

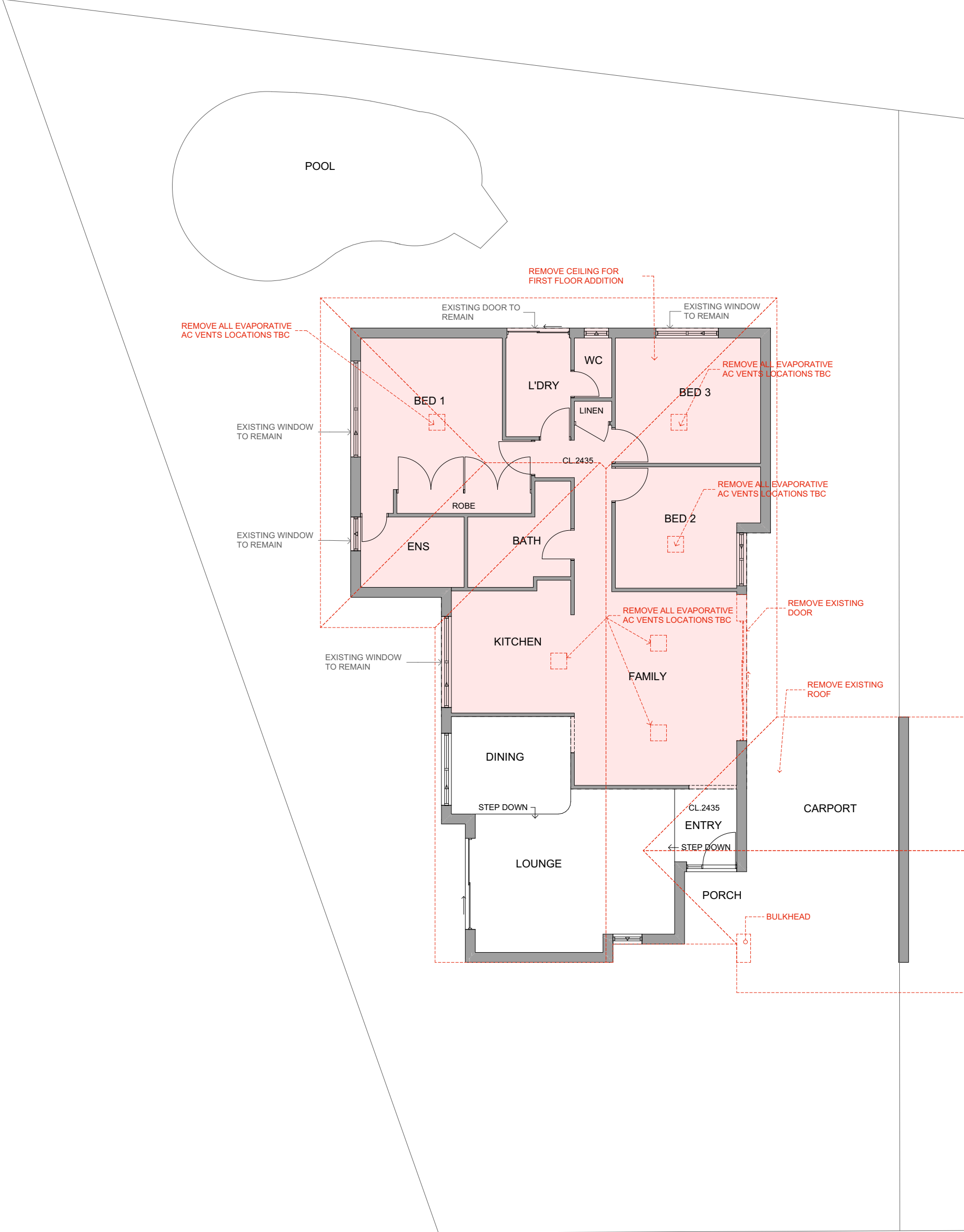
NOTES:
- These Plans are Subject to Shire Approval
- Proposed Measurements May Vary Due to Site Inconsistencies

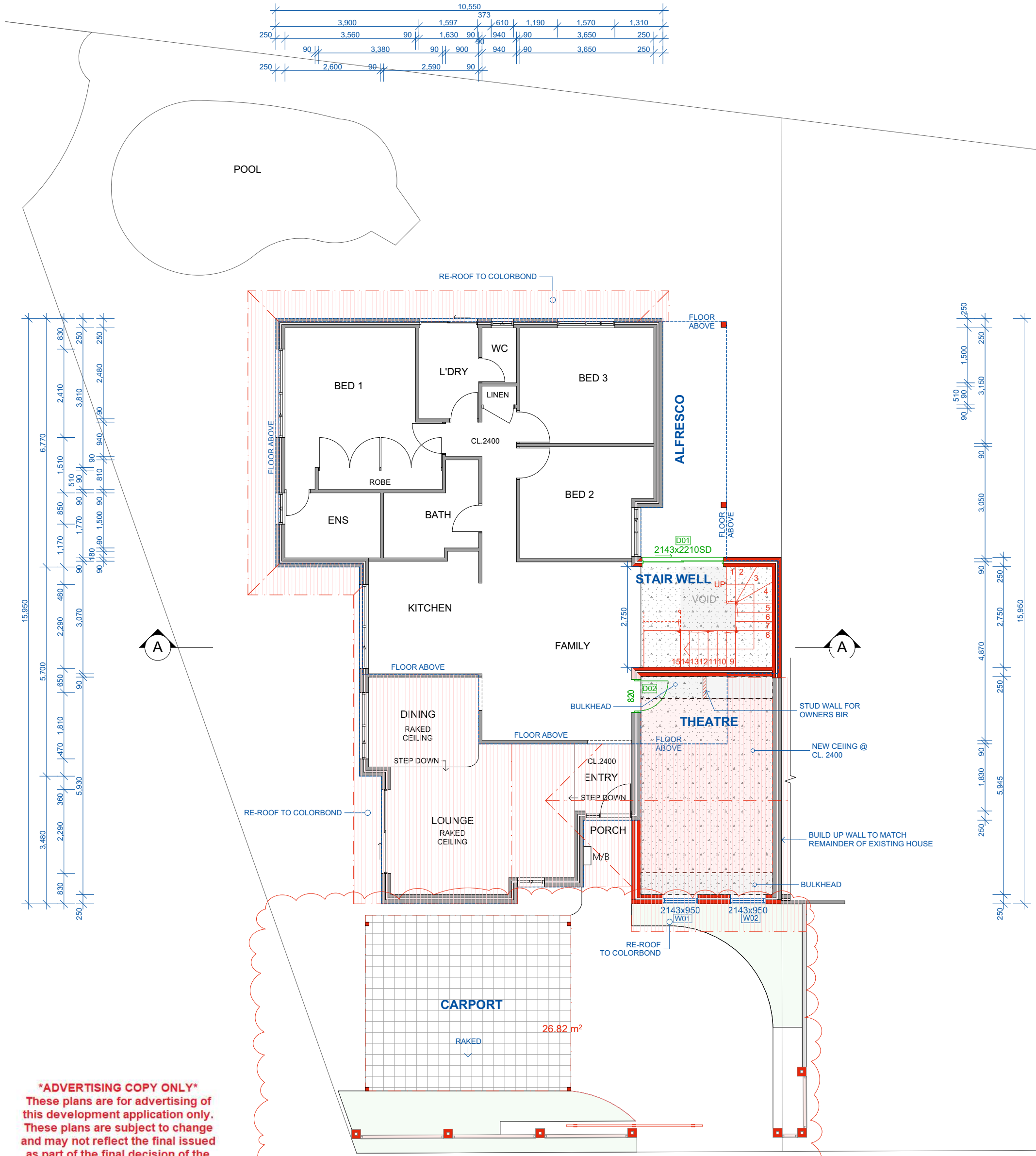
OPEN SPACE	
Site Area:	497m ²
Ground Floor Extension:	36.75m ²
Carport:	26.82m ²
Al-Fresco	11.90m ²
First Floor Addition:	110.49m ²
First Floor Balcony:	17.10m ²
Total:	203.06m ²



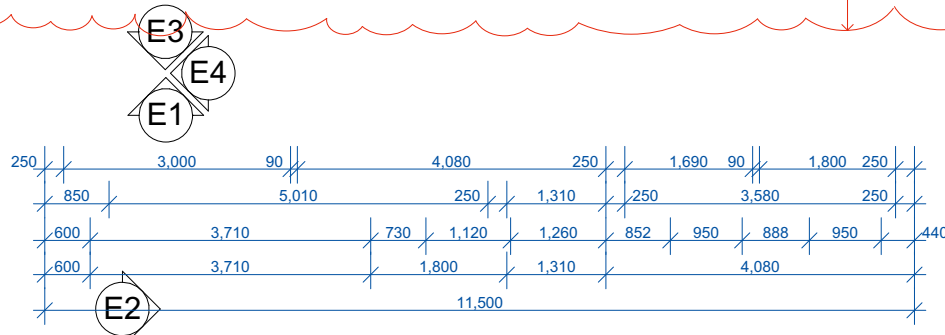
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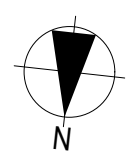


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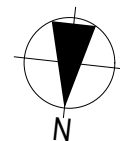
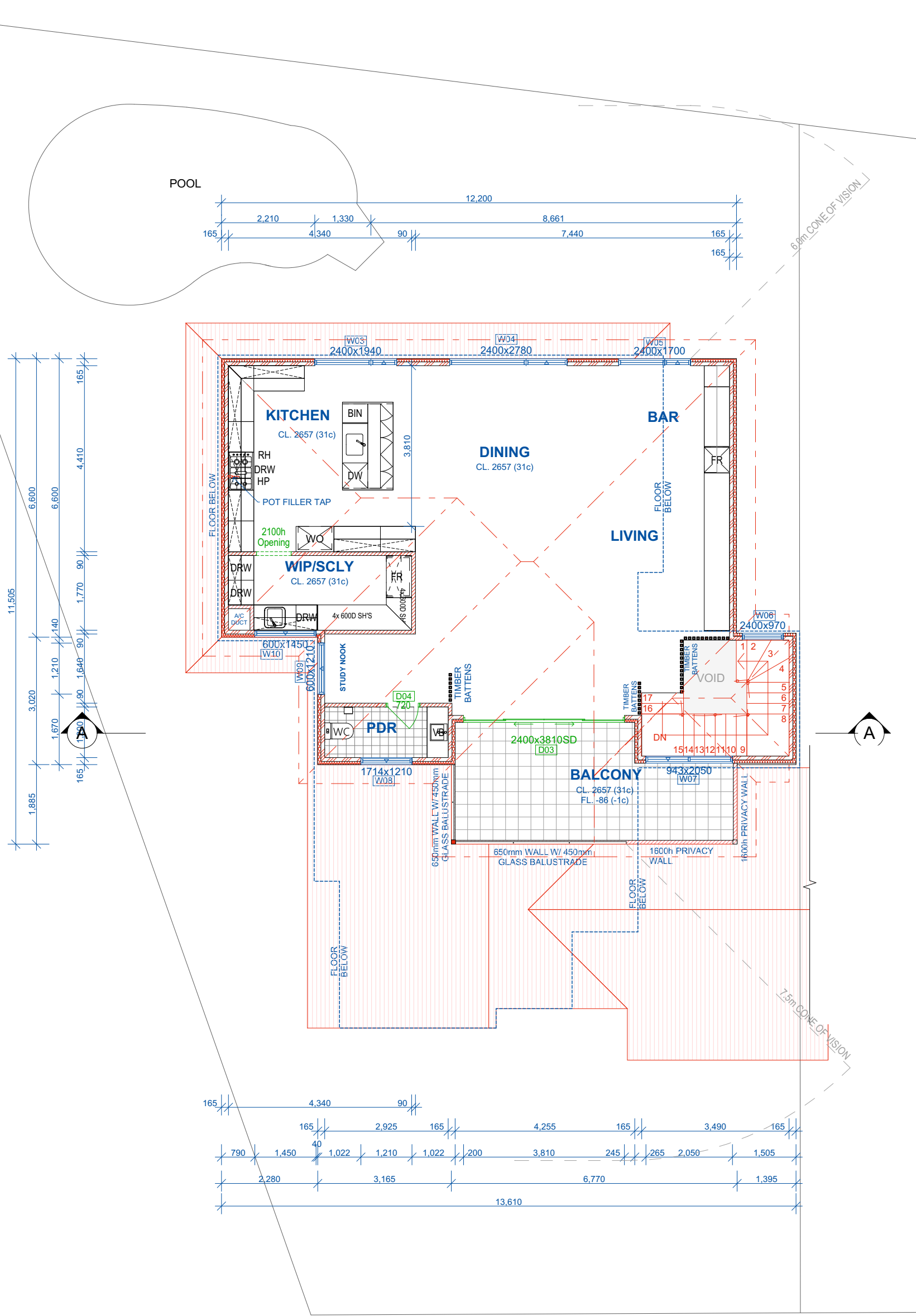
Client: Koen Matera & Talliah Downie
Date: 09.06.2026
Site: 2 Haig Rd, Attadale
Drawn: C.B

Ground Floor Plan
Scale 1:100
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Sheet:
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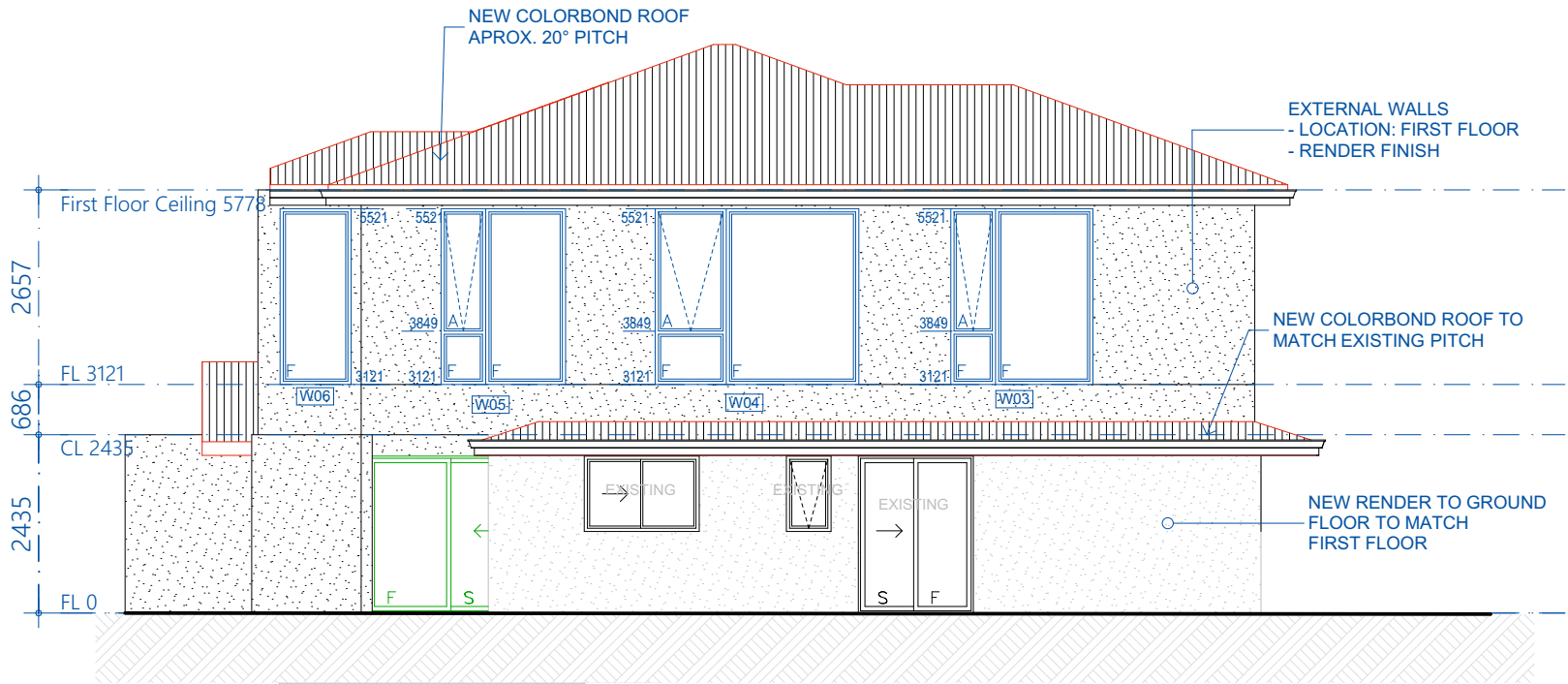
Architectural elevation drawing of a building facade showing proposed and existing elements. The drawing includes a gabled roof with a new colorbond roof and weatherboard cladding. The facade features a central window unit (D03) with a 450h balustrade on top, flanked by windows (W07, W08, W10). Below the central window is a 1600h privacy wall. The ground floor has existing windows (W01, W02) and a new render finish. Annotations include 'NEW COLORBOND ROOF APROX. 20° PITCH', 'NEW WEATHERBOARD CLADDING TO NEW GABLE END', 'EXTERNAL WALLS - LOCATION: FIRST FLOOR - RENDER FINISH', '1600h PRIVACY WALL', '450h BALUSTRADE ON TOP OF WALL', 'NEW COLORBOND ROOF TO MATCH EXISTING PITCH', 'NEW RENDER TO GROUND FLOOR TO MATCH FIRST FLOOR', and level markers 'First Floor Ceiling 5778', 'FL 3121', 'CL 2435', and 'FL 0'.

This architectural elevation drawing illustrates the proposed exterior treatment for a building facade. The drawing includes the following details:

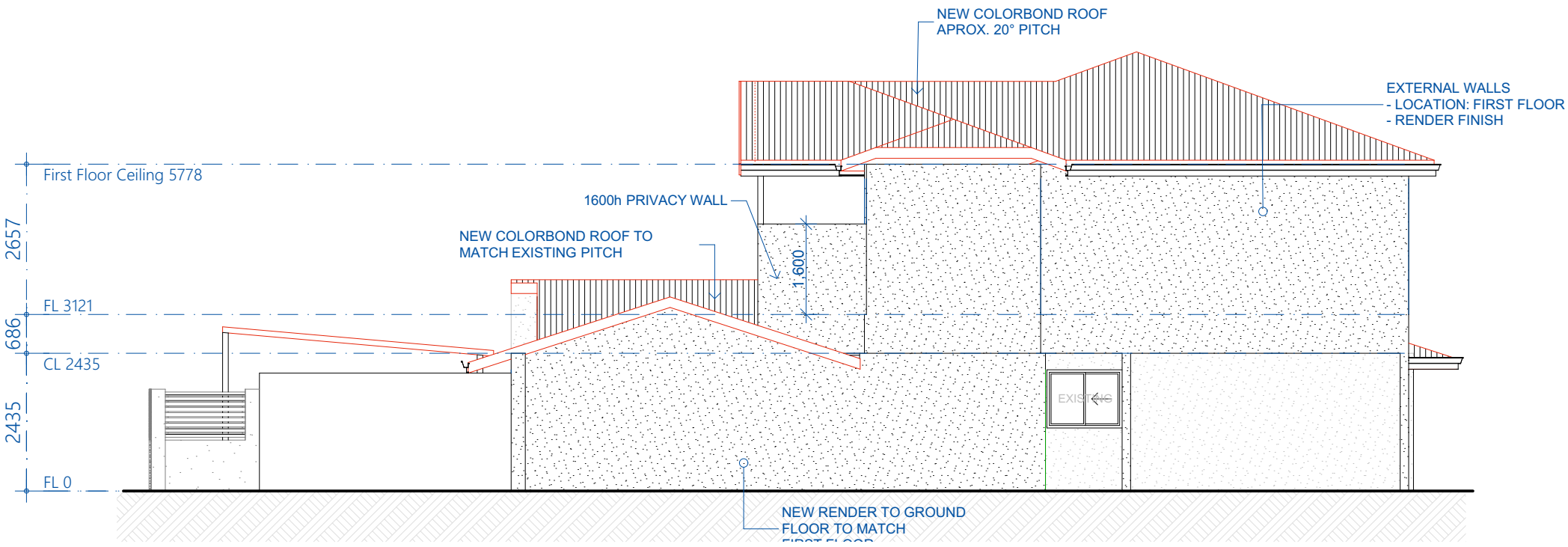
- Vertical Levels:** Indicated on the left side are levels FL 0, CL 2435, FL 3121, and 2657.
- Roof Proposals:**
 - A new colorbond roof with an approximate 20° pitch is shown at the top level (2657).
 - Another new colorbond roof is proposed to match the existing pitch, located below the first floor ceiling level.
- External Walls:**
 - The location is identified as the first floor.
 - A render finish is specified for the walls.
 - New render is proposed from the ground floor up to the first floor level.
- Balustrade:** A 450h balustrade is proposed on top of the wall between the two roof sections.
- Windows and Doors:** Existing windows and doors are labeled "EXISTING". New window openings are labeled "W09". A door opening is labeled "F S".
- Dimensions:** Vertical dimensions of 450 and 650 are indicated for the wall section above the ground floor.

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NOTE:
TIMBER ROOF FRAMING
In accordance with relevant
Australian Standards



ELEVATION 3



ELEVATION 4

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