

Dimensions

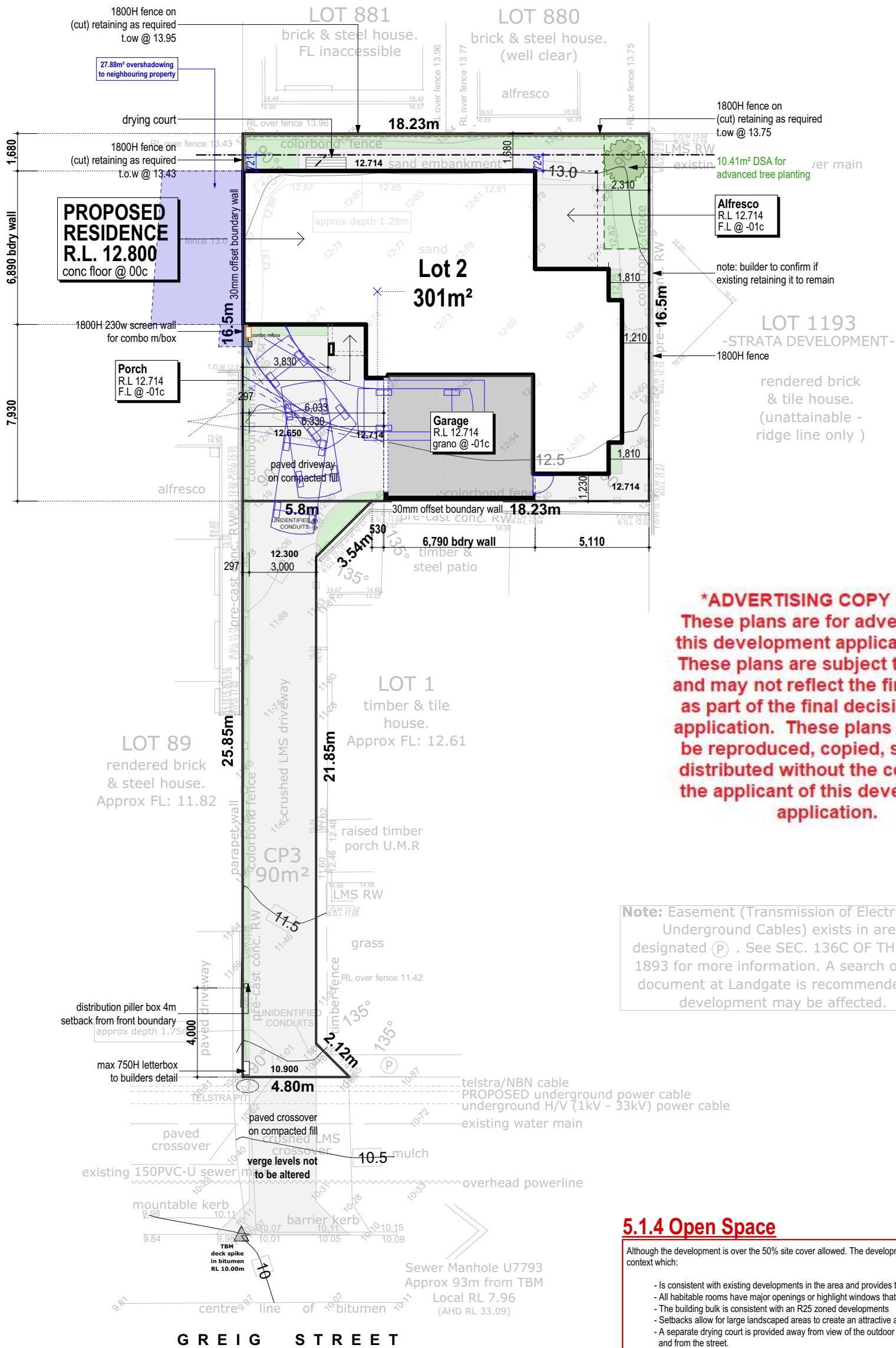
All dimensions and offsets are indicative ONLY for council purposes and may vary at final documentation stage

5.3.1 Outdoor living area

Although the outdoor living area for Unit B does not have the 2/3 of the required area without permanent roof cover. The areas provide spaces:

- that are accessed from the main living areas of the dwelling
- are open to winter sun and ventilation
- are designed with a northern aspect to maximise natural light

Overall the roof cover provided allows for a usable entertaining area that provides protection for outdoor furniture and for the future residents.



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Note: Easement (Transmission of Electricity by Underground Cables) exists in area designated (P). See SEC. 136C OF THE TLA 1893 for more information. A search of this document at Landgate is recommended as development may be affected.

5.1.4 Open Space

Although the development is over the 50% site cover allowed. The development incorporates suitable open space for its context which:

- Is consistent with existing developments in the area and provides the desired streetscape character.
- All habitable rooms have major openings or highlight windows that provide access to natural sunlight
- The building bulk is consistent with an R25 zoned developments
- Setbacks allow for large landscaped areas to create an attractive appearance.
- A separate drying court is provided away from view of the outdoor living area and from the street.
- Sufficient space is provided for external fixtures
- Provides opportunities for the residents to use space to the external of the building with access around the site

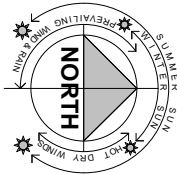
Overall, The design maximises landscaping and outdoor living areas that are usable and practical for future residents.

5.1.4 Open Space Calc.

Lot Area:	346m²
Required Open Space (50%):	173m²
Actual Open Space:	166.09m² (48.00%)

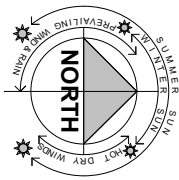
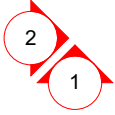
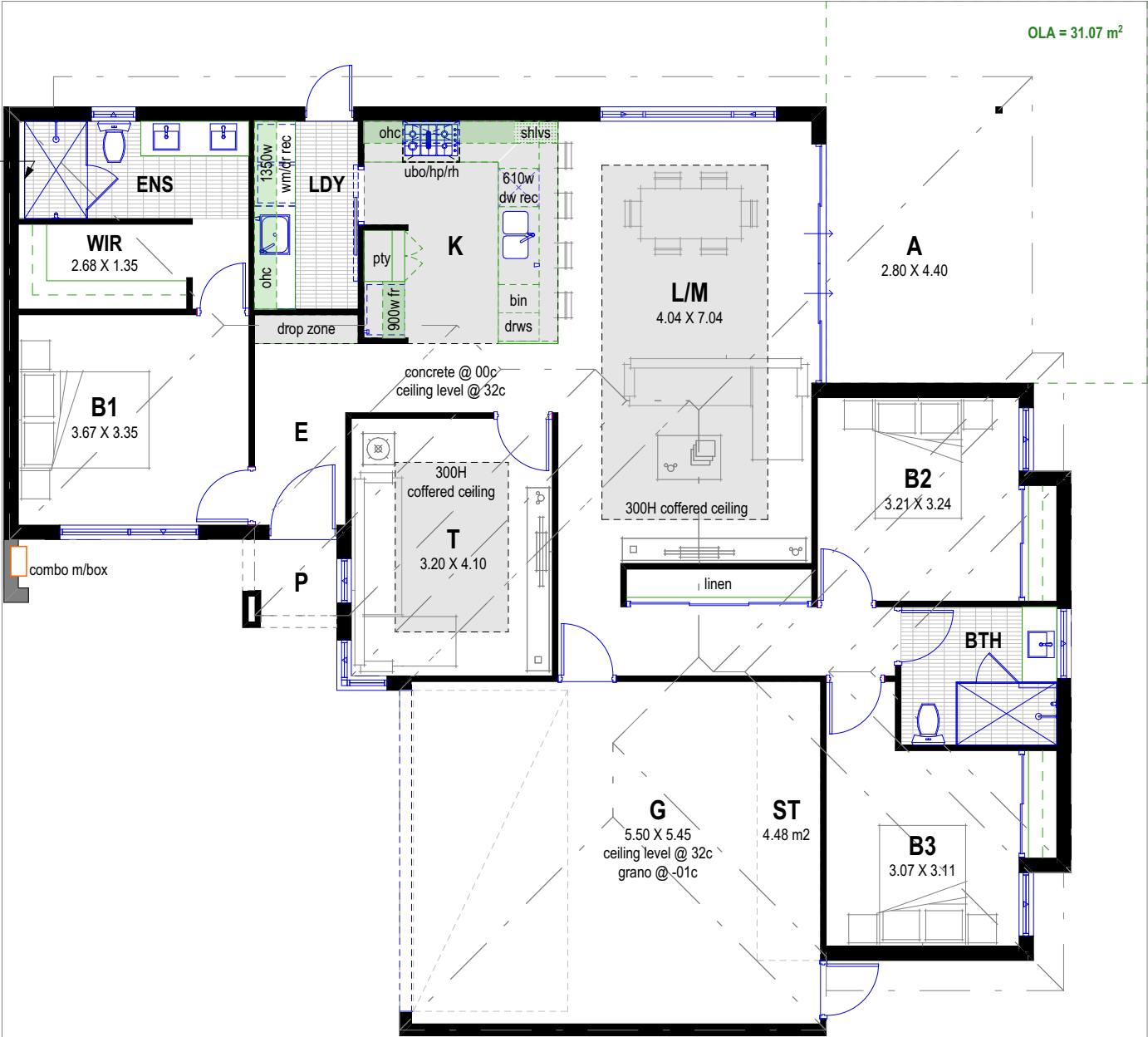
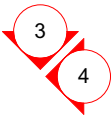
Site Plan

scale 1:200



Drawing Notes Legend

c	= BRICK COURSE HEIGHT	wc	= WATER CLOSET
w/-	= WITH	wm	= WASHING MACHINE
dp	= DOWNPIPE	dry	= DRYER
sprdr	= SPREADER	dw	= DISHWASHER
rwh	= RAIN WATER HEAD	s	= SINK
dho	= DOOR HEIGHT OPENING	w/o	= WALL OVEN
a/c	= AIR-CONDITIONING	ubo	= UNDER BENCH OVEN
mh	= MANHOLE	vb	= VANITY BASIN
s/a	= SMOKE ALARM	hb	= HAND BASIN
b/s	= BEDROOM SOUNDER	tr	= TROUGH
td	= THERMAL DETECTOR	hp	= HOT PLATE
fw	= FLOOR WASTE	rh	= RANGEHOOD
td	= TUN-DISH	ohc	= OVERHEAD CUPBOARDS



Floor Plan

scale 1:100

Building Area

Floor:	142.04m ²
Garage:	37.87m ²
Alfresco:	13.32m ²
Porch:	2.38m ²
Total Area:	195.61m ²

Client
Bluecrest Construction
Site Address
Proposed Residence
16A Greig Street, Willagee

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checked
M.A.

scale
1:100 (A3)

issued for

Planning Approval

drawn
T.Denslow

date
07.07.2026

JOB No.

2901

SHEET No.

02 of 03

REV No.

Rev A - 07.07.2026

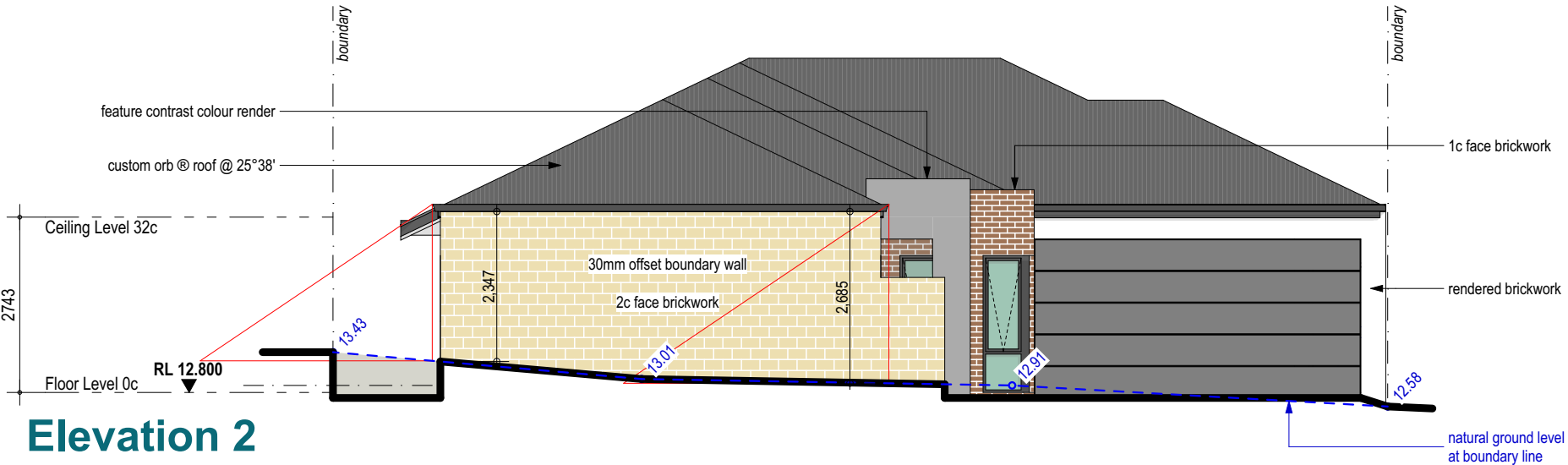
DESCRIPTION.

council RFI



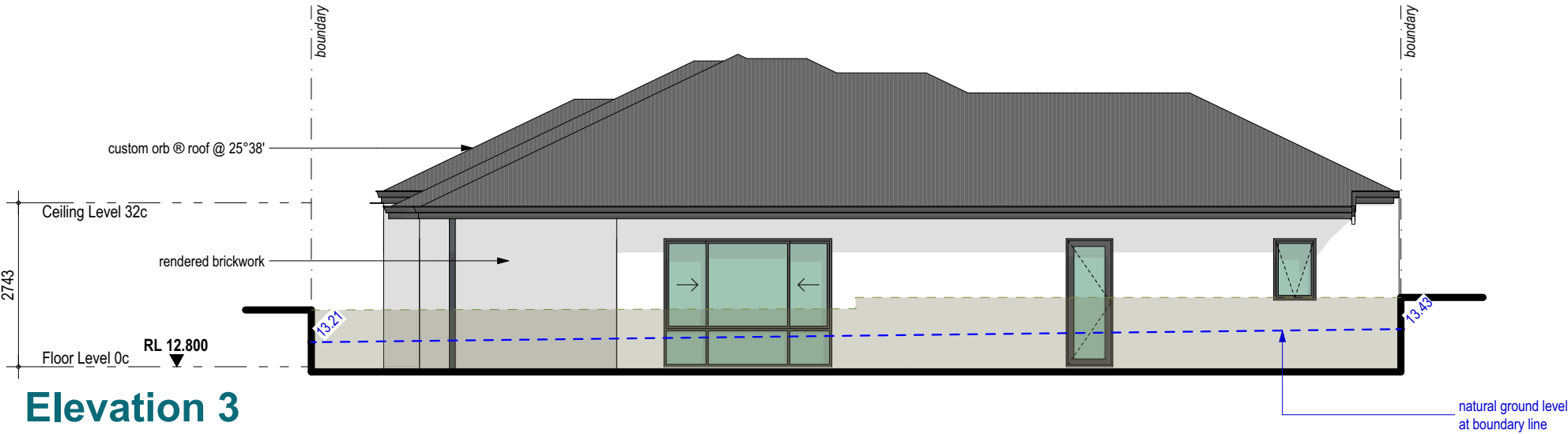
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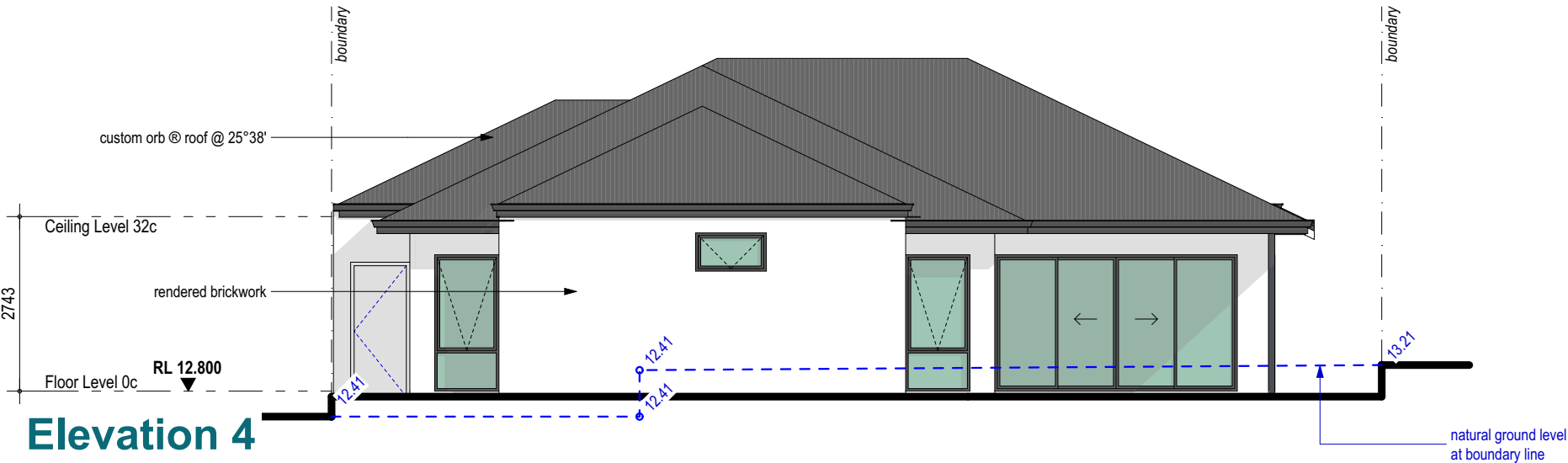
Elevation 2

scale 1:100



Elevation 3

scale 1:100



Elevation 4

scale 1:100

Client Bluecrest Construction Site Address Proposed Residence 16A Greig Street, Willagee Document Set ID: 7434263 Version: 2, Version Date: 13/07/2026	© copyright		P: 9328 7577 M: 0411 105 009 E: info@markanthonydesign.com.au A: 9/18 Brisbane Street (cnr Bulwer) Perth WA 6000 www.markanthonydesign.com.au CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.	checked M.A.	drawn T.Denslow	JOB No. 2901	REV No. Rev A - 07.07.2026	DESCRIPTION. council RFI
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				issued for Planning Approval				