



PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

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Po Box 1463 Osborne Park DC 6916 DWG# 7486001

Feature & Contour Survey of: Proposed Lot 3, No. 2B Bricknell Road, Attadale

REVISION: A

SHEET: 1 OF 1

CLIENT:	PLAN: SP 88659	LOT AREA: 413m ²	SURVEY DATE: 23/10/24
BUILDER:	C/T Vol: Fol:	MAP REFERENCE:	
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: >1KM	
AUTHORITY: CITY OF MELVILLE	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND

POWER

CABLE DOME	POWER POLE	PP
CABLE BOX	CONSUMER POLE	CP
POWER MARKER	EXPOSED CABLES	EC
LIGHT POLE	STAYWIRE ANCHOR	SWA

WATER

WATER METER / TAP	FIRE HYDRANT	H
TAP	STOP VALVE	SV
FLUSHING POINT	RETIC VALVE	RV
BORE	WATER MARKER	W

SEWERAGE

SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)	
INSPECTION SHAFT	INSPECTION OPENING	IO
HOUSE CONNECTION		

TELSTRA

TELSTRA PIT	TELSTRA MANHOLE	
TELSTRA MARKER	TELSTRA PILLAR	T

DRAINAGE

DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)	D
SIDE ENTRY PIT	DRAINAGE GRATE	
COMBINED ENTRY PIT	DRAINAGE MARKER	D

GAS

GAS METER	GAS VALVE	GV
GAS MARKER		

SURVEY MARKS

PEG FOUND	PEG GONE	PG
DRILL HOLE	BENCH MARK	B
PEN MARK	NAIL & PLATE	NPL
	NAIL	NAIL

MISCELLANEOUS INFO.

STREET SIGN	SPOT HEIGHT	10 ⁻⁶
UNKNOWN SERVICE MARKER	BOLLARD	B
OVERHEAD POWER LINE	SEWER LINE	S
FENCE LINE	WINDOW / OPENING	W

SERVICE DETAILS

WATER: A, TBC
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: L
GAS: A, TBC
SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED
TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 8.85
UP DISTANCE: 0.0
DEPTH TO CONNECTION: 1.77

NOTES

- (1) ALL FEATURES IN GOOD CONDITION
- (2) DEVELOPMENT AREA: ESTABLISHED
- (3) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

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ELECTRICIAN NOTE:

- BRING NEW CONSUMER MAINS UP INTO EXISTING METER BOX ON BOARD
- UPGRADE EXISTING POWER BOARD AS REQ.
- PROVIDE 3 PHASE POWER TO THE METERBOX.

CLIENT NOTE:

- ALL RETIC VALVE TO BE MOVED BY CLIENT.

CONCRETOR NOTE:

- FILL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.
- 100mm SLAB TO GARAGE REFER TO ENGINEERS DETAILS.

RETAINING CONTRACTOR NOTE:

- ALL RETAINING TO BE CONCRETE PANEL & POST UNLESS NOTED OTHERWISE.
- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

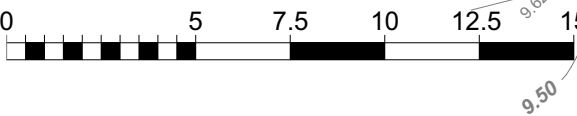
CLIENT / NEW TREE NOTE:

- DEEP SOIL AREA REQ AS INDICATED BY HATCH: 4m²
- MIN 1.5m DIMENSION
- NO SERVICES WITHIN THIS ZONE
- NEW TREES BY CLIENT TO SHIRE REQUIREMENTS

BRICKPAVER NOTE:

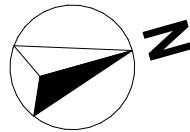
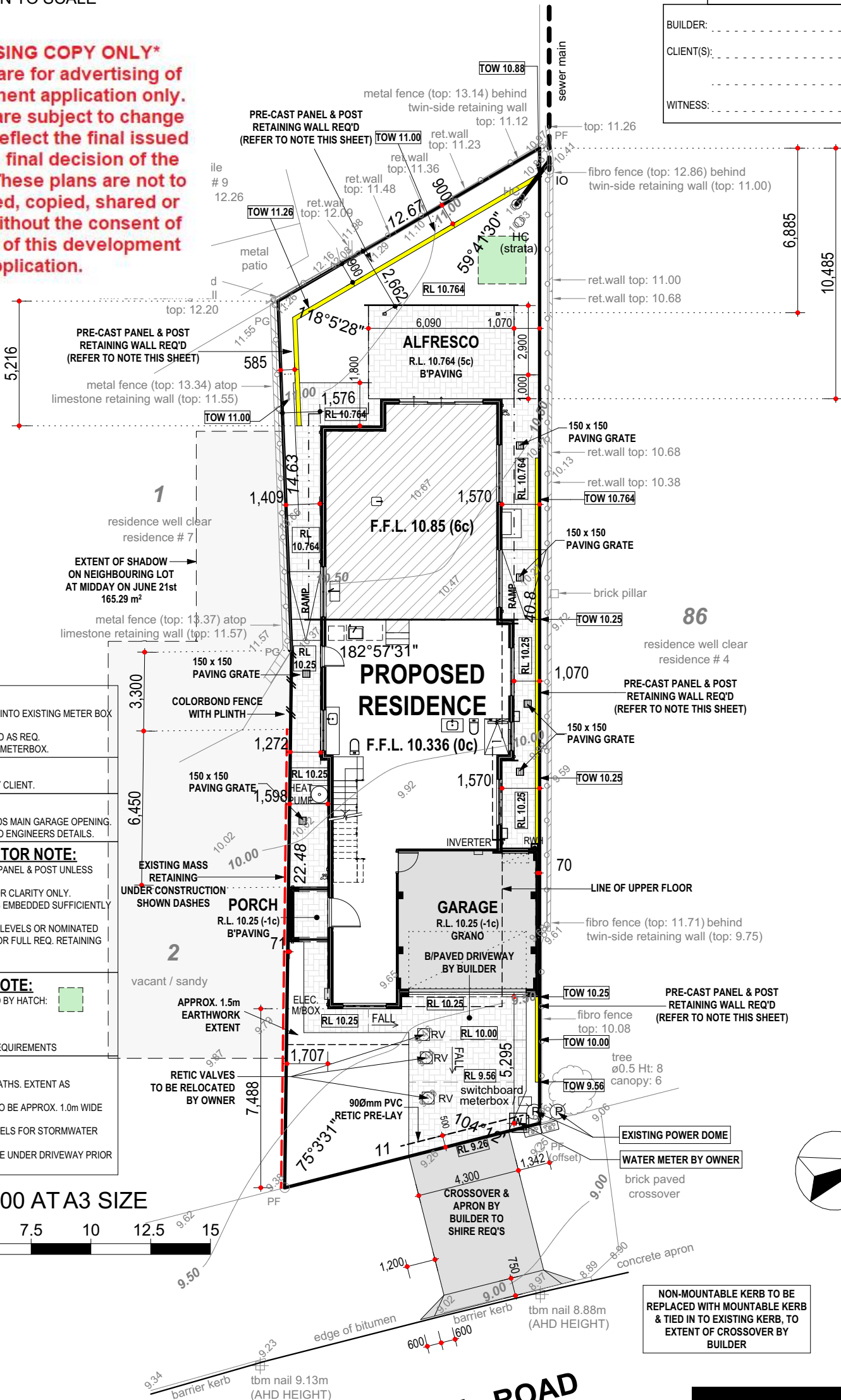
- BRICK PAVING TO DRIVEWAYS & PATHS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.
- PRE-LAY 900mm PVC RETIC SLEEVE UNDER DRIVEWAY PRIOR TO PAVING FOR LANDSCAPING.

SCALE 1:200 AT A3 SIZE



DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
CLIENT(S): _____
WITNESS: _____



BRICKNELL ROAD
(bitumen)

PROPOSED RESIDENCE FOR:

ADDRESS:
LOT 3 (#2B) BRICKNELL ROAD
ATTADALE

DRAWN:	EME	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	RC	SHEET:	2 OF 20	V001	EME	31.03.26			
CHECKED:	VWV	SIZE:	A3	CLOG	DMA	20/05/26			
DATE:	09.12.25	DEVELOPMENTS		V005	JH	28/07/26			
MODEL:		JOB N°							
CUSTOM		173703							
		SITE PLAN							



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POWER

CABLE DOME	Ⓟ	POWER POLE	○ PP
CABLE BOX	CB	CONSUMER POLE	⊕ CP
POWER MARKER	Ⓢ	EXPOSED CABLES	⊗ EC
LIGHT POLE	⋆ LP	STAYWIRE ANCHOR	⊙ SWA

WATER

WATER METER / TAP	M	FIRE HYDRANT	Ⓜ
TAP	Ⓢ	STOP VALVE	⊗ SV
FLUSHING POINT	Ⓢ FP	RETIC VALVE	Ⓢ RV
BORE	⊕	WATER MARKER	Ⓢ W

SEWERAGE

SEWER M/H (SQUARE LID)	Ⓢ	SEWER M/H (ROUND LID)	Ⓢ
INSPECTION SHAFT	○ IS	INSPECTION OPENING	○ IO
HOUSE CONNECTION	○ HC		

TELSTRA

TELSTRA PIT	Ⓢ	TELSTRA MANHOLE	Ⓢ
TELSTRA MARKER	Ⓢ	TELSTRA PILLAR	Ⓢ

DRAINAGE

DRAIN M/H (SQUARE LID)	Ⓢ	DRAIN M/H (ROUND LID)	Ⓢ
SIDE ENTRY PIT	Ⓢ	DRAINAGE GRATE	Ⓢ
COMBINED ENTRY PIT	Ⓢ	DRAINAGE MARKER	Ⓢ

GAS

GAS METER	Ⓢ	GAS VALVE	Ⓢ
GAS MARKER	Ⓢ		

SURVEY MARKS

PEG FOUND	PF	PEG GONE	PG
DRILL HOLE	DH	BENCH MARK	Ⓢ
PEN MARK	PM	NAIL & PLATE	NPL
		NAIL	NAIL

MISCELLANEOUS INFO.

STREET SIGN	Ⓢ	SPOT HEIGHT	Ⓢ
UNKNOWN SERVICE MARKER	Ⓢ	BOLLARD	○ B
OVERHEAD POWER LINE	Ⓢ	SEWER LINE	Ⓢ
FENCE LINE	Ⓢ	WINDOW / OPENING	Ⓢ

SERVICE DETAILS

WATER: A, TBC
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: L
GAS: A, TBC
SEWER: L

SERVICE NOTES

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WITNESS: _____

PLUMBER NOTE:

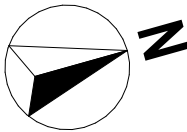
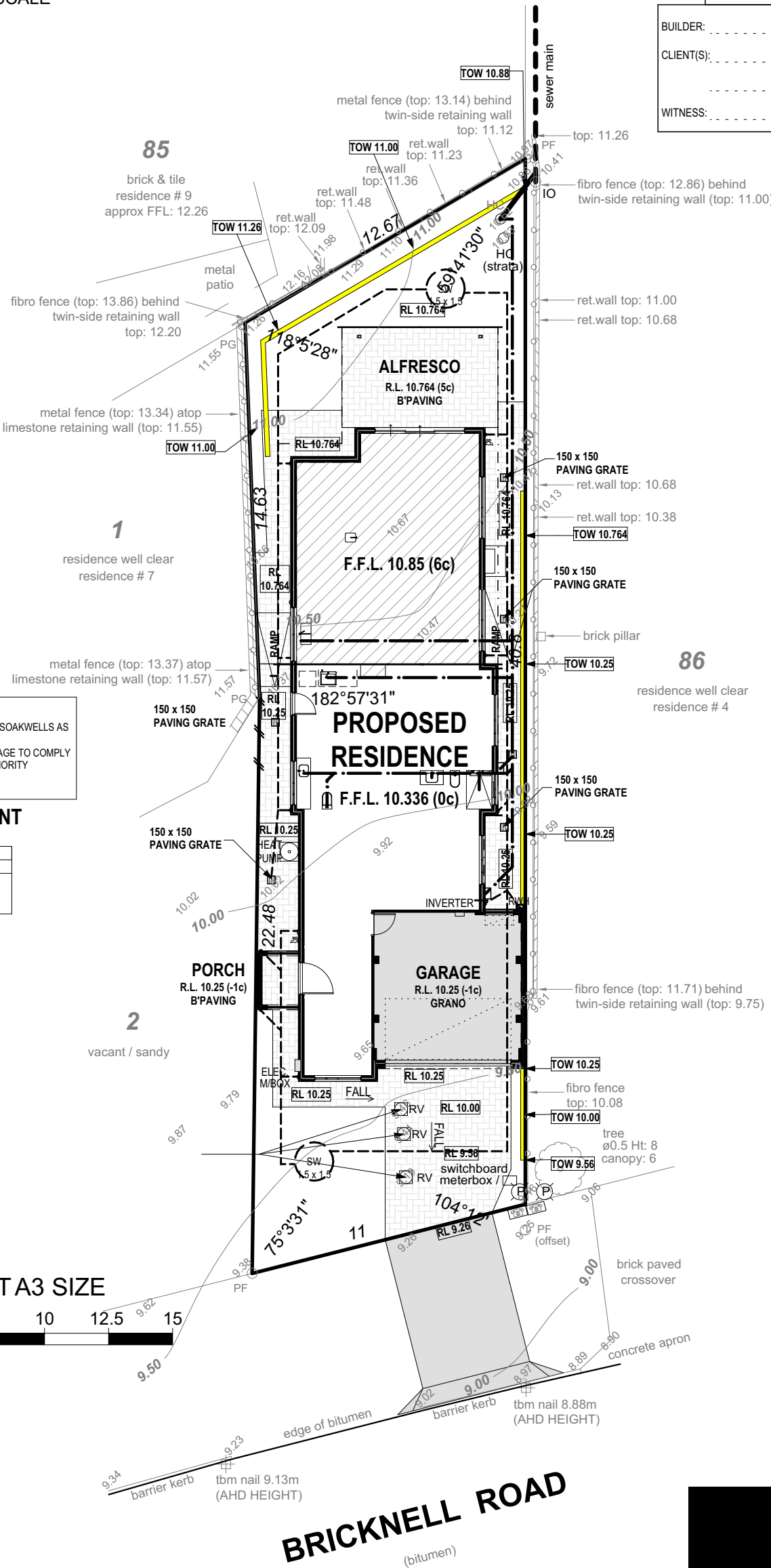
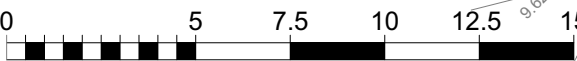
- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1500x1500	2	5.3 m ³
Total Capacity		5.3 m ³
Roof Area GF		134.6 m ²
Paved Area		55.0 m ²
Roof Area UF		147.8 m ²
Total Area		337.4 m ²
Capacity Required (Area x 0.0130)		4.4 m ³
Extra Capacity Provided		0.9 m ³

Capacity Required (Area x 0.0130)
Extra Capacity Provided

SCALE 1:200 AT A3 SIZE



BRICKNELL ROAD
(bitumen)

DRAWN:	EME	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	RC	SHEET:	6 OF 20	V001	EME	31.03.26			
CHECKED:	VWV	SIZE:	A3	CLOG	DMA	20/05/26			
DATE:	09.12.25	DEVELOPMENTS		V005	JH	28/07/26			
MODEL:		JOB N°							
CUSTOM		173703							

ADDRESS:
LOT 3 (#2B) BRICKNELL ROAD
ATTADALE

BUILT AROUND PEOPLE

Document Set ID: 7486001-98
Version: 2, Version Date: 01/08/2026



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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
- 1c SETOUT

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° WL- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- GROUND FLOOR CEILINGS 31c UNLESS NOTED OTHERWISE
- UPPER FLOOR CEILINGS AT 31c + 18mm UNLESS NOTED OTHERWISE

CEILING INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY
EXTERNAL PLASTERBOARD CEILINGS IF APPL.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER
SYSTEM (NO KICK)
- EAVE VENT FOR FLUMING OF NOMINATED EXHAUST FAN, RHOOD OR
CEILING VENT INDICATED ON PLAN BY: 
IF NOT SHOWN REFER TO ELEVATION FOR ROOF OR WALL VENT
LOCATION.

FIXING CARPENTER NOTE

- 4x 450D SHELVES AT 400 INCREMENTS TO PANTRY, BOTTOM
SHELF AT 500 AFL UNO
- 5x 450D SHELVES AT 400 INCREMENTS TO LINEN, BOTTOM
SHELF AT 500 AFL UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. 1700 AFL UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MS" TO ANY SHELF
OVER 1.8m LONG.
- NOTE SKIRTING BOARDS THROUGH TO STUDY, GUEST BEDROOM AND WIR
& THEATRE. EXCEPT TO WET AREAS.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE
NOMINATED BY SUPPLIER
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

ENGINEER NOTE

- NOTE BLOCKOUTS TO DUCTS.
- CONFIRM ROOF BEAMS AND SIZES.

GRANO NOTE

- REFER TO ENGINEER'S CERTIFIED PLANS FOR SLAB THICKENING SPEC.

PLUMBER/GENERAL NOTE

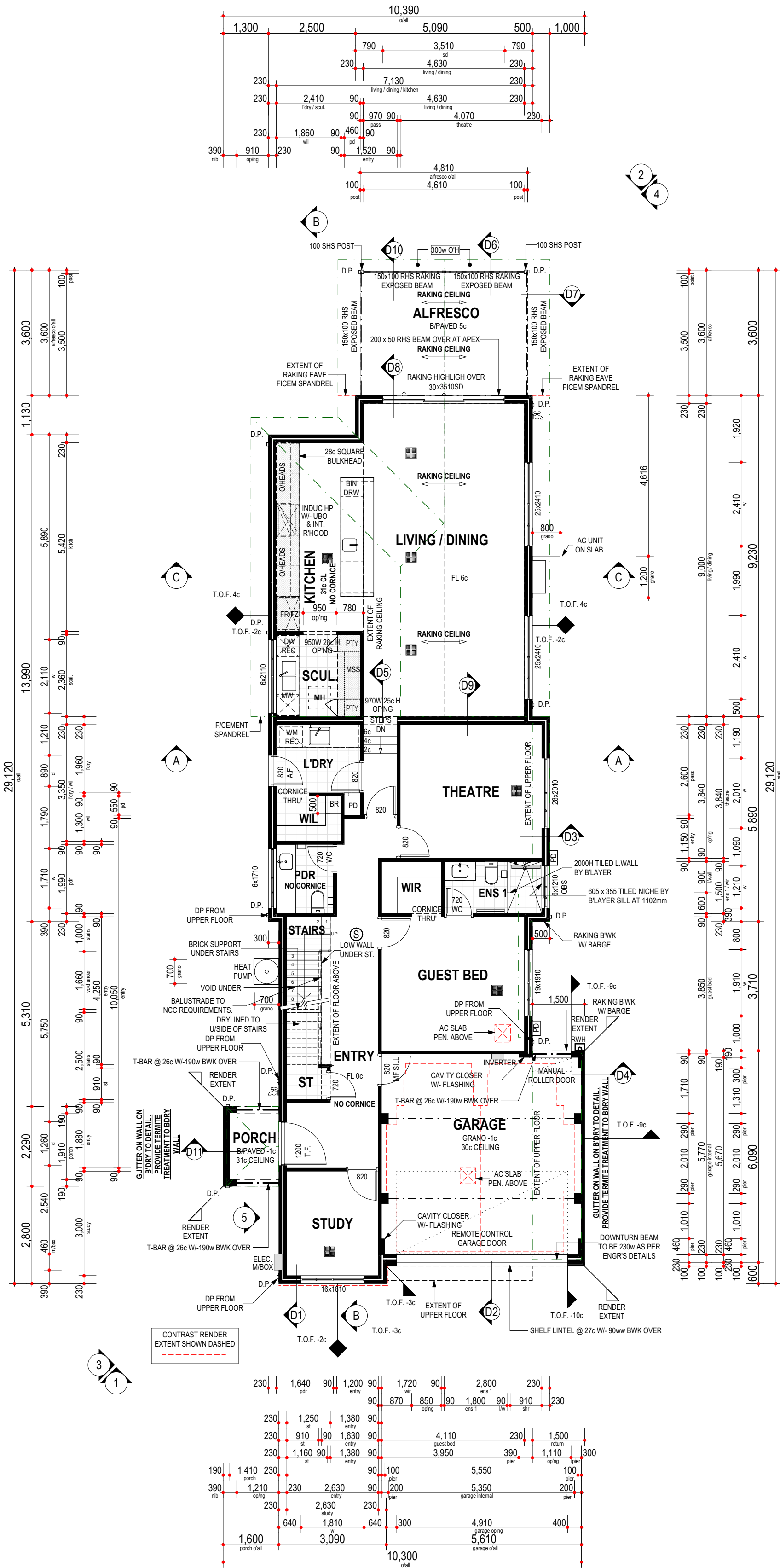
- 2 STOREY FLOOR CONSTRUCTION TO BE SUSPENDED SLAB. REFER TO
ENGINEERS DETAILS & SECTIONS.

CONCRETOR/ENGINEER NOTE

- CONC STAIRS TO HAVE 172 RISERS & 250 GOINGS.

PLASTERER NOTE

- PROVIDE SQUARE SET CEILINGS TO ENTRY PASSAGE & POWDER AS PER
ADDENDA.



FLOOR PLAN

	Area m ²	Perim
FLOOR PLAN	162.12	67.50
GARAGE	35.76	24.06
ALFRESCO	23.75	19.98
PORCH	3.66	7.78
ROOF	225.29 m ²	134.64

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BUILDER: _____
CLIENT(S): _____
WITNESS: _____

ADDRESS:
LOT 3 (#2B) BRICKNELL ROAD
ATTADALE

BUILT AROUND PEOPLE

DRAWN: EME
DESIGNED: RC
CHECKED: WWV
DATE: 09.12.25
MODEL: CUSTOM

SCALE: 1:100
SHEET: 8 OF 20
SIZE: A2
DEVELOPMENTS
JOB N°
173703

Issue Name
V001
CLOG
V005
Drawn
EME
DMA
JH
Date
31.03.26
20/05/26
28/07/26
Issue Name
Drawn
Date

FLOOR PLAN



BRICK NOTE
2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
-1c SETOUT

2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
-1c SETOUT

- **COLORBOND** ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- GROUND FLOOR CEILINGS 31c UNLESS NOTED OTHERWISE
- UPPER FLOOR CEILINGS AT 31c + 18mm UNLESS NOTED OTHERWISE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY
EXTERNAL PLASTERBOARD CEILINGS IF APPL.

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)
- EAVE VENT FOR FLUMING OF NOMINATED EXHAUST FAN, R/HOOD OR CEILING VENT INDICATED ON PLAN BY:
IF NOT SHOWN REFER TO ELEVATION FOR ROOF OR WALL VENT LOCATION.

- 4x 450D SHELVES AT 400 INCREMENTS TO PANTRY. BOTTOM SHELF AT 500 AFL UNO
- 5x 450D SHELVES AT 400 INCREMENTS TO LINEN. BOTTOM SHELF AT 500 AFL UNO
- 450D SHELF & RAIL TO ALL WIR. ROBE & ROBE REC. 1700 AFL UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.
- NOTE SKIRTING BOARDS THROUGH TO STAIRWAY, ACTIVITY, PASSAGE & BEDROOMS 1, 2 AND 3 (INC. ROBES) EXCEPT TO WET AREAS.

- HWU 1 TO SERVICE KITCHEN, L'DRY, SCUL. PDR & BATH
- HWU 2 TO SERVICE ENS 1, ENS 2 & WC

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

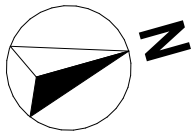
- NOTE BLOCKOUTS TO DUCTS.
- CONFIRM ROOF BEAMS AND SIZES.

-REFER TO ENGINEER'S CERTIFIED PLANS FOR SLAB THICKENING SPEC.

- 2 STOREY FLOOR CONSTRUCTION TO BE SUSPENDED SLAB. REFER TO ENGINEERS DETAILS & SECTIONS.

- CONC STAIRS TO HAVE 172 RISERS & 250 GOINGS

- **STAIR CONSTRUCTION**
STAIRWAY TREADS NON-SLIP TO TABLE 11.2.4 NCC VOL. 2
- **HANDRAIL CONSTRUCTION**
HANDRAILS TO COMPLY W/- CLAUSE 11.3.4 & 11.3.5 NCC VOL. 2
- **PROTECTION OF OPENABLE WINDOWS**
BEDROOM WINDOWS TO COMPLY W/- CLAUSE 11.3.7 NCC VOL. 2

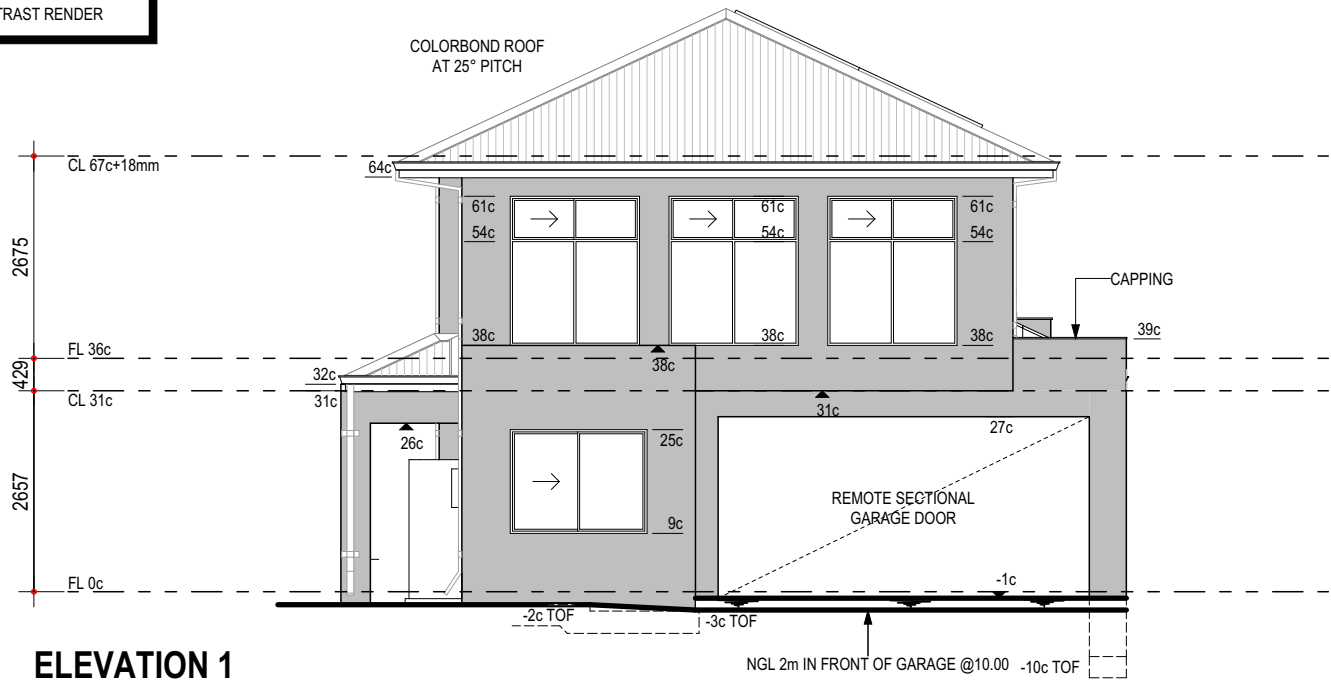


	Area m ²	Perim
UPPER FLR	118.22	48.38
	118.22 m ²	
ROOF	147.76	

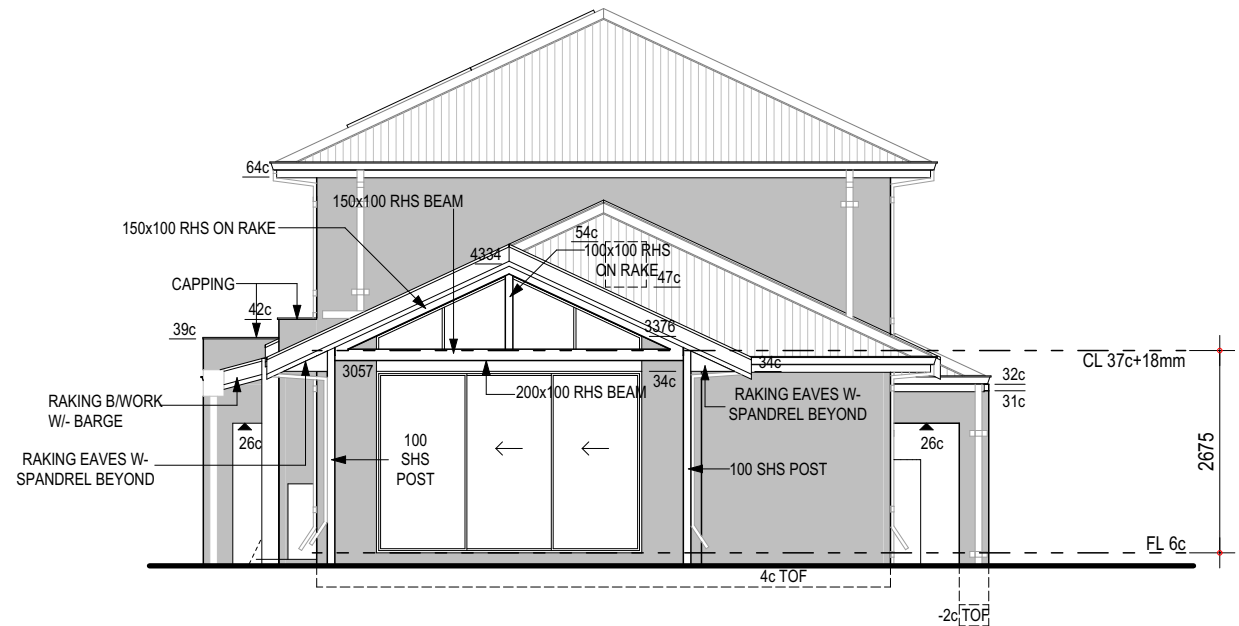
BUILDER: _____ / /
 CLIENT(S): _____ / /
 _____ / /
 WITNESS: _____ / /

BUILT AROUND PEOPLE

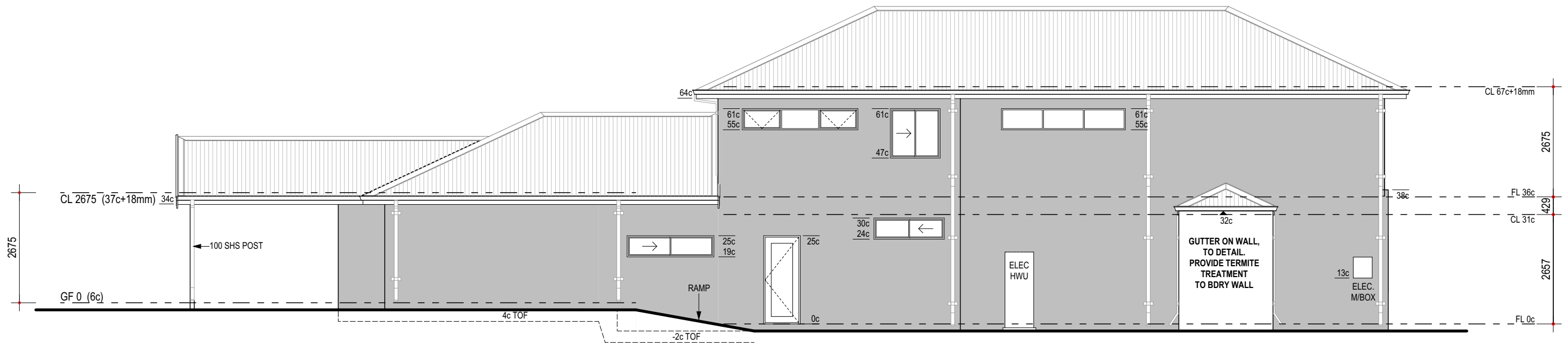
EXTERNAL MATERIALS	
	2c FACE BRICK
	RENDER
	CONTRAST RENDER



ELEVATION 1



ELEVATION 2



ELEVATION 3

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CLIENT(S): / /
WITNESS: / /

ADDRESS:
LOT 3 (#2B) BRICKNELL ROAD
ATTADALE

BUILT AROUND PEOPLE

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DESIGNED: RC
CHECKED: WW
DATE: 09.12.25
MODEL: CUSTOM

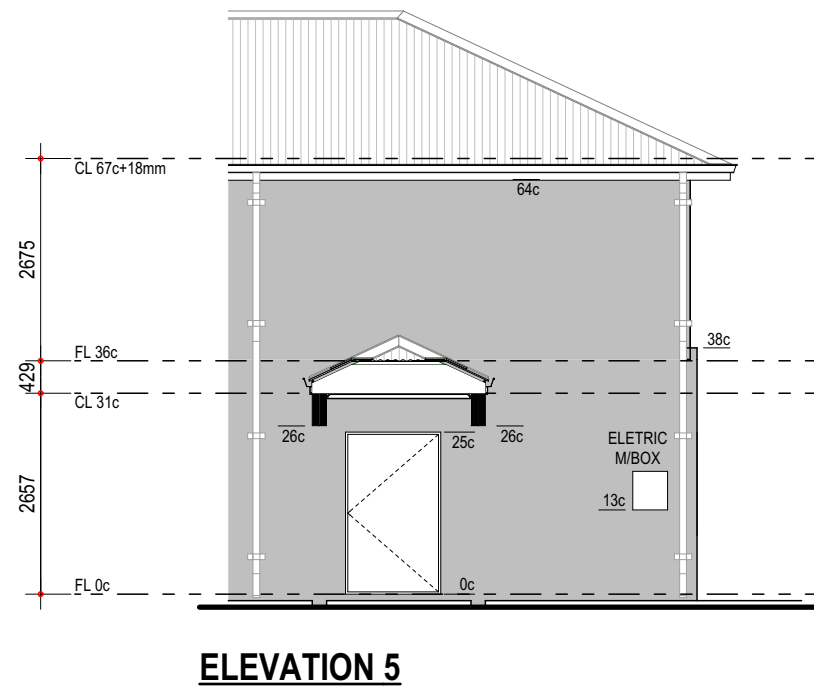
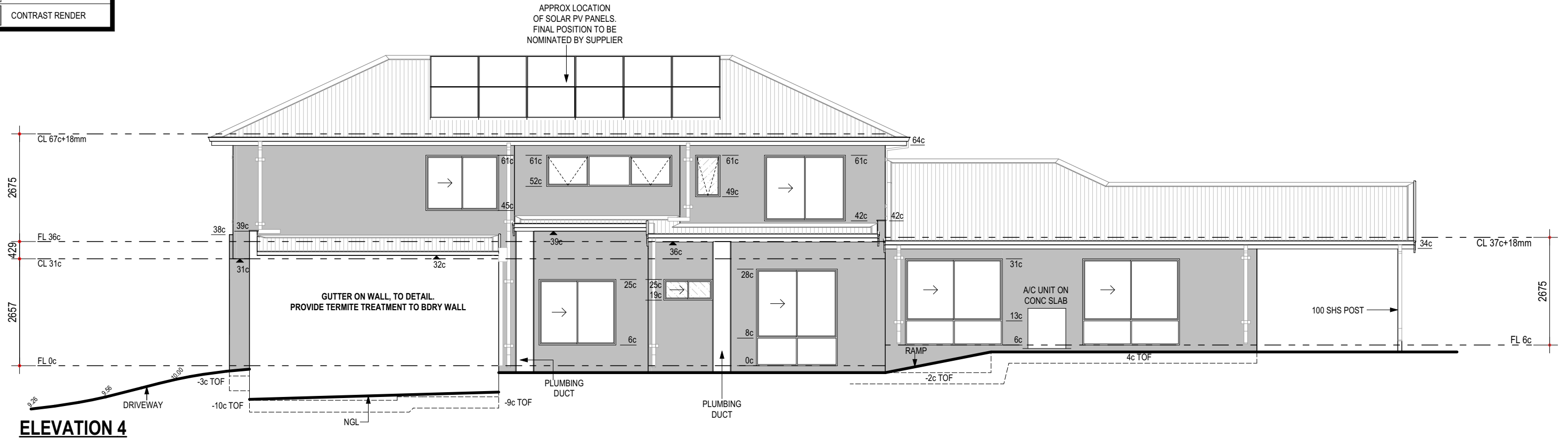
SCALE: 1:100
SHEET: 10 OF 20
SIZE: A3
DEVELOPMENT
JOB N° 173703

Issue Name	Drawn	Date	Issue Name	Drawn	Date
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CLOG	DMA	20/05/26			
V005	JH	28/07/26			

ELEVATIONS



EXTERNAL MATERIALS	
	2c FACE BRICK
	RENDER
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