

PROPOSED MULTI-STOREY RESIDENTIAL ADDITIONS & ALTERATIONS AT :
LOT 4 / #8B RESERVE STREET, BICTON W.A. 6157

REVISED & RE-ISSUED FOR PLANNING APPROVAL
REVISION E / SEPTEMBER 2026

LEGEND	
	NEW 230mm CAVITY & 90mm SINGLE LEAF BRICKWORK (U.N.O.) AS PER S.E. DWGS, A.S. 3700, & BCA REQ'S.
	NEW 90mm TIMBER STUD FRAMING AS PER S.E. DWGS, A.S. 1684 & 1720.1, & BCA REQ'S.
	EXISTING TIMBER STUD FRAMING
	EXISTING STRUCTURES TO BE REMOVED
	EXISTING 270mm CAVITY & 90mm SINGLE LEAF BRICKWORK
	NEW OBSCURE GLAZED WINDOWS
	NEW CLEAR GLAZED WINDOWS / DOORS
	SMOKE ALARMS HARDWired & INTERLINKED IN ACCORDANCE W/ A.S. 3786
T.B.R. =	TO BE REMOVED
T.M.E. =	TO MATCH EXISTING
U.F. =	UNDERCROFT FLOOR LEVEL
B.F. =	BASEMENT FLOOR LEVEL
G.F. =	GROUND FLOOR LEVEL
F.F. =	FIRST FLOOR LEVEL
F.F.L. =	FINISHED FLOOR LEVEL
F.S.L. =	FINISHED SLAB LEVEL
A.F.L. =	ABOVE FLOOR LEVEL
C.O.S. =	CHECK/CONFIRM ON SITE
M.R. =	MAIN RESIDENCE (ORIGINAL PART OF HOUSE)
WR =	WALK IN ROBES – AS SPECIFIED.
WP =	WALK IN PANTRY – AS SPECIFIED.
S/D =	SLIDING DOOR
C.S.D. =	CAVITY SLIDING DOOR
W. =	WINDOW
D. =	DOOR
CA. =	CARPET
B/F =	BI-FOLD DOOR
A. =	AWNING WINDOW
SL. =	SLIDING WINDOW
C. =	CASEMENT WINDOW
HL. =	HIGHLIGHT WINDOW
D.H. =	DOUBLE HUNG WINDOW
AN. =	DOUBLE HUNG SASHLESS WINDOW 'ANEETA'
F. =	FIXED GLAZING
D.P. =	100x50 COLORBOND DOWN PIPE
SP =	100x50 COLORBOND DOWN PIPE & SPREADER
P.F. =	PAINT FINISH

EXTERNAL FINISHES SCHEDULE	
EF01	NEW 3-COAT ACRYLIC RENDERING OVER NEW BRICKWORK IN ACCORDANCE WITH MANUFACTURER'S, NCC, S.E. DWGS, & A.S. 3700 REQ'S.. (COLOUR AS SELECTED). RENDERED FINISH TO EXPOSED WALL ABOVE PROPOSED G.L. ONLY. (C.O.S. W/ EX. ADJACENT WALL FINISHES).
EF02	NEW 3-COAT ACRYLIC RENDERING OVER EX. BRICKWORK IN ACCORDANCE WITH MANUFACTURER'S, & NCC REQ'S.. (COLOUR AS SELECTED). RENDERED FINISH TO EXPOSED WALL ABOVE PROPOSED G.L. ONLY. (C.O.S. W/ EX. ADJACENT WALL FINISHES).
EF03	NEW 3-COAT ACRYLIC RENDERING OVER 7.5mm THICK 'HARDITEX' (OR EQUIV.) FC SHEETING & NEW (& EX. AS PER PLAN) TIMBER STUD WALL FRAMING IN ACCORDANCE WITH MANUFACTURER'S, NCC, S.E. DWGS, & A.S. 1684, 1720.1, REQ'S. (COLOUR AS SELECTED). RENDERED FINISH TO EXPOSED WALL ABOVE PROPOSED G.L. ONLY.
EF04	NEW COLORBOND 'KUP-LOK CLASSIC 700' (0.48BMT)(OR EQUIV.) ROOF SHEETING (COLOUR AS SELECTED) @ 1' (U.N.O.), OVER 'TYPE 1' INSULATION & NEW TIMBER ROOF FRAMING IN ACCORDANCE WITH MANUFACTURER'S, NCC, S.E. DWGS, & A.S. 1684, 1720.1, 3500.3, & REQ'S.
EF05	NEW P.F. STEEL COLUMNS (COLOUR AS SELECTED), AS PER S.E. DWGS & NCC REQ'S.
EF06	NEW POWDERCOATED ALUMINIUM DOOR & WINDOW FRAMING (U.N.O.) AND GLAZING AS PER DOOR & WINDOW SCHEDULE, ENERGY EFFICIENCY REPORT AND A.S. & NCC REQ'S. (COLOUR AS SELECTED)
EF07	NEW COLORBOND EDGE CAPPING FLASHING OVER P.F. TREATED TIMBER BARGEBOARD (COLOURS AS SELECTED).
EF08	NEW COLOURBOND QUARTER ROUND EAVES GUTTER & P.F. TREATED TIMBER FASCIA (COLOURS AS SELECTED).
EF09	NEW P.F. 4.5mm HARDIFLEX RAKING SOFFIT LINING, FIXED TO TIMBER RAFTERS – PROVIDE ADDITIONAL TIMBER TRIMMERS WITHIN ROOF FRAME AS REQ'D, W/ PVC JOINTING STRIPS, AS PER MANUFACTURERS SPECI., & NCC REQ'S. P.F. TREATED TIMBER TRIMS TO SURROUNDS AS REQ'D/ SELECTED (COLOUR AS SELECTED).
EF10	NEW POURED GRANO CONC SLAB (COLOUR & FINISH AS SELECTED).
EF11	EX. ZINCALUME CORRUGATED ROOF SHEETING OVER EX. TIMBER ROOF FRAMING, @ APPROX. 32.5° PITCH (C.O.S.).
EF12	EX. POWDERCOATED ALUMINIUM DOOR & WINDOW FRAMING FRAMING.
EF13	EX. PAINTED SAND FINISH RENDER OVER EX. BRICKWORK.
EF14	EX. P.F. FC (ASSUMED) SHEET W/ COVER BATTENS, WALL CLADDING OVER EX. TIMBER STUD WALL FRAMING.
EF15	NEW TILED FINISH (AS SELECTED) SUSPENDED CONC SLAB AS PER S.E. DWGS & NCC REQ'S.
EF16	NEW 1200H METAL BLADE POOL FENCING & GATES (AS SELECTED) & IN STRICT ACCORDANCE W/ A.S. 1926 & NCC REQ'S.
EF17	NEW METAL BLADE STAIR & BALCONY BALUSTRADING (AS SELECTED). HEIGHTS AS SELECTED & IN STRICT ACCORDANCE NCC REQ'S.
EF18	P.F. STEEL EXTERNAL STAIRCASE AS PER S.E. DWGS & NCC REQ'S.

DRAWING SCHEDULE		
DWG. NO.	DWG. TITLE	DWG. REVISION
A000	COVER PAGE & DRAWING SCHEDULE	E
A100	PROPOSED SITE PLAN	E
A200	PROPOSED UNDERCROFT FLOOR PLAN	D
A201	BASEMENT FLOOR DEMOLITION PLAN	E
A202	PROPOSED BASEMENT FLOOR PLAN	E
A203	GROUND FLOOR DEMOLITION PLAN	D
A204	PROPOSED GROUND FLOOR PLAN	E
A205	FIRST FLOOR DEMOLITION PLAN	D
A206	PROPOSED FIRST FLOOR PLAN	E
A300	EXISTING FRONT & REAR ELEVATIONS	D
A301	EXISTING SIDE ELEVATIONS	D
A302	PROPOSED FRONT & REAR ELEVATIONS	E
A303	PROPOSED SIDE ELEVATIONS	E

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- THE BUILDER IS TO CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL BUILDING WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA, LOCAL & REGULATORY AUTHORITIES.
- ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT CONSULTANTS DRAWINGS.
- DOWNPIPE LOCATIONS SHOWN ARE PREFERRED, IF THEY MUST VARY CONSULT WITH BUILDER & OWNER FIRST. QUANTS ARE INDICATIVE ONLY AND MAY VARY TO SUIT THE ROOF PLUMBER'S REQUIREMENTS.
- UNLESS A BUILDING ELEMENT, MATERIAL, FITTING OR FIXTURE IS NOTED AS BEING EXISTING, IT IS TO BE ASSUMED AS BEING NEW.

Sandtracks

DESIGN

UNIT 3 / #86 FORSYTH STREET | O'CONNOR | W.A. | 6163
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NOTES MUST BE READ IN CONJUNCTION
WITH ALL ARCHITECTURAL DWGS.

PRELIMINARY ONLY

TERMITE NOTE:

TERMITE TREATMENT TO BE COMPLIED WITH,
AS PER BCA/NCC 2022 VOLUME 2, PART 3.4
& A.S. 3660, INCLUDING BOUNDARY TREATMENT

WET AREAS NOTE:

WET AREAS TO BE CONSTRUCTED AS
PER BCA/NCC PART 10.2 & A.S. 3740

E	01/09/26	REVISED & RE-ISSUED FOR PLANNING APPROVAL
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REV	DATE	DESCRIPTION
PROJECT : PROPOSED MULTI-STOREY RENOVATION AT : LOT 4 / #8B RESERVE STREET BICTON W.A. 6157		
TITLE : PROPOSED COVER PAGE & DRAWING SCHEDULE		
DATE : 01/09/26		DRAWING No. : A000
JN : 26.00 FH-RESERVEST		SCALE : N/A
		PAGE SIZE : A2
		REV. : E

NOTE: ALL DRAWINGS TO BE READ IN
CONJUNCTION WITH NOTES ON DRAWING A000

PRELIMINARY ONLY

DATE : 01/09/26

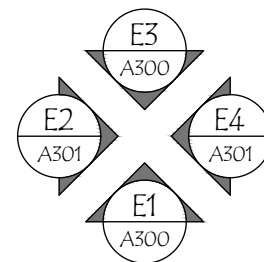
JN : 26.00 | FH-RESERVEST

SCALE :
1:200

PAGE SIZE :
A2

DRAWING No. :
A100 E

REV. :



OVERSHADOWING NOTE:
NO NEW OVERSHADOWING OF NEIGHBOURING
PROPERTY CAUSED BY PROPOSED WORKS

STREET SETBACK AREA LANDSCAPING
TOTAL STREET SETBACK AREAS 125.44 m²
EXISTING LANDSCAPED AREA (57.05%) 71.57 m²
EXISTING IMPERVIOUS AREA (42.95%) 53.87 m²
NO PROPOSED CHANGES TO STREET SETBACK AREAS.

EX. DECKING AREA T.B.R. TO RE-INSTATE
EX. COURTYARD SURFACE BELOW
(GREEN HATCHED EXTENTS)
EX. DECK @ R.L. 33.950
RE-INSTATED EX. COURTYARD @ R.L. 32.270

SEE RELATIVE FLOOR PLANS FOR FULL
DETAIL OF ALL OUTDOOR AREA WORKS

EX. G.F. INTERNAL LIVING AREA REMOVED
TO BECOME G.F. OUTDOOR LIVING AREA
(RED HATCHED EXTENTS)
F.P.L. @ R.L. 33.940 (T.M.E.)

BLUE CROSS HATCHED EXTENT OF
EXISTING DWELLING OVERSHADOWING
EXTENTS = 86.27m² (16.40%)
(NO ADDITIONAL SHADOWING APPLIES)

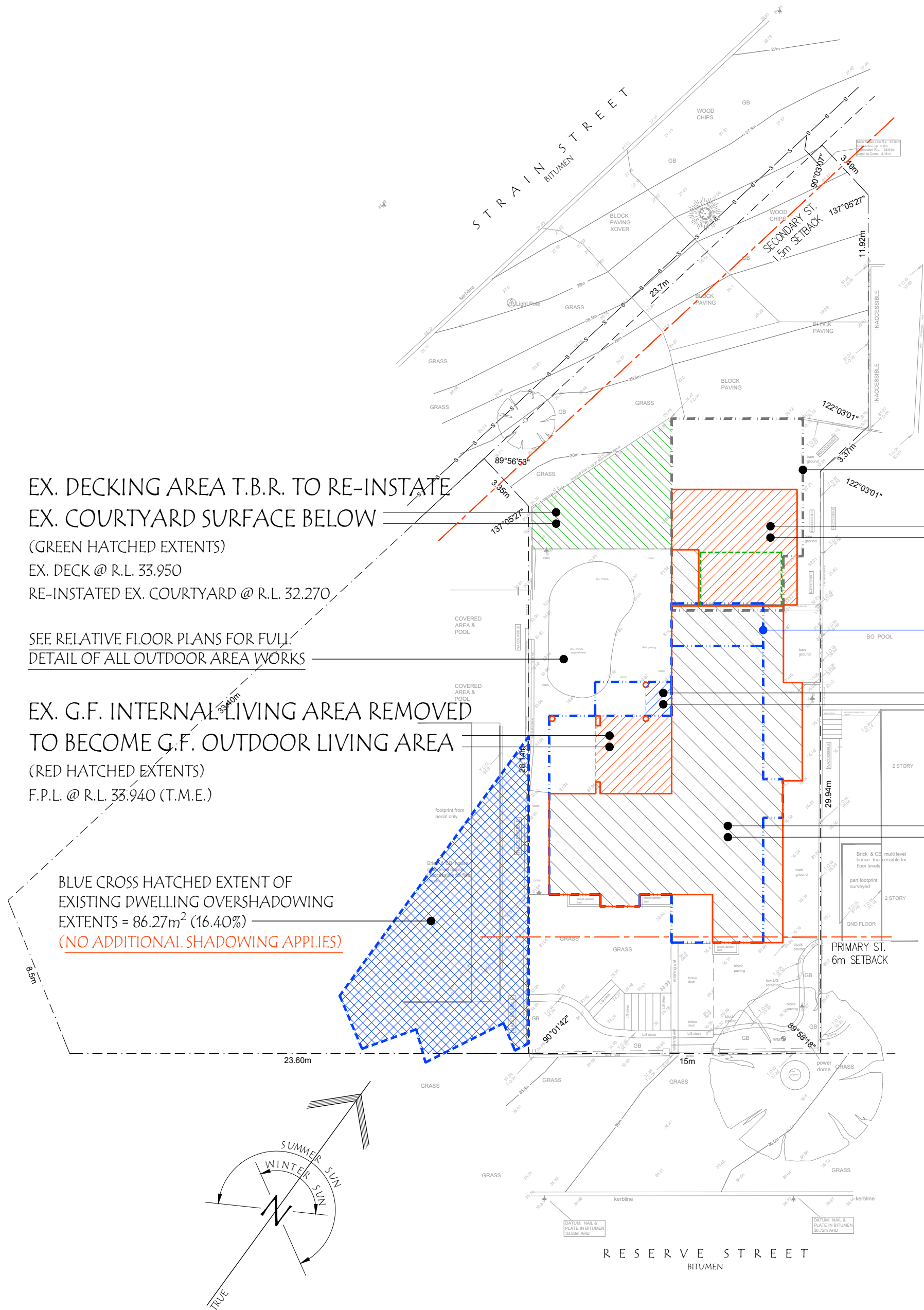
GREY DASHED EXTENTS OF EX.
BASEMENT & UNDERCROFT FLOORS

EXTENSION OF EX. G.F. BALCONY
(RED HATCHED EXTENTS)
F.S.L. R.L. 35.280 (EX. EXTENTS GREEN DASHED)

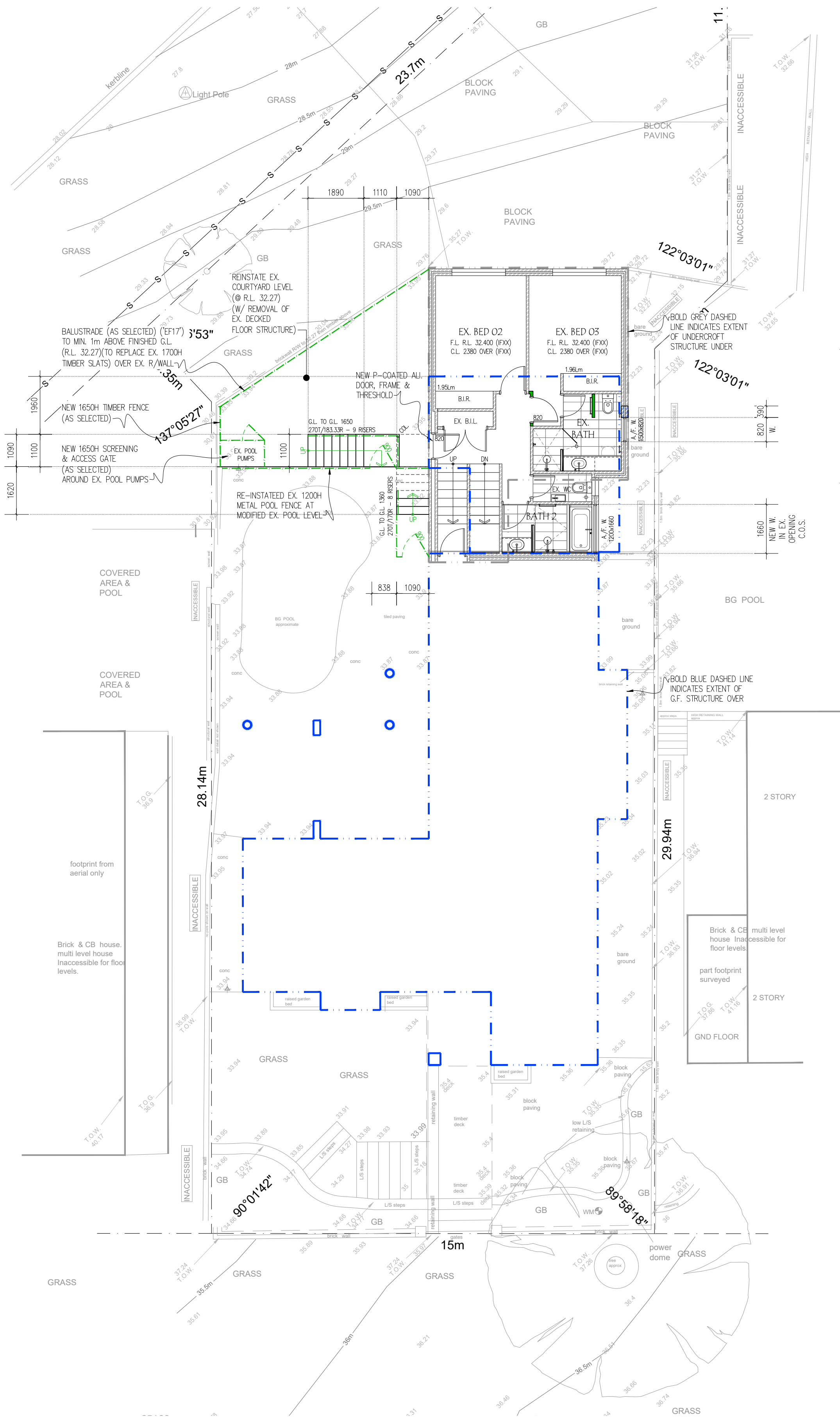
BLUE DASHED O/A EXTENTS
OF EX. F.F. STRUCTURE

EXTENSION OF EX. F.F. BALCONY
(BLUE HATCHED EXTENTS)
F.S.L. T.M.E.
(ENCAPSULATING EX. INTERNAL AREA)

EXISTING
MULTI-STOREY RESIDENCE
U.F. F.L. R.L. 29.800
B.F. F.L. R.L. 32.400
LOWER G.F. F.L. R.L. 34.000
MAIN G.F. F.L. R.L. 35.400
LOWER F.F. F.L. R.L. 36.900
MAIN F.F. F.L. R.L. 38.300



PROPOSED
SITE PLAN
SCALE 1:200

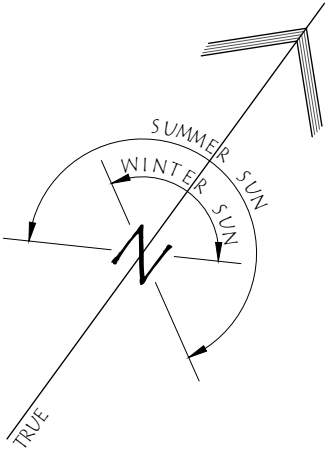
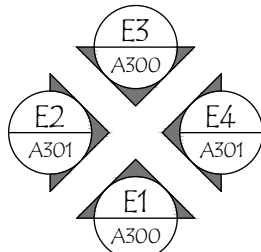


RE-FIT OF EX. BATH NOTES:

- FIXED SHR SCREEN OVER 943mm HIGH TILED BWK NIB. 700mm WIDE SHR SCREEN DOOR. FALLS TO EX. SHR WASTE. T.B.C. ON-SITE WHETHER SHR HOB IS STILL REQUIRED, TO ACHIEVE ADEQUATE FALLS.
- TILED (TO SELECTED EXTENTS) FULL HEIGHT STUD FRAMED SCREEN WALL ADJACENT TO NEW WC.
- NEW WINDOW IN ADJUSTED SIZE EXISTING OPENING, TO ALIGN WITH NEW WC SCREEN WALL.

NEW BATH 2 NOTES:

- FIXED SHR SCREEN OVER 943mm HIGH TILED BWK NIB. 700mm WIDE CLEAR OPENING INTO SHR. FALLS TO NEW LINEAR STRIP DRAIN AT BASE OF NEW TILED BATH HOB. NEW BATH TO BE SELECTED TO SUIT APPROX. EX. (RAW) ROOM WIDTH 1620mm (C.O.S.).
- NEW WINDOW TO EXISTING OPENING.
- SHOWER HEAD TO BE 1500mm FROM EXTERNAL WALL (& WINDOW).



PROPOSED BASEMENT FLOOR PLAN
SCALE 1:100

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PRELIMINARY ONLY

E	01/09/26	REVISED & RE-ISSUED FOR PLANNING APPROVAL
D	23/07/26	ISSUED FOR PLANNING APPROVAL
C	14/07/26	FINALISED CONCEPT DESIGN ISSUED FOR CLIENT COMMENT
REV	DATE	DESCRIPTION

PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157

TITLE : PROPOSED BASEMENT FLOOR PLAN

DATE : 01/09/26

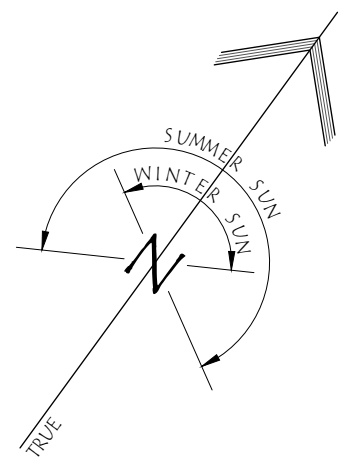
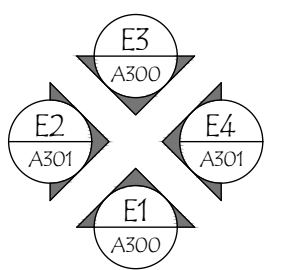
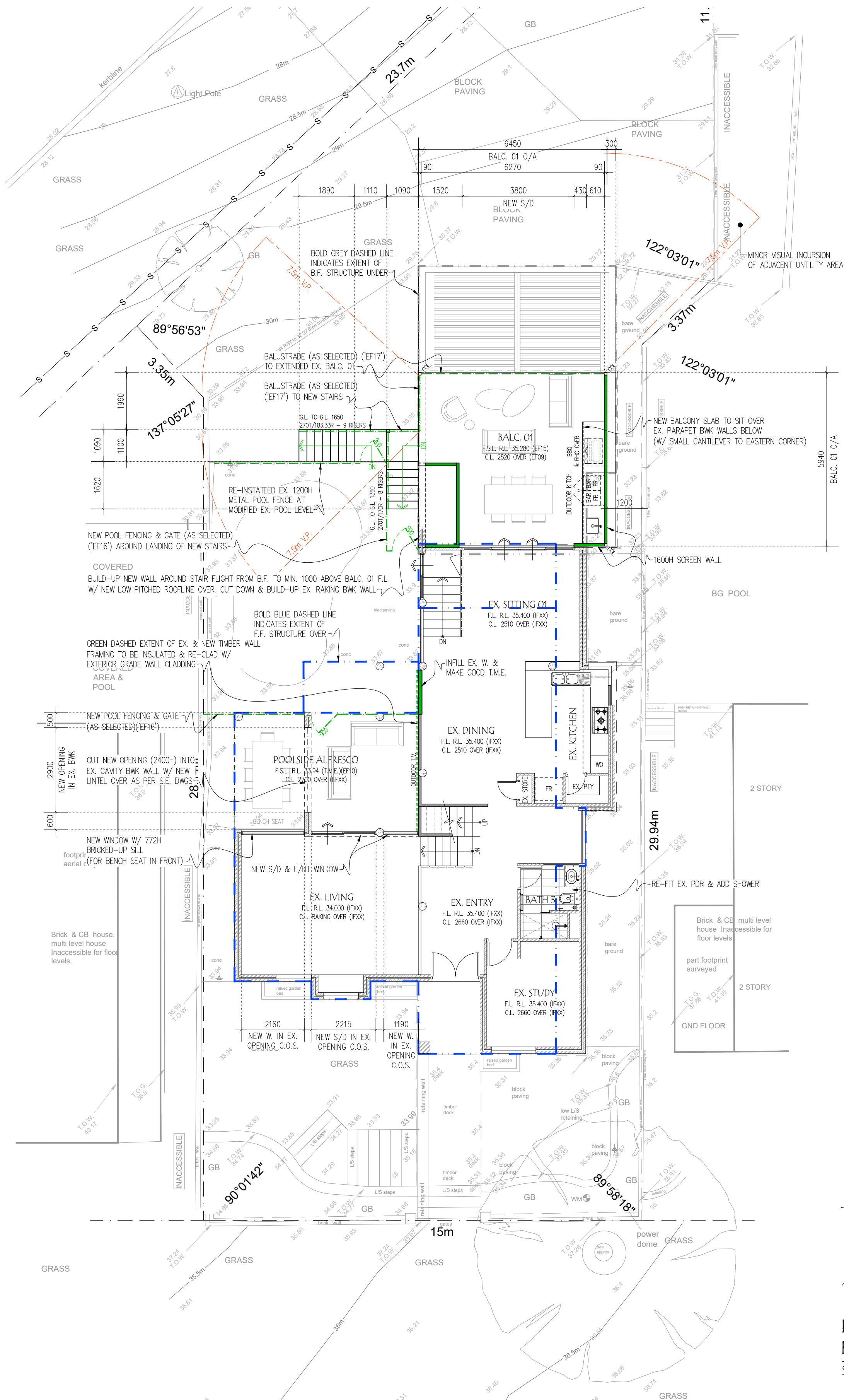
JN : 26.00 | FH-RESERVE

SCALE :
1:100

PAGE SIZE :
A2

DRAWING No. :
A202 E

REV. :



PROPOSED GROUND FLOOR PLAN
SCALE 1:100

NOTE: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING A000

E	01/09/26	REVISED & RE-ISSUED FOR PLANNING APPROVAL
D	23/07/26	ISSUED FOR PLANNING APPROVAL
C	14/07/26	FINALISED CONCEPT DESIGN ISSUED FOR CLIENT COMMENT
REV	DATE	DESCRIPTION

PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157

TITLE : PROPOSED GROUND FLOOR PLAN

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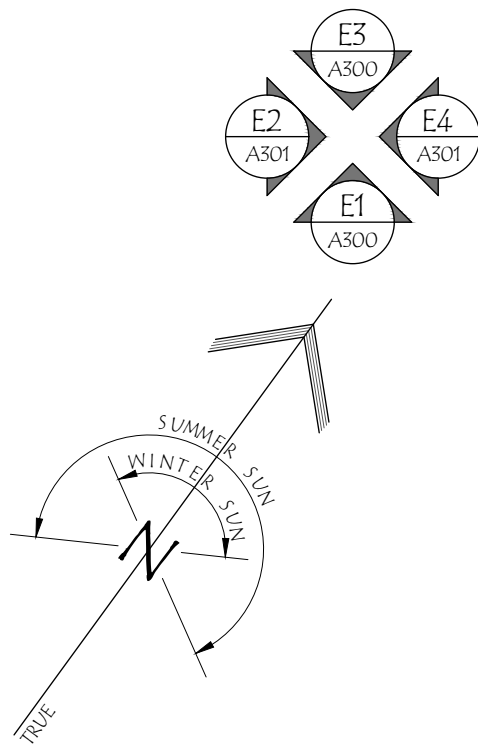
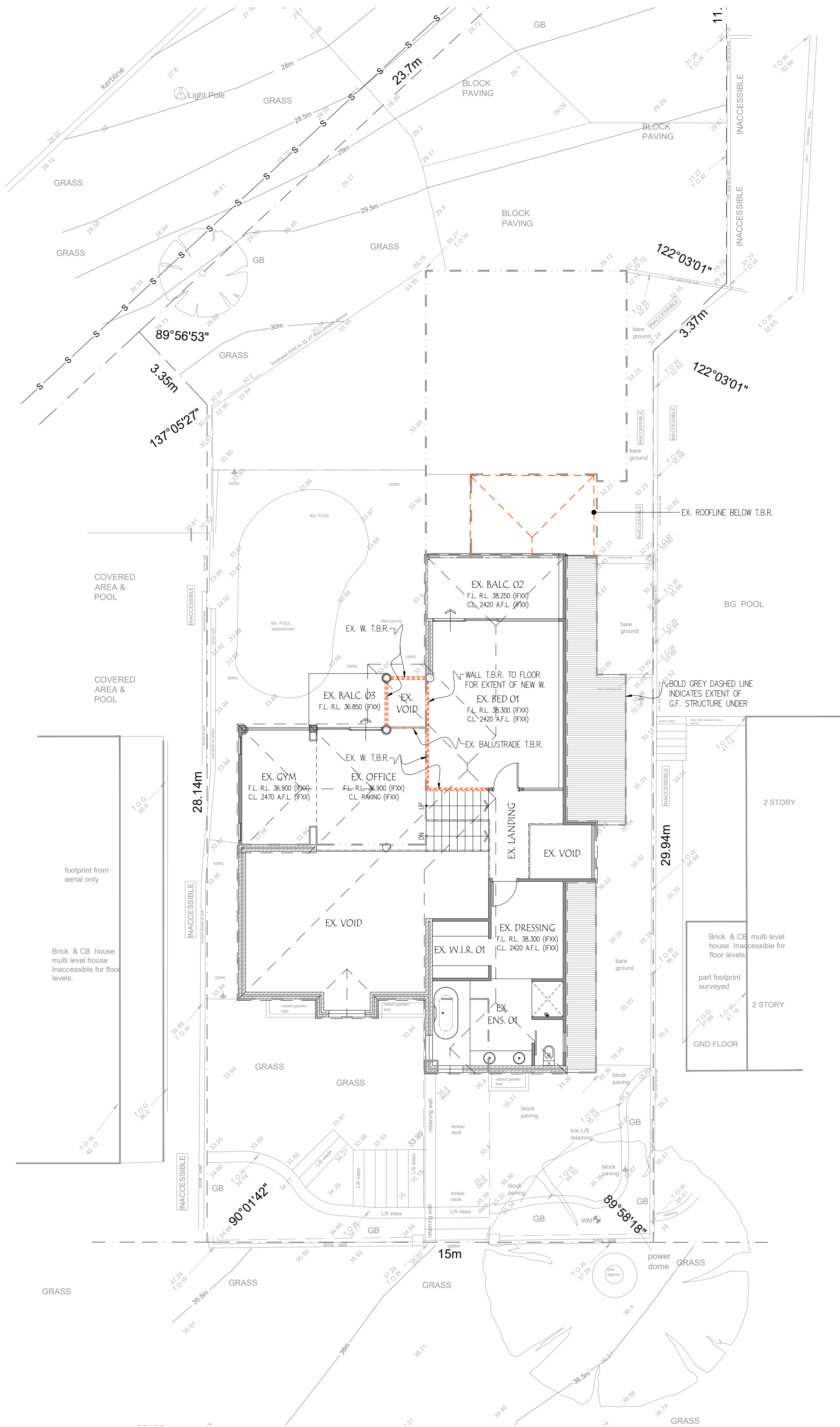
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JN : 26.001 FH-RESERVEST

SCALE : 1:100

PAGE SIZE : A2

DRAWING No. : A204
REV. : E



FIRST FLOOR
DEMOLITION PLAN
SCALE 1:100

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D	23/07/26	ISSUED FOR PLANNING APPROVAL
C	14/07/26	FINALISED CONCEPT DESIGN ISSUED FOR CLIENT COMMENT
B	13/05/26	CONCEPT DESIGN ISSUED FOR CLIENT COMMENT
REV	DATE	DESCRIPTION

PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157

TITLE : FIRST FLOOR DEMOLITION PLAN

DATE : 23/07/26

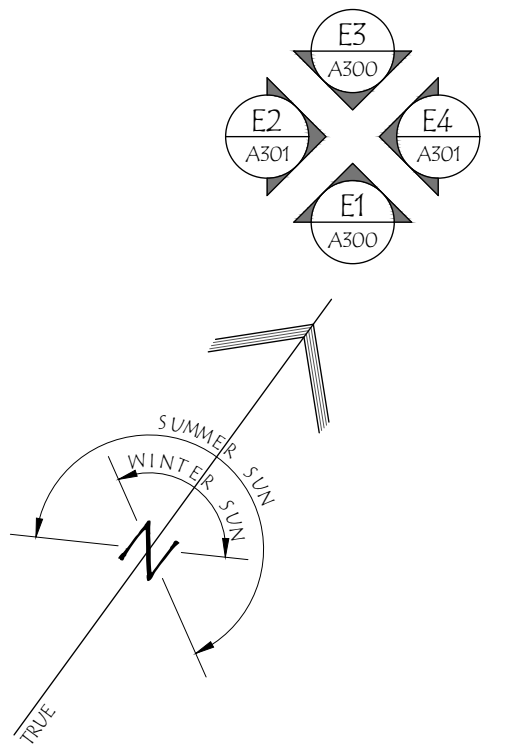
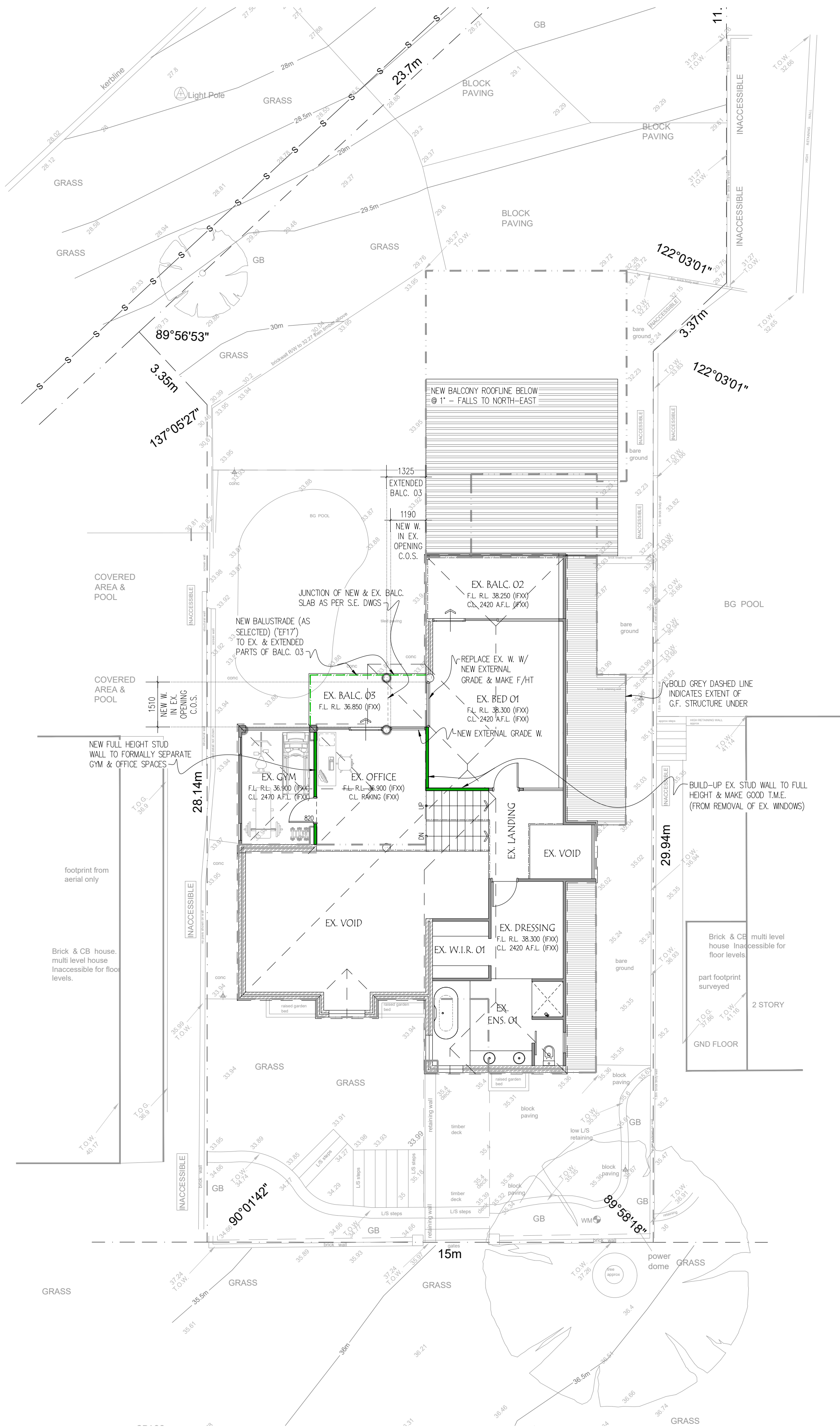
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1:100

PAGE SIZE :
A2

DRAWING No. :
A205

REV. :
D



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

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PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
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TITLE : PROPOSED FIRST FLOOR PLAN

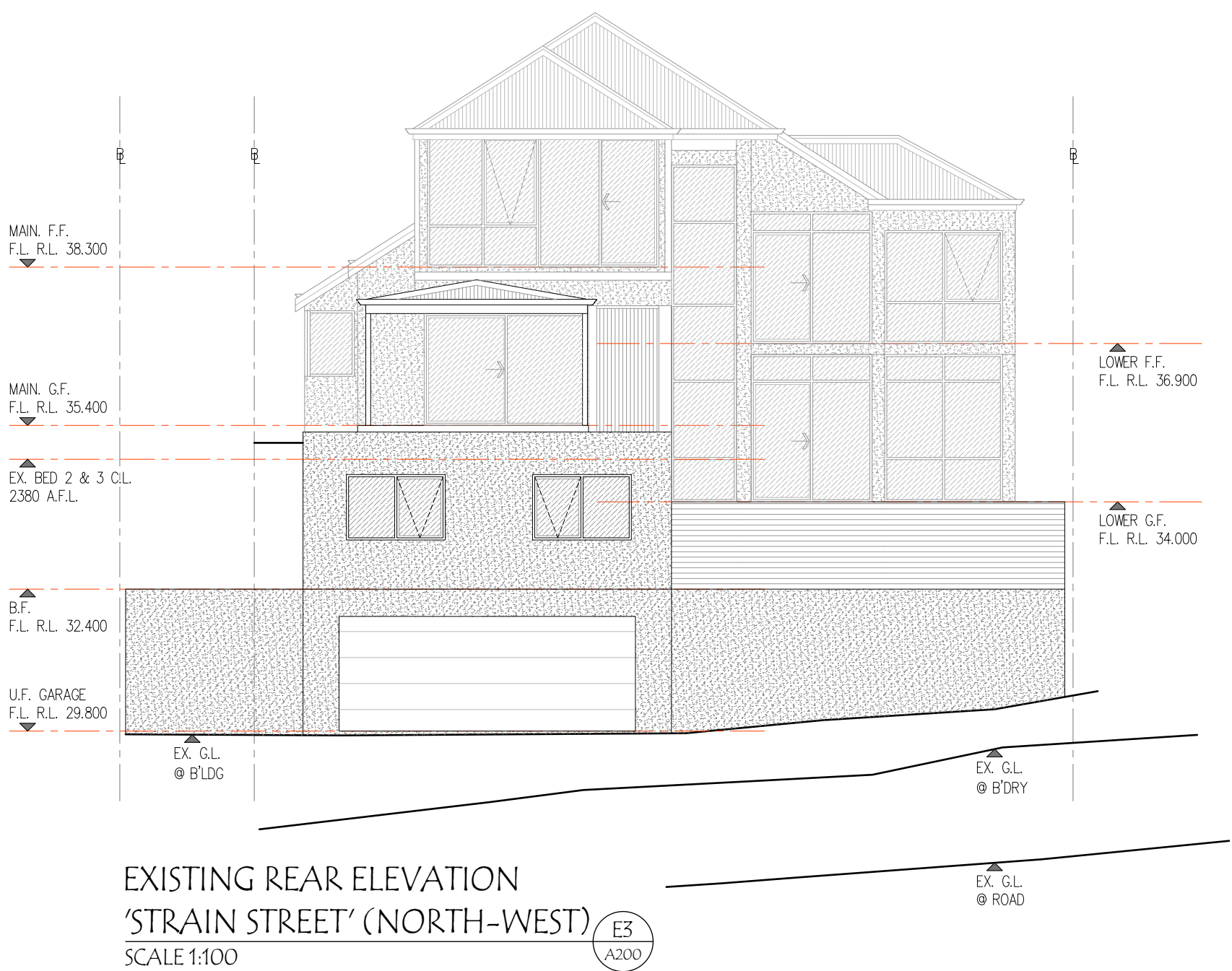
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CLIENT : [REDACTED]

JN : 26.00 | FH-RESERVE

SCALE :
1:100

PAGE SIZE :
A2

DRAWING No. :
A206 E



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D	23/07/26	ISSUED FOR PLANNING APPROVAL
C	14/07/26	FINALISED CONCEPT DESIGN ISSUED FOR CLIENT COMMENT
A	29/04/26	EXISTING DWGS ISSUED FOR COMMENT
REV	DATE	DESCRIPTION

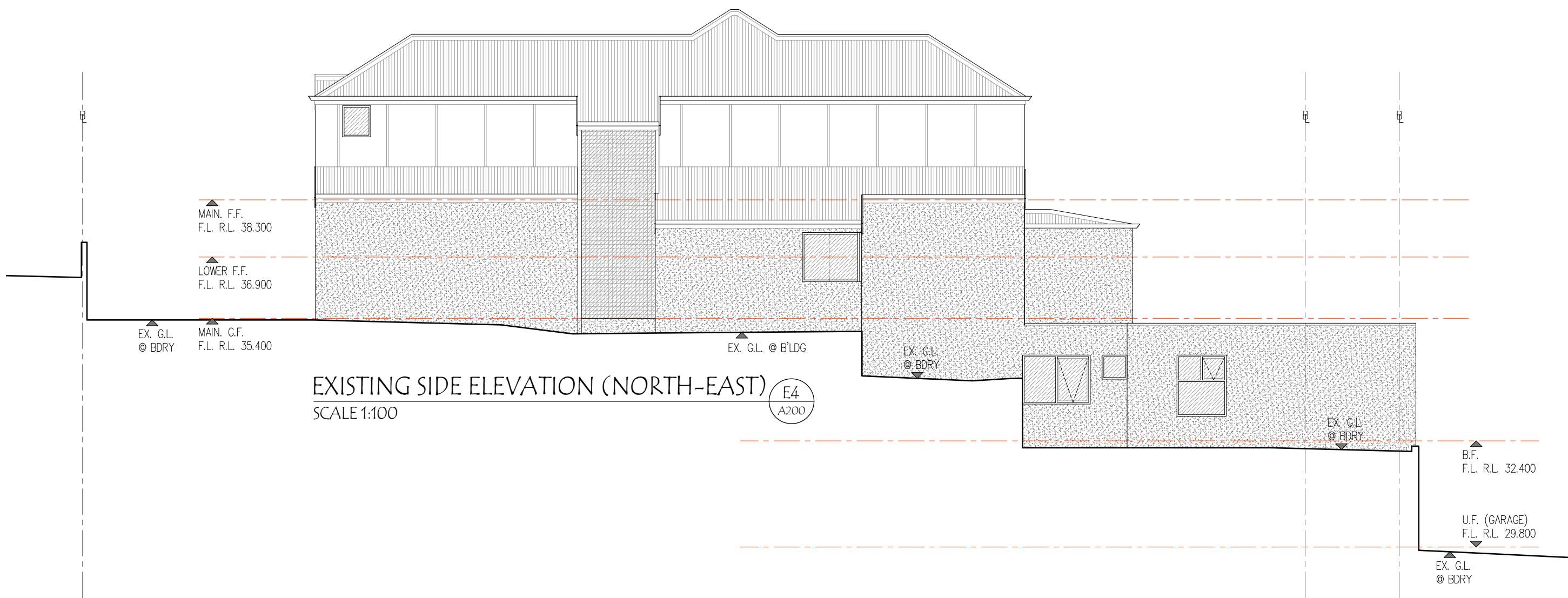
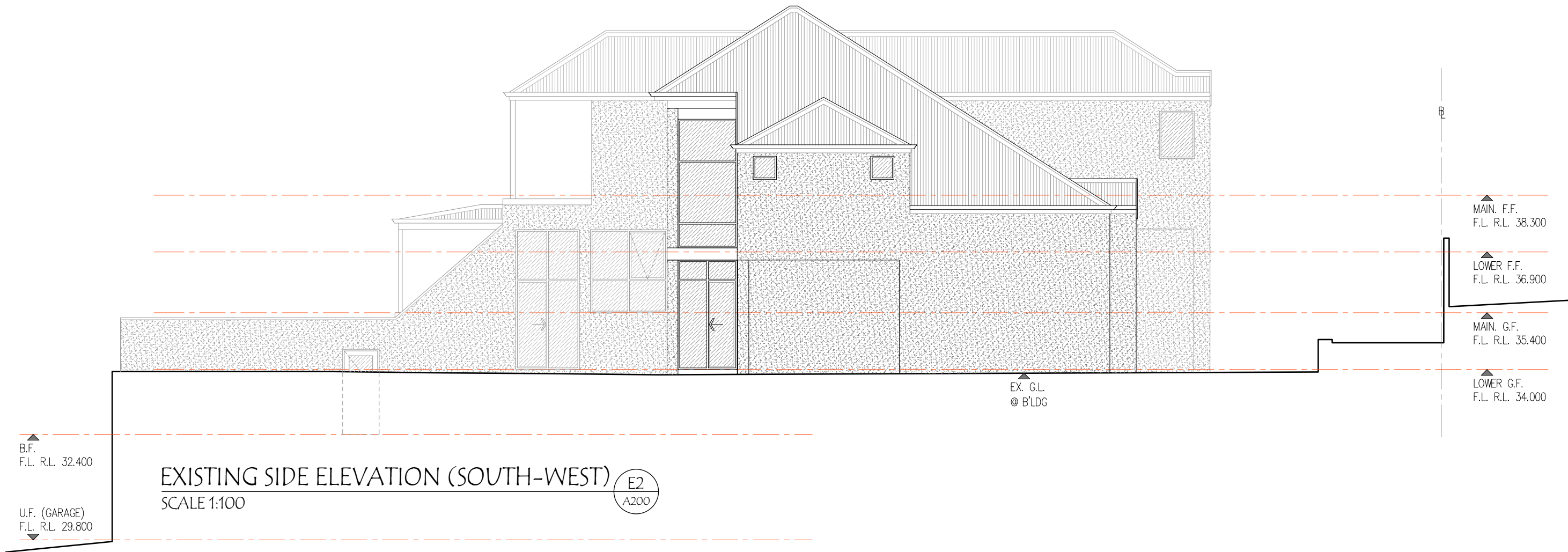
PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157
TITLE : EXIST. FRONT & REAR ELEVATIONS

SCALE :
1:100

PAGE SIZE :
A2

DRAWING No. :
A300

REV. :
D



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A	29/04/26	EXISTING DWGS ISSUED FOR COMMENT
REV	DATE	DESCRIPTION

PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157
TITLE : EXIST. SIDE ELEVATIONS

DATE : 23/07/26
CLIENT:

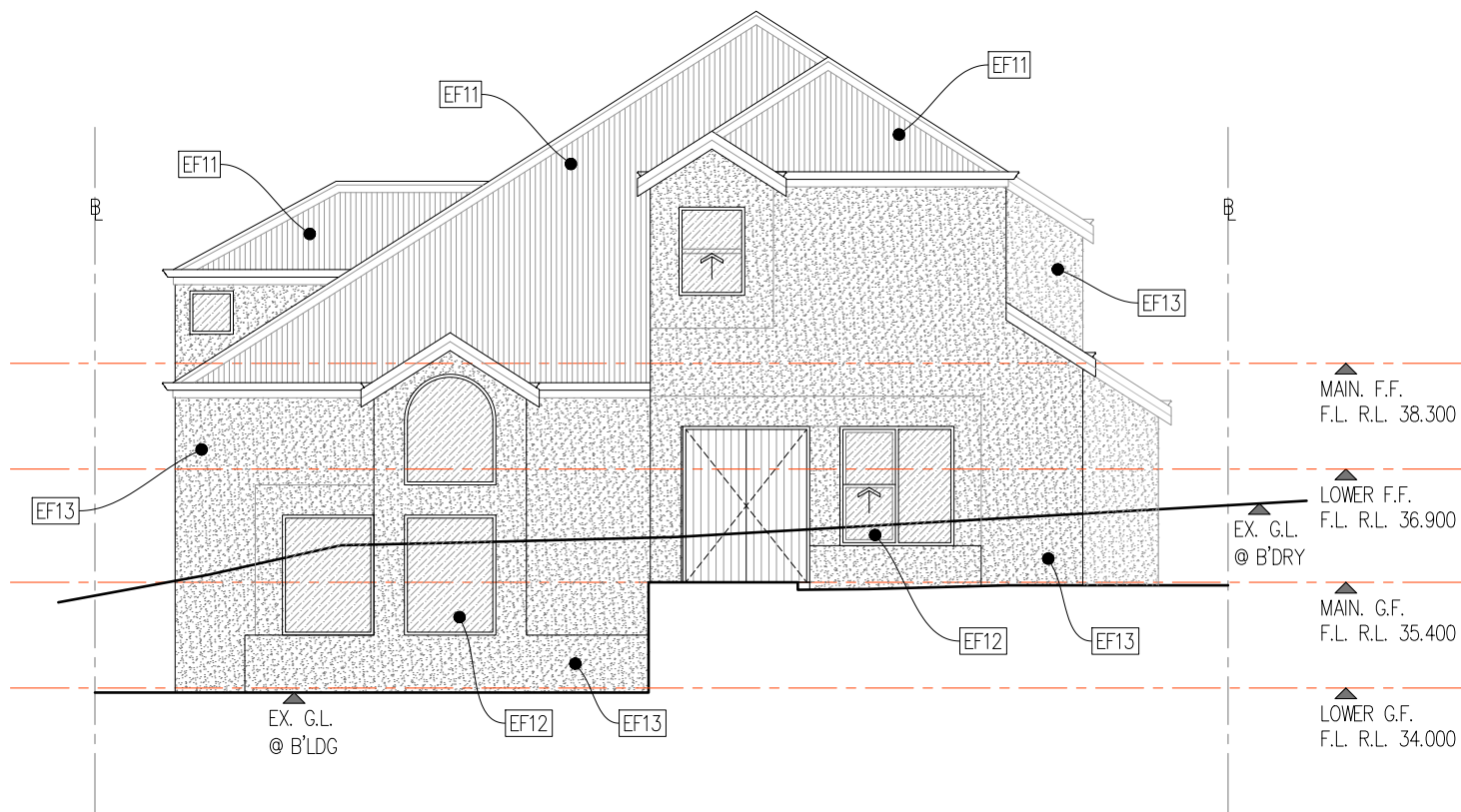
JN : 26.001 FH-RESERVEST

SCALE :
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A301 D

REV. :

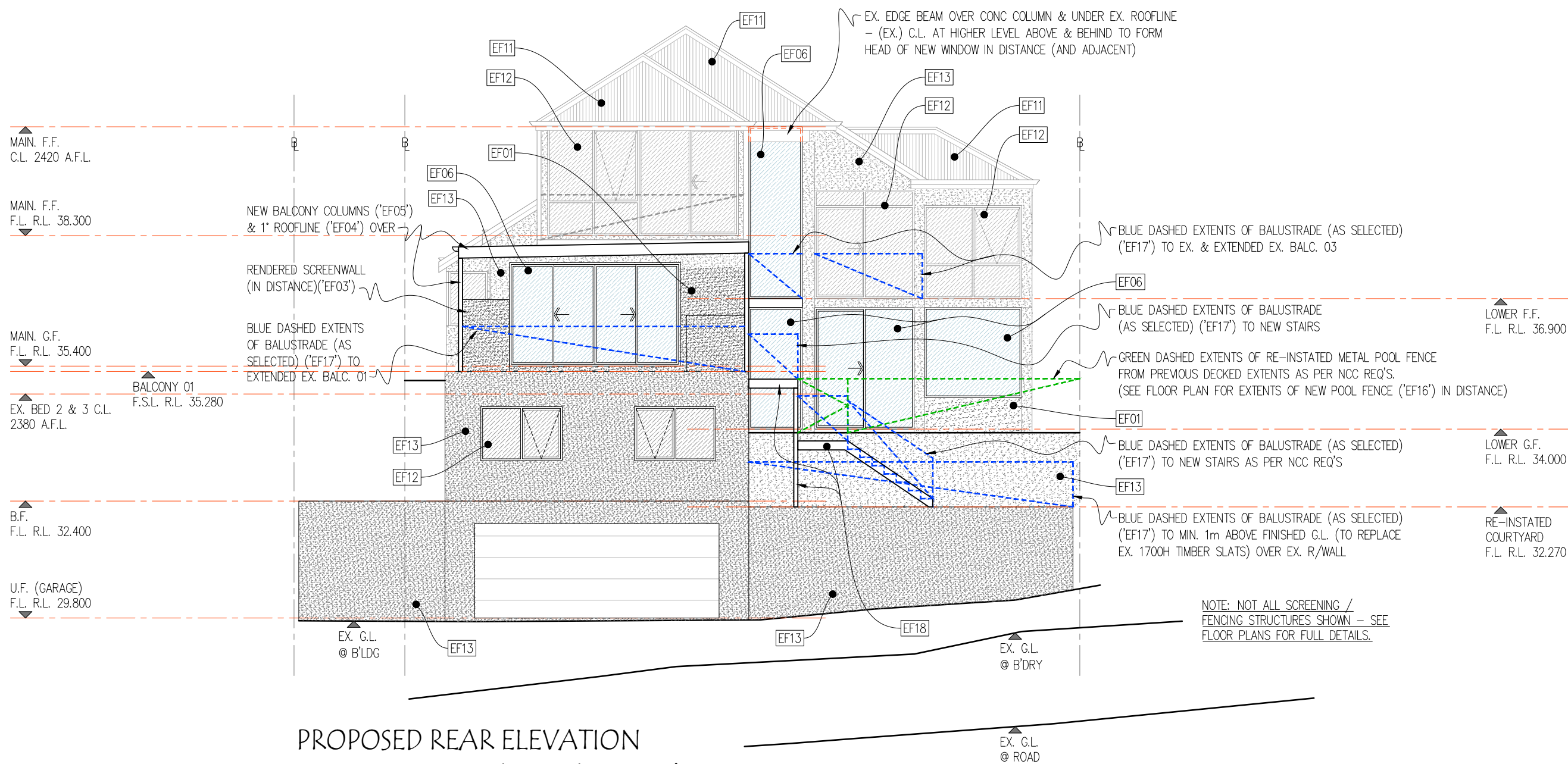


PROPOSED FRONT ELEVATION
'RESERVE STREET' (SOUTH-EAST)

SCALE 1:100

(NOTE: NO VISIBLE CHANGES)

E1
A200



PROPOSED REAR ELEVATION
'STRAIN STREET' (NORTH-WEST)

SCALE 1:100

E3
A200

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AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157

TITLE : PROPOSED FRONT & REAR ELEVATIONS

DATE : 01/09/26

CLIENT:

JN : 26.001 FH-RESERVEST

SCALE :
1:100

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A302

REV. :
E



PROJECT : PROPOSED MULTI-STOREY RENOVATION
AT : LOT 4 / #8B RESERVE STREET
BICTON W.A. 6157
TITLE : PROPOSED SIDE ELEVATIONS



PRELIMINARY ONLY

JN : 26.001 FH-RESERVEVEST

PAGE SIZE :
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A303 E