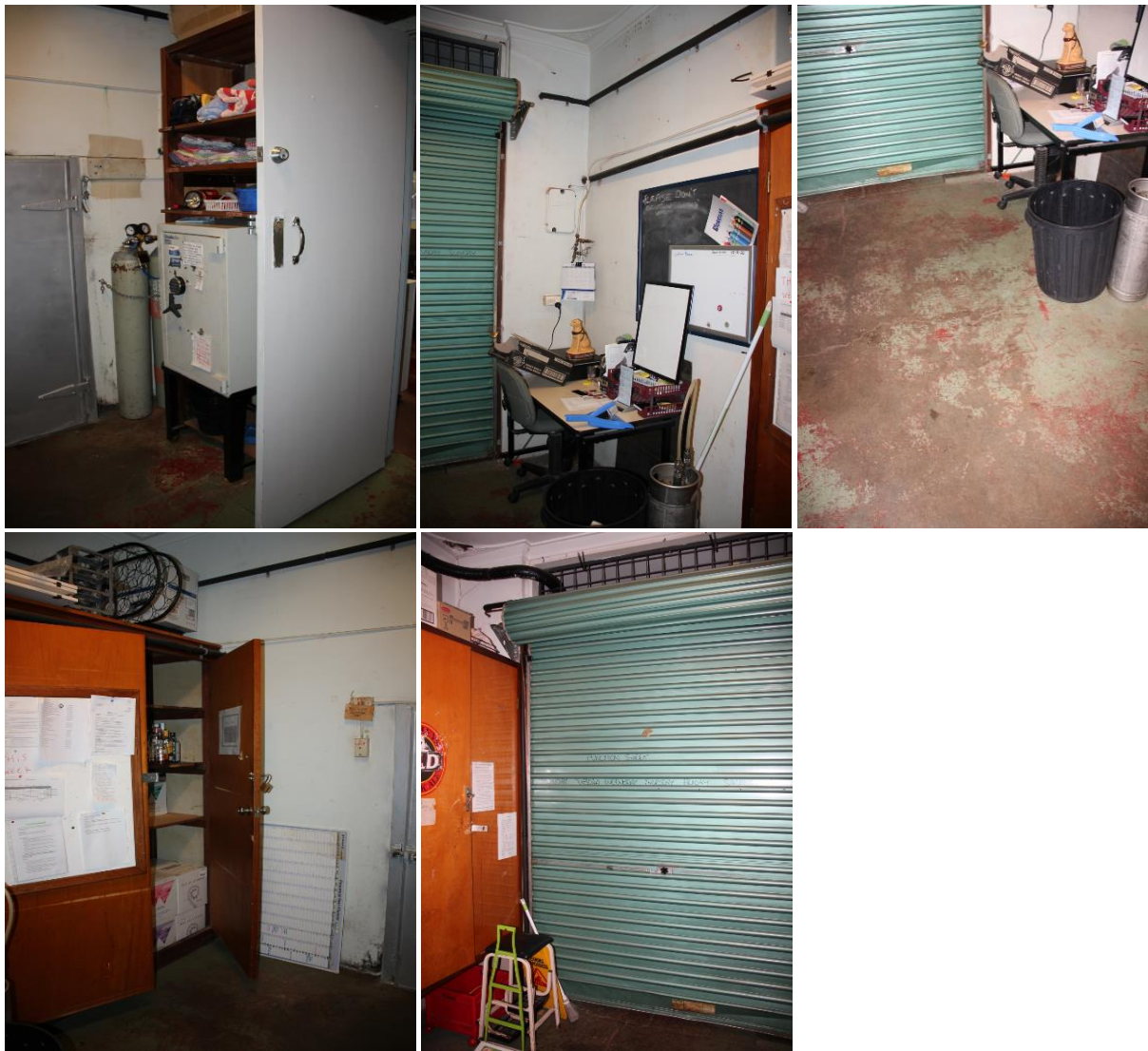


Figure 12: Photo 59, 60, 61, 62 & 63 – Office 3

2.2.7 Pool table and darts room

The pool and darts room is in good condition see Figure 13. The walls and ceiling are well painted and are in good condition. The carpet floor cover is also in good condition. The air conditioner duct cover is in poor condition, The fingers on the vents are corroding and the paint is flaking off. It is recommended that the vents are replaced.



Figure 13: Photo 64, 65 & 66 – Pool and darts room

2.2.8 Hallway 1

The hallway is in good condition see Figure 14. The external door and frame is in good condition. The face brickwork is in good condition. The asbestos ceiling is well painted and in good condition. The floor is in good condition. No action is recommended.



Figure 14: Photo 67 & 68 – Hallway 1

2.2.9 Hallway 2

The hallway is in good condition see Figure 15. The external door and frame is in good condition. The external metal gate and wire gate to the services area are all in good condition for their age. The face brickwork is in good condition. The asbestos ceiling is well painted and in good condition. The clay paving to the floor is in good condition. There is no fire extinguisher located below the sign. It is possible that the extinguisher is placed behind the locked gate in the services area. However, it could not be located. It is recommended that a location sign is installed or if there is not a fire extinguisher located in the area, the sign is removed.



Figure 15: Photo 69, 70 & 71 – Male toilets

2.2.10 Service area

The services area is in average condition see Figure 16. The floor is bare concrete and is fit for purpose. The brick walls are in good condition for their age. The exposed roof rafters are in good condition and there is no ceiling to this room. As mentioned in 2.1.3 Doors and windows, the louver window glass is broken and was recommended that the glass is replaced. No further action is recommended.

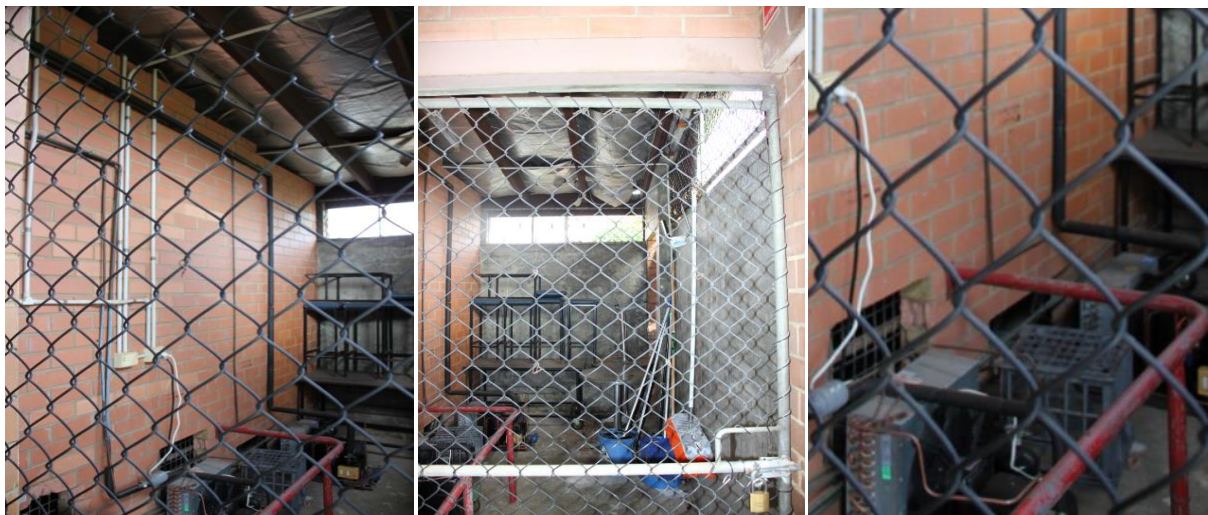


Figure 16: Photo 72, 73 & 74 – Service area

2.2.11 Men's bathroom

The bathroom is in good condition see Figure 17. The walls and ceiling are in good condition and show no signs of movement or cracking. The vanity cabinet is old and is in poor condition. The vanity has water staining and panels have swollen due to water damage. It is recommended that the vanity is replaced. Silicon between the bench top and splashback tiles have started to come off. It is recommended that the silicon is removed and replaced with new. The vanity kickboard tile has cracked. It is recommended that the kickboard tiles are replaced. The plumbing was inspected and no leaks were found. The toilet cubicle panels are in good condition. The floor and wall tiles are in good condition. The urinals, toilets and basins are in very good condition. No further action is recommended.



Figure 17: Photo 75, 76, 77, 78, 79 & 80 – Men's bathroom

2.2.12 Male changeroom

The changeroom is in good condition see Figure 18. The ceiling was well painted and is in good condition. The walls are also in good condition. However, there is slight cracking to the internal corner and below the cornice above the door. It is recommended that these minor cracks are repaired and painted when the room is next painted. The carpet appears old but is in good condition for its age. The doors and door frames are also in good condition. No further action is recommended.



Figure 18: Photo 81, 82, 83, 84 & 85 – Men's changeroom

2.2.13 Delivery room

The delivery room is in good condition see Figure 19. The ceiling appeared to be in average condition. However, the cornice has cracked in a couple of places and the ceiling has been re-fixed to the supporting framework. It is recommended that the ceiling and cornice is filled and painted. The face brick walls are also in good condition. The floor is bare concrete and is fit for purpose. The roller door is functioning correctly and is in good condition. The storage hot water system appears new and is in good working condition. No further action is recommended.

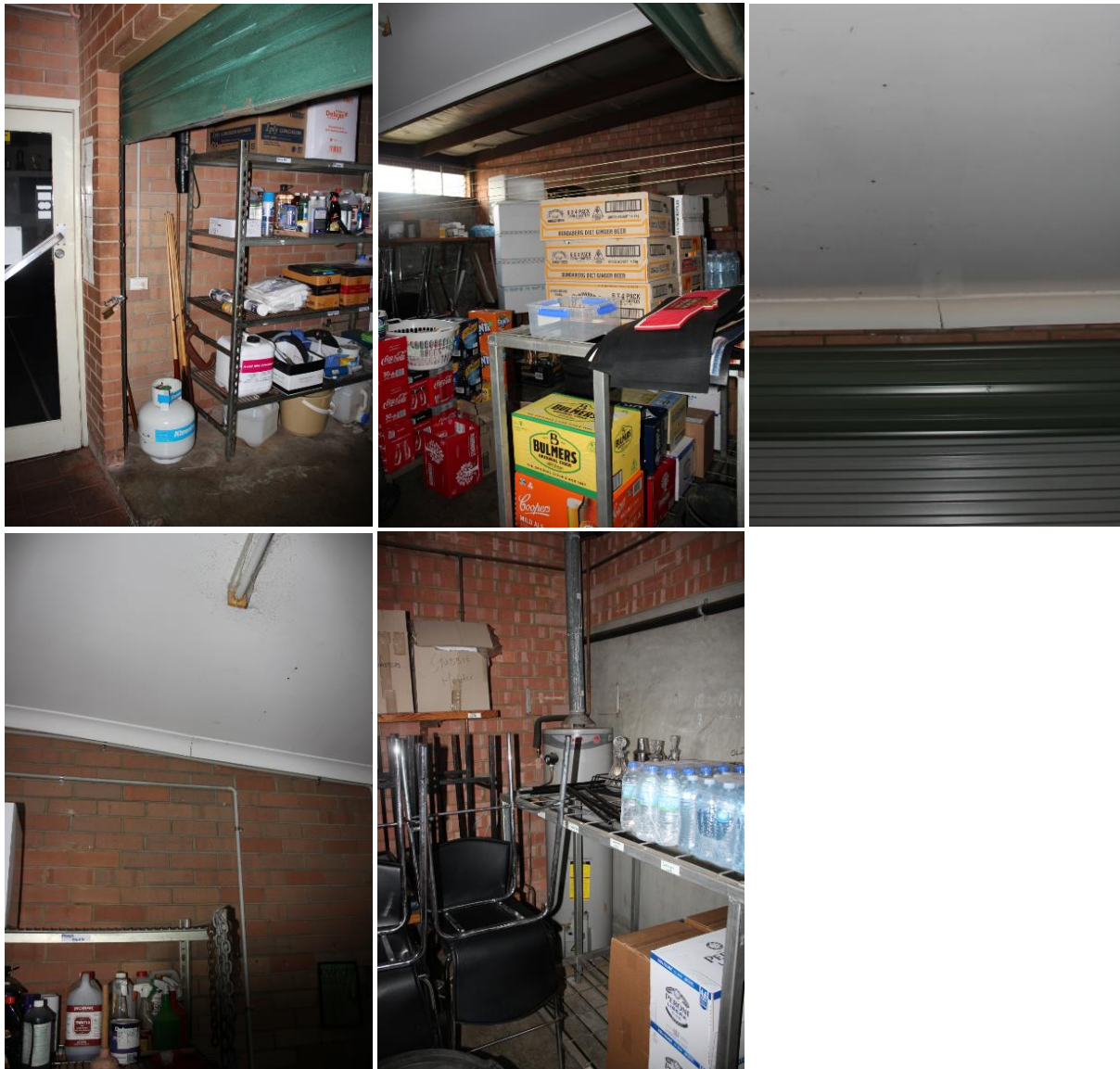


Figure 19: Photo 86, 87, 89, 90, 91– Delivery room

2.2.14 Electronics room

The electronics room is fit for purpose see Figure 20. The ceiling panel was missing and the paint is in poor condition. It is recommended that the ceiling panel is replaced and repainted. The face brick walls are also in good condition. The tiled floor is in good condition for its age. The entry door and door frame is well painted and is in good condition. No further action is recommended.



Figure 20: Photo 92, 93 & 94 – Electronics room

2.2.15 Kitchen

The kitchen appears to be newly renovated and is in very good condition see Figure 21. The walls and ceiling are in very good condition. The stainless steel benches are in very good condition. The commercial rangehood and cooking appliances are in very good condition. The commercial vinyl floor lining and wall tiles are new and in very good condition. The kitchen is functioning correctly. No action is recommended.



Figure 21: Photo 95, 96, 97, 98 & 99 – Kitchen

2.2.16 Pantry

The kitchen pantry appears to be newly renovated and is in very good condition see Figure 22. The walls and ceiling are in very good condition. The stainless steel benches are in very good condition. The commercial vinyl floor lining is new and in very good condition. The entry door is well painted and is in very good condition. The wire shelving is also in good condition. No action is recommended.



Figure 22: Photo 100, 101 & 102 - Pantry

2.2.17 Hallway 3

The hallway is in good condition see Figure 23. The walls and ceiling are well painted and are in good condition. However, there is a slight crack through the ceiling where the light is fixed. It is recommended that the ceiling is repaired and painted. The doors and door frames are well painted and are in good condition. The tiled floor is in good condition for its age. No further action is recommended.



Figure 23: Photo 103, 104, & 105 - Hallway

2.2.18 Service duct

The service duct is in average condition see Figure 24. The walls are in average condition for their age. The walls are chipped and the paint is flaking. It is recommended that the walls are patched and repainted. The ceiling appears water stained and is in poor condition. It is recommended that the ceiling is repaired and painted. The bare concrete floor is fit for purpose. The two hot water systems appear to be in good working condition.



Figure 24: Photo 106, 107, 108 & 109 – Service duct

2.2.20 Ladies Locker room

The storeroom is in good condition see Figure 26. The walls and ceiling are well painted and are in good condition for their age. The entry doors and door frames are well painted and are in good condition. The carpet floor cover appears to be in good condition and is fit for purpose. No action is recommended.



Figure 26: Photo 117, 118 & 119 – Ladies locker room

2.2.21 Ladies bathroom

The bathroom is in good condition see Figure 27. The tiled walls are in good condition. The toilet doors and walls are well painted and are in good condition. The tiled floor cover appears to be in good condition. The vanity cabinet is in good condition for its age. However, the centre basin is cracked. There is no water leaking from the basin. However, it is recommended that the basin is replaced. The ceiling is in average condition. There is cracking in the ceiling lining. It is recommended that the damaged section is repaired and painted.



Figure 27: Photo 120, 121, 122, 123, 124 & 125 – Ladies bathroom

2.2.22 Ladies sitting room

The sitting room is in good condition see Figure 28. The walls and ceiling are well painted and are in good condition. However there is a slight crack between the white set plaster and the cornice. It is recommended that the crack is filled and painted. The doors and door frames are well painted and are in good condition. However, the planted door stop has come away from the door jamb which leads to the bathroom. It is recommended that the door stop is re-fixed to the jamb. The carpet floor cover is also in good condition. No further action is recommended.



Figure 28: Photo 126, 127, 128, 129, 130 & 131 – Ladies sitting room

2.2.23 Front entry

The entry is in very good condition see Figure 29. The brick walls and asbestos ceiling are well painted and are in good condition. The doors and door frames are well painted and are in good condition. The tiled and carpet floor cover is in very good condition. No action is recommended.



Figure 29: Photo 132, 133, 134, 135 & 136 – Entry



2.2.24 Front office

The office is in good condition for its age see Figure 30. The walls are well painted and are in good condition. The ceiling is very old but is in good condition for its age. The doors and door frames are well painted and are in good condition. The carpet floor cover is in good condition. The airconditioner is in good working condition. No action is recommended.



Figure 30: Photo 137, 138, 139, 140 & 141 – Front office

2.2.25 Front office 2

The office is in good condition for its age see Figure 31. The walls are well painted and are in good condition. The ceiling is very old but is in good condition for its age. The carpet floor cover is in good condition. The safety strips on the floor, warning of the step are worn. It is recommended that the strips are replaced.



Figure 31: Photo 142 & 143 – Front office 2

2.2.26 Boardroom

The office is in average condition for its age see Figure 32. The walls are well painted and are in good condition. The ceiling is very old. The ceiling has cracked and there is water staining. It is recommended that the roof is inspected for leaks. It is also recommended that the ceiling lining is replaced. The doors and door frames are well painted and are in good condition. The carpet floor cover is in good condition. The airconditioner is in good working condition. No further action is recommended.



Figure 32: Photo 144, 145, 146, 147, 148, 149, 150 & 151 - Boardroom



3 Key Assets

3.1 Asset Summary

The Mt Pleasant Bowling Club contains some of the City of Melville plant and equipment.

Key items are the switchboard, hot water system, evaporative and split system air conditioners.

The switchboard complies to current standards and regulations. The building also contains a number of hot water system that are in good working order.

The kitchen contains free standing oven and cook top, dishwasher and commercial rangehood.

The bar area contains a cool room, ice makers and bar equipment.

All assets are in sound working condition and the building is functioning properly. Please refer to Appendix A for asset locations.

4 Statutory Compliance

4.1 Compliance Summary

The building is not compliant in the area of disabled access. There is no suitable disabled facilities in bathrooms.

Energy efficiency requirements are not compliant to current standards, but in a building this age, achieving compliance is neither required nor cost effective.

Smoke detection appears to be compliant.

Emergency egress appears to perhaps not to be compliant, but this needs to be verified.

4.1.1 Electrical Safety

The buildings main switchboard is up to date and compliant. The switchboard has been added to the asset register, inspected and tested regularly as part of preventive maintenance.

4.1.2 Energy Efficiency

It is evident that the building does not meet modern energy efficiency requirements. Windows are not limited in quantity or size and the amount of insulation is unknown. However, it is not a statutory requirement to be compliant with modern requirements in a building of this age. A review of electricity consumption in comparison to other similarly utilised, but more modern facilities could be carried out, but it should be a low priority as it is unlikely benefits will warrant the expense of any corrective action.

4.1.3 Disabled Access and Inclusion

The building does not have suitable widths in the toilet areas or disabled grab rails to allow for wheel chair access. Given the age of the building it may not have been a requirement under the Australian standard at the time to include these in the design of the building. Major works to address these items would not warrant a high priority and should be considered by the City if further action should be taken.

4.1.4 Life Safety

The facility contains a reasonable number of fire extinguishers. They are in sensible locations at doors and kitchens. No action is currently recommended. Fire extinguisher were tagged and up to date.

Emergency egress also needs to be addressed. The type of locking system does not allow easy exit out of the double doors. A panic bar or a handle with a single downward motion to open the alternative access door would ease the emergency egress problem. Appropriate door furniture should be installed immediately. Precise requirements should be reviewed by a fire consultant prior to installation.

Emergency egress also complies and an evacuation plan is in place



5 Asbestos

5.1 Asbestos Summary

The building is predominantly brick with a metal roof cover. A large amount of asbestos could be found on the walls, ceilings and eaves lining throughout the building see Figure 33. Most of the asbestos is in good condition for its age.



Figure 33: Photo 152, 153 & 154 – Asbestos



6 Preventive Maintenance

Refer to the City of Melville for existing preventive maintenance tasks.

7 Action List

A number of actions have been proposed throughout this report.

These are collated in Appendix B along with assessments of condition and priority.

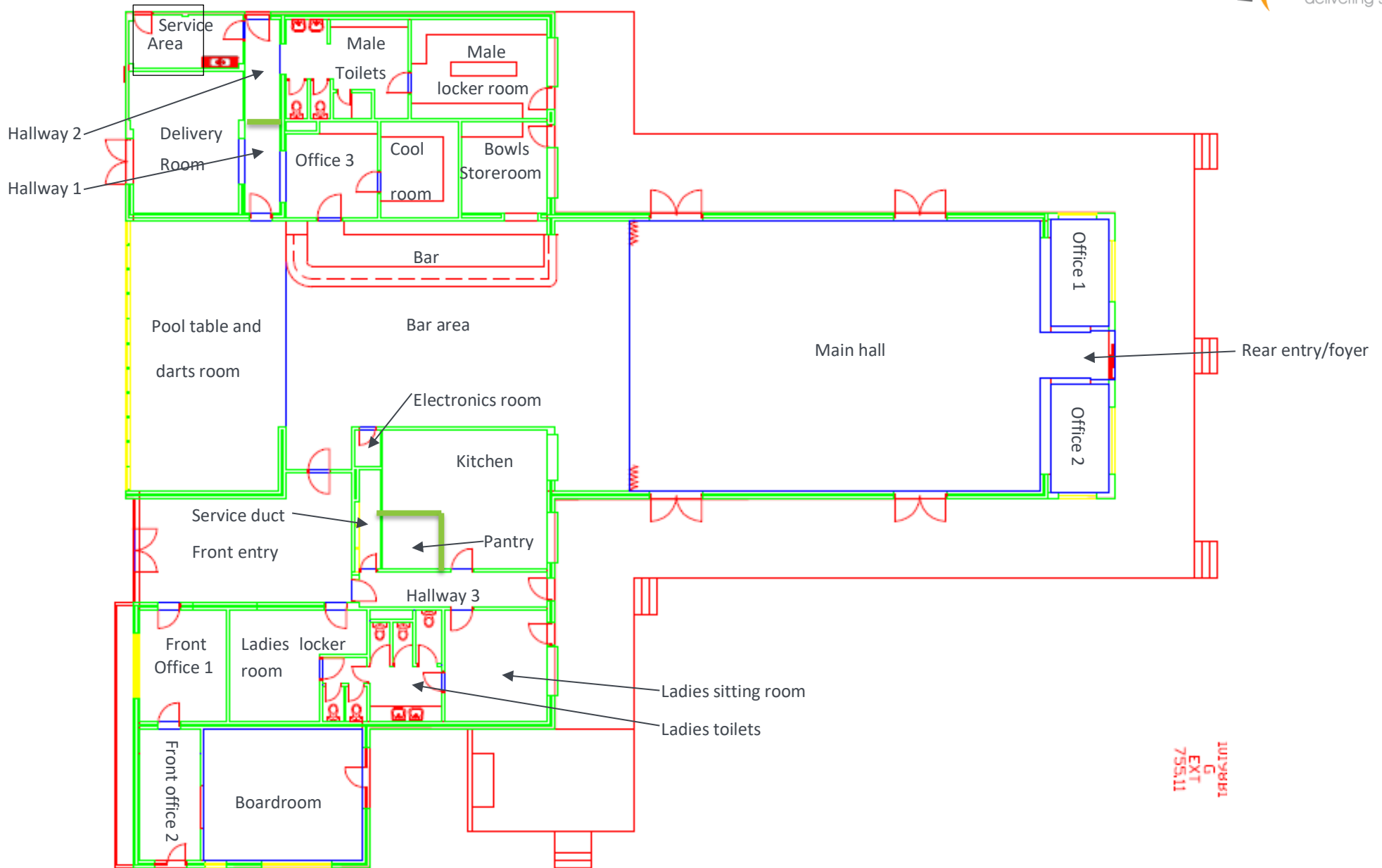
Approximate values have also been assigned. These are rough order of magnitude (ROOM) estimates for use in budgetary cost benefit analysis. Budget estimates will need to be established once work is to be included in the budget for next financial year.

Condition is rated on a scale of 1 to 5, with 1 indicating very good condition and 5 indicating very poor condition. Priority is also rated on a scale of 1 to 5, with 1 indicating urgent and 5 indicating the work will only be required in the medium term. Condition is an assessment of the physical condition of the existing infrastructure. In the instance of a non-compliant item, the condition can still be 1, however in the instance of fire safety the priority will also be 1 and the work should be carried out immediately.

Proposed works that have a reasonable condition (1, 2 or 3), and a low priority (4 or 5) should be added to the long-term capital works programme.



Appendix A: Building Plans



Appendix B: Action List

Report header	Building Area	Description	Condition 1 Good 5 Poor	Priority 1 Low 5 High	Recommendation	Cost Estimate (ROOM)	Deadline (FY)	Comments
2.1.1	Foundations and walls	Cracking has occurred in the mortar around the windows	5	4	It is recommended that the brick work is repaired	8000	2021	Some cracks may have been caused by corrosion jacking
2.1.1	Foundations and walls	Cracks occur in the middle of the wall	5	5	It is recommended that the walls are inspected by a structural engineer to ensure structural adequacy	1500	2020	The walls still appear stable however should be checked by a structural engineer
2.1.2	Roof	There are signs of water staining on some ceilings throughout the building	4	5	It is recommended that the roof is inspected and repaired if water leaks occur	500	2020	The staining could have resulted from previous leaks which may have been repaired
2.1.2	Roof	Some of the downpipes are in poor condition	5	5	It is recommended that the damaged down pipes are replaced	2000	2020	

2.1.3	Doors and windows	the paint is starting to flake off on some windows and the paint on the timber doors appears thin	3	4	It is recommended that the paint on the windows is removed and timber repainted	2000	2021	
2.1.3	Doors and windows	The south facing double doors are in average condition. The bottom timber panel of the joinery has started to split	4	4	It is recommended that the doors are repaired and painted	500	2021	
2.1.3	Doors and windows	The steel is rusting and in some cases causing corrosion jacking	4	4	It is recommended that the lintels are replaced and brickwork is repaired	4000	2022	
2.1.3	Doors and windows	The glass louver windows have broken glass	5	5	It is recommended that the glass is replaced	800	2020	In general the windows and doors require a lot of maintenance and repairs
2.1.5	Verandah's and paths	The verandahs support poles are starting to corrode	4	3	It is recommended that the posts and concrete are repaired	5000	2023	The concrete path in which the post sits has also cracked due to the pressure
2.1.5	Verandah's and paths	The bricks at the side of the rear step to the male bathrooms appear loose	5	5	It is recommended that the brickwork is repaired	500	2020	

2.1.5	Verandah's and paths	The paint on the verandah concrete floor is flaking off	4	4	It is recommended that the concrete is repainted	3000	2021	
2.1.5	Verandah's and paths	The verandah asbestos ceiling lining has a little bit of flaking paint to the north side of the building.	5	5	It is recommended that the ceiling is repainted to prevent flaking paint	500	2020	The flaking paint will be a health concern as it is laced with asbestos
2.2.1	Entry foyer	There is some staining along the centre join of the ceiling sheet	3	3	It is recommended that the ceiling is repainted	500	2022	
2.2.4	Main hall	There are a few ceiling panels that are not sitting correctly in the frame	3	5	It is recommended that the panels are moved back into position	100	2020	
2.2.4	Main hall	The paper face from the gyprock ceiling panel across the centre of the room is torn	4	4	It is recommended that the ceiling is patched and painted	1000	2021	It appears that there may have been a door track that was removed
2.2.4	Main hall	The fingers on the air conditioner vents are corroding and the paint is flaking off	4	4	It is recommended that the vents are replaced	300	2022	

2.2.5	Bar area	No rubber matting on the bar floor	5	5	It is recommended that the bar area is fitted with removable rubber matting to prevent staff slipping	2000	2020	This may have been due to the fact that the bowling club was closing down due to covid-19
2.2.5	Bar area	There is water staining on the ceiling in a few spots. It appears that mould is growing in one section	5	5	It is recommended that roof is inspected for leaks	500	2020	
2.2.5	Bar area	Bar room ceiling has staining and possible mould	5	5	It is recommended that the damaged section is removed and replaced	1000	2020	
2.2.6	Office 3	The concrete floor paint and is worn out	4	4	It is recommended that the floor is repainted	800	2021	
2.2.7	Pool table and darts room	The fingers on the air conditioner vents are corroding and the paint is flaking off	4	4	It is recommended that the vents are replaced	300	2022	
2.2.9	Hallway 2	The extinguisher could not be located below the sign	5	5	It is recommended that a location sign is installed or if there is not a fire extinguisher located in the area, the sign is removed	300	2020	
2.2.11	Men's bathroom	The vanity has water staining and panels have	4	4	It is recommended that the vanity is replaced	1500	2021	

		swollen due to water damage						
2.2.11	Men's bathroom	Silicon between the bench top and splashback tiles have started to come off	5	5	It is recommended that the silicon is removed and replaced with new	200	2020	
2.2.11	Men's bathroom	The vanity kickboard tile has cracked	5	5	It is recommended that the kickboard tiles are replaced	200	2020	
2.2.11	Men's bathroom	There is slight cracking to the internal corner and below the cornice above the door	3	4	It is recommended that these minor cracks are repaired and painted when the room is next painted	100	2023	
2.2.13	Delivery room	The cornice has cracked in a couple of places and the ceiling has been re-fixed to the supporting framework	4	4	It is recommended that the ceiling and cornice is filled and painted	1000	2022	
2.2.14	Electronics room	The ceiling panel was missing and the paint is in poor condition	5	5	It is recommended that the ceiling panel is replaced and repainted	500	2020	
2.2.17	Hallway 3	There is a slight crack through the ceiling where the light is fixed	4	4	It is recommended that the ceiling is repaired and painted	500	2021	
2.2.18	Service duct	The walls are chipped and the paint is flaking	4	4	It is recommended that the walls are patched and repainted	500	2021	
2.2.18	Service duct	The ceiling appears water stained and is in poor condition	4	4	It is recommended that the ceiling is repaired and painted	500	2021	

2.2.21	Ladies bathroom	The centre basin is cracked	4	5	It is recommended that the basin is replaced	400	2020	There is no water leaking from the basin
2.2.21	Ladies bathroom	There is cracking in the ceiling lining	4	4	It is recommended that the damaged section is repaired and painted	500	2021	
2.2.21	Ladies bathroom	There is a slight crack between the white set plaster and the cornice	4	4	It is recommended that the crack is filled and painted	100	2021	
2.2.21	Ladies bathroom	The planted door stop has come away from the door jamb which leads to the bathroom	4	4	It is recommended that the door stop is re-fixed to the jamb	100	2021	
2.2.25	Front office 2	The safety strips on the floor, warning of the step are worn	5	5	It is recommended that the strips are replaced.	200	2020	
2.2.26	Boardroom	The ceiling has water staining	5	5	It is recommended that the roof is inspected for leaks	500	2020	
2.2.26	Boardroom	There is cracking and water staining to the ceiling	5	5	It is recommended that the ceiling lining is replaced	4000	2020	
4.1.4	Life safety	Emergency egress also needs to be addressed. The type of locking system does not allow easy exit out of the double doors.	5	5	A panic bar or a handle with a single downward motion to open the alternative access door would ease the emergency egress problem	2000	2020	Appropriate door furniture should be installed immediately. Precise requirements should be reviewed by a fire consultant prior to installation