

LOT MISCLOSE
0.000 m

⊕	POWER DOME
⊕	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE
TG=10.00	TOP GUTTER

DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

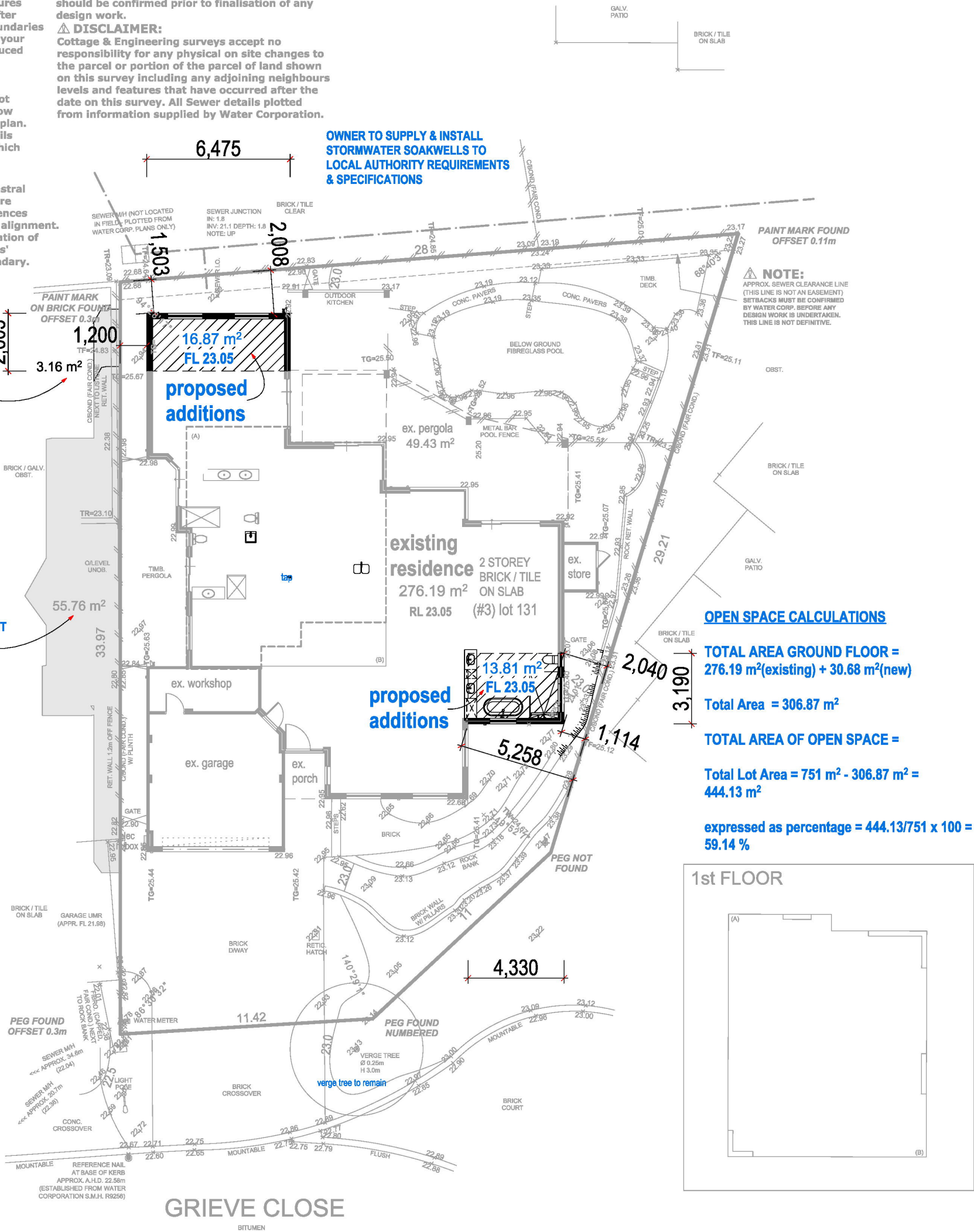
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

OWNER TO SUPPLY & INSTALL
STORMWATER SOAKWELLS TO
LOCAL AUTHORITY REQUIREMENTS
& SPECIFICATIONS

NEW AREA OF SHADOW CAST
FROM EXISTING BUILDING &
PROPOSED ADDITIONS ON
THE 21st OF JUNE @ MIDDAY

EXISTING AREA OF SHADOW CAST
FROM EXISTING BUILDING &
PROPOSED ADDITIONS ON
THE 21st OF JUNE @ MIDDAY

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.



OPEN SPACE CALCULATIONS

TOTAL AREA GROUND FLOOR =
276.19 m²(existing) + 30.68 m²(new)

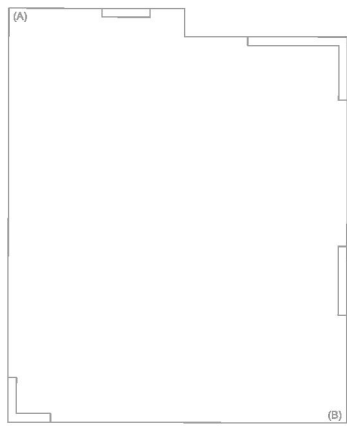
Total Area = 306.87 m²

TOTAL AREA OF OPEN SPACE =

Total Lot Area = 751 m² - 306.87 m² =
444.13 m²

expressed as percentage = 444.13/751 x 100 =
59.14 %

1st FLOOR



Scale 1:200



COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 644152

CLIENT Simon & Suwarni Vichi

ADDRESS #3 Grieve Close

SUBURB Winthrop

LGA CITY OF MELVILLE

DRAWN J. Winston

GPS Lat: -32.047923 Long: 115.829939

ORDER # 174557

LOT Lot 131 (Plan 15316)

AREA 751m²

DATE 21 Apr 26

SSA No

ROADS Bitumen

KERBS Flush / Mountable

FOOTPATH Nil

SOIL Sand

DRAINAGE Good

VEGETATION Light Grass Cover

ELEC. U/Ground

COMMS. Yes

WATER Yes

GAS Check Alinta

SEWER Yes

COASTAL No (Approximate Only Confirm With Shire)

BUILDER: _____

CLIENT(S): _____

ADDRESS: 3 Grieve Close,

DATE: _____

BUILT FOR YOUR LIFESTYLE

PROPOSED RESIDENCE FOR:

DRAWN: PM

DESIGNED: YY

CHECKED: NAC

DATE: 13/05/26

LAST OPENED: 18/05/2026

LAST EDITED BY: parkerm

SCALE: 1:200

SHEET: 7 OF 7

SIZE: A3

RENOVATIONS

JOB NO:

174557

SITE PLAN

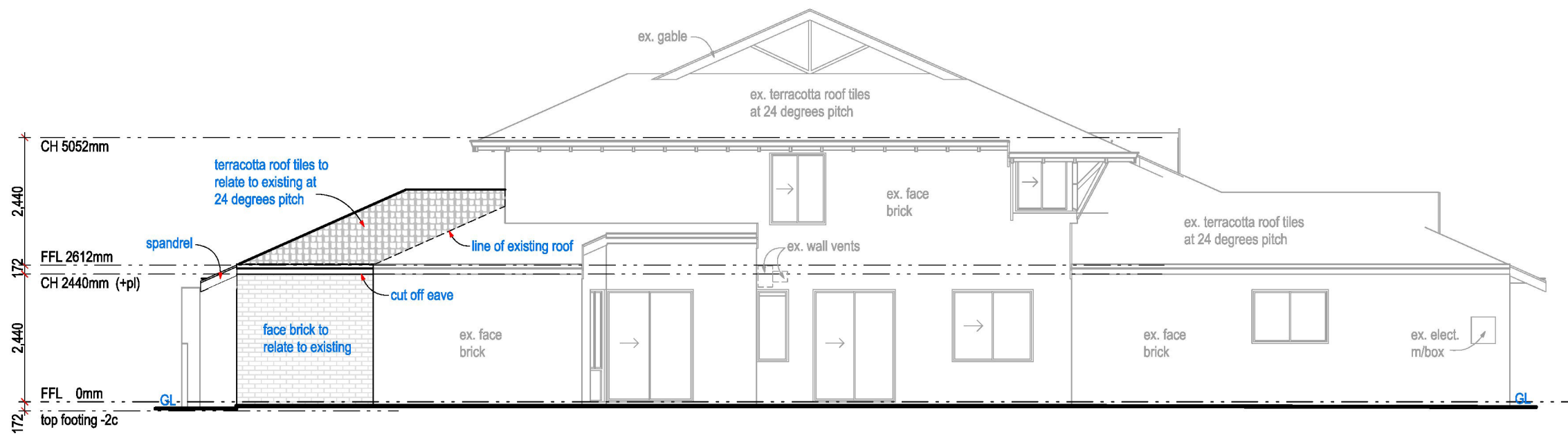


SUMMIT
RENOVATIONS

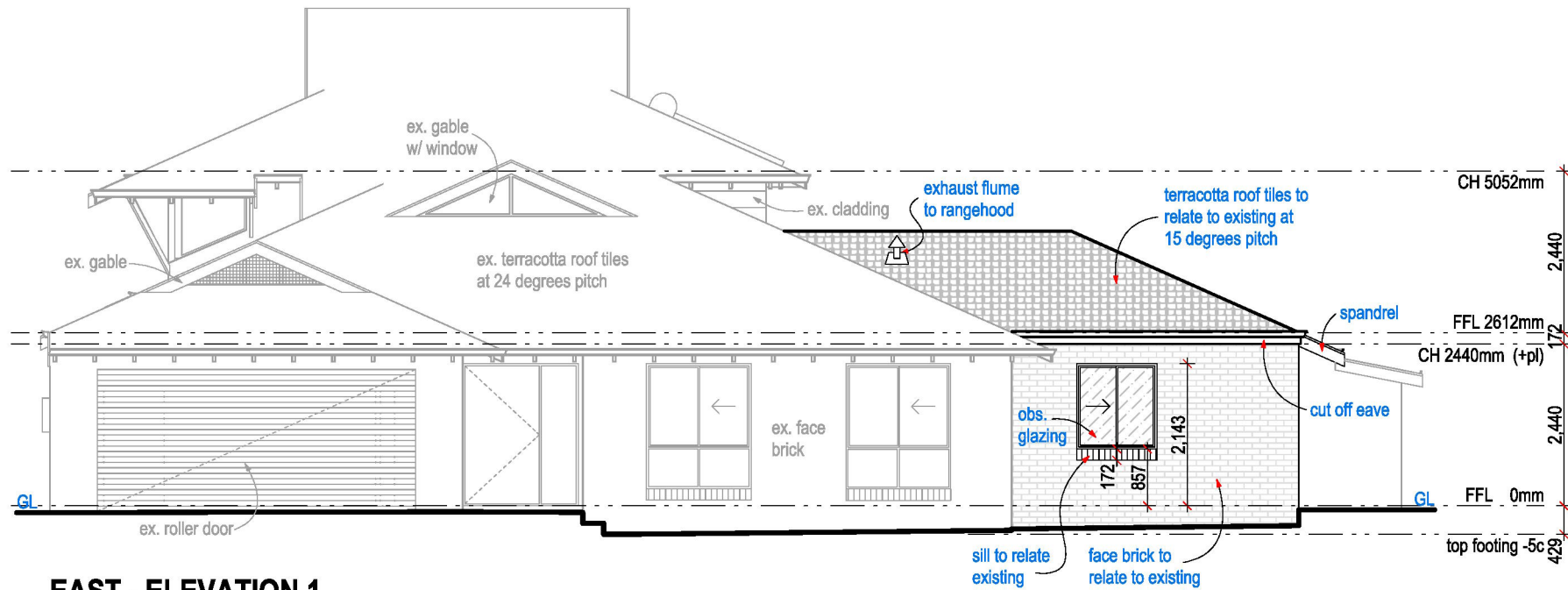
Copyright © 2026

Print Date: 8 June 2026, 5:08 pm

This information is provided from TechnologyOne ECM



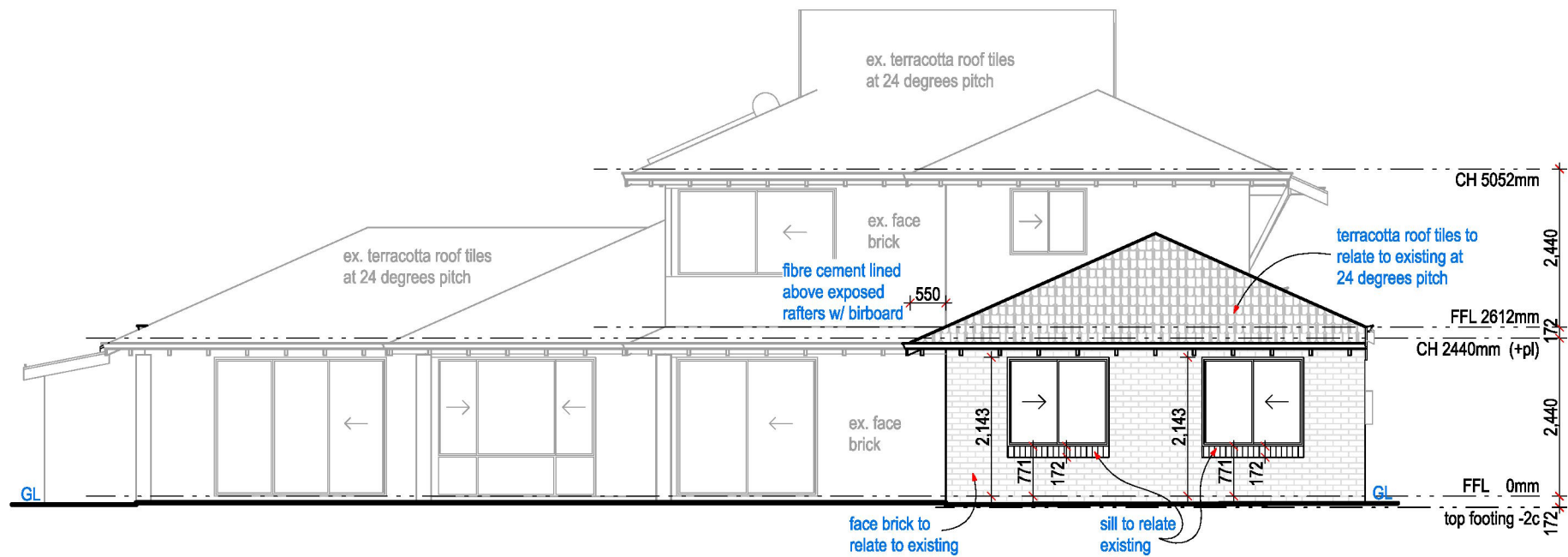
SOUTH - ELEVATION 2



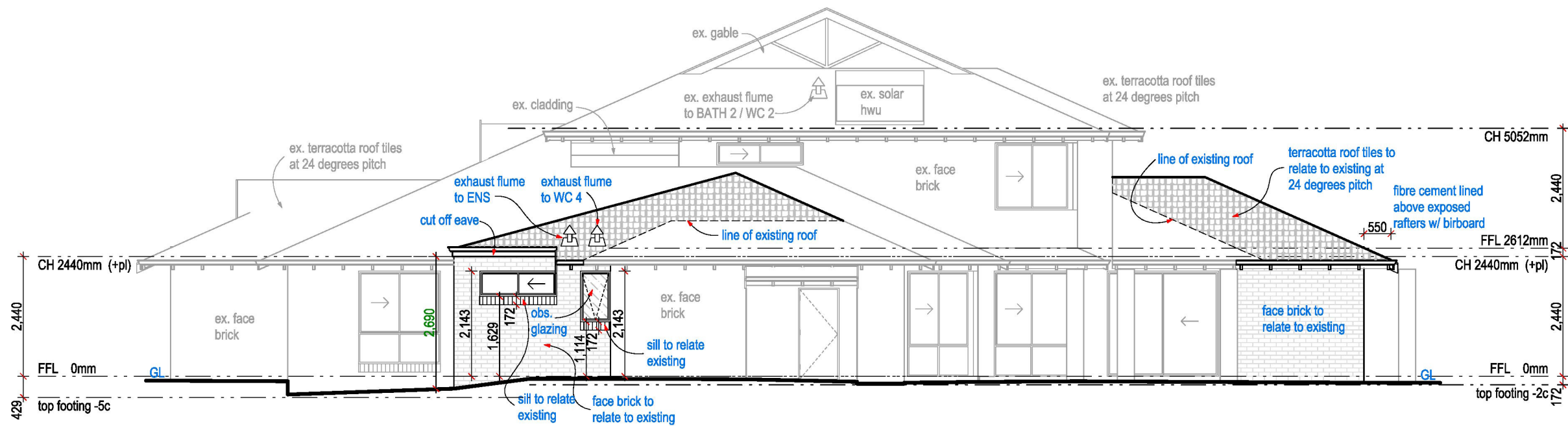
EAST - ELEVATION 1

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

 SUMMIT RENOVATIONS		Print Date: 8 June 2026, 5:08 pm	
BUILDER: _____		PROPOSED RESIDENCE FOR: _____	
CLIENT(S): _____		ADDRESS: 3 Grieve Close, WINTHROP, 6150	
DATE: _____		DATE: 13/05/26	
DRAWN: PM		SCALE: 1:100	
DESIGNED: YY		SHEET: 5 OF 7	
CHECKED: NAC		SIZE: A3	
DATE: 13/05/26		RENOVATIONS	
LAST OPENED: 18/05/2026		JOB NO: 174557	
LAST EDITED BY: parkerm		ELEVATIONS 1 & 2	
Copyright © 2026		Copyright © 2026	



WEST - ELEVATION 3



NORTH - ELEVATION 4

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

Drawn	VO	Drawn	Date
01	PM		13/05/26

SCALE: 1:100	
SHEET: 6 OF 7	
SIZE: A3	
CHECKED: NAC	
DATE: 13/05/26	RENOVATIONS
LAST OPENED: 18/05/2026	JOB NO:
LAST EDITED BY: parkerm	174557

ELEVATIONS 3 & 4

Proposed Residence For:	3 Grieve Close, WINTHROP, 6150
Address:	3 Grieve Close, WINTHROP, 6150
Client(s):	
Date:	