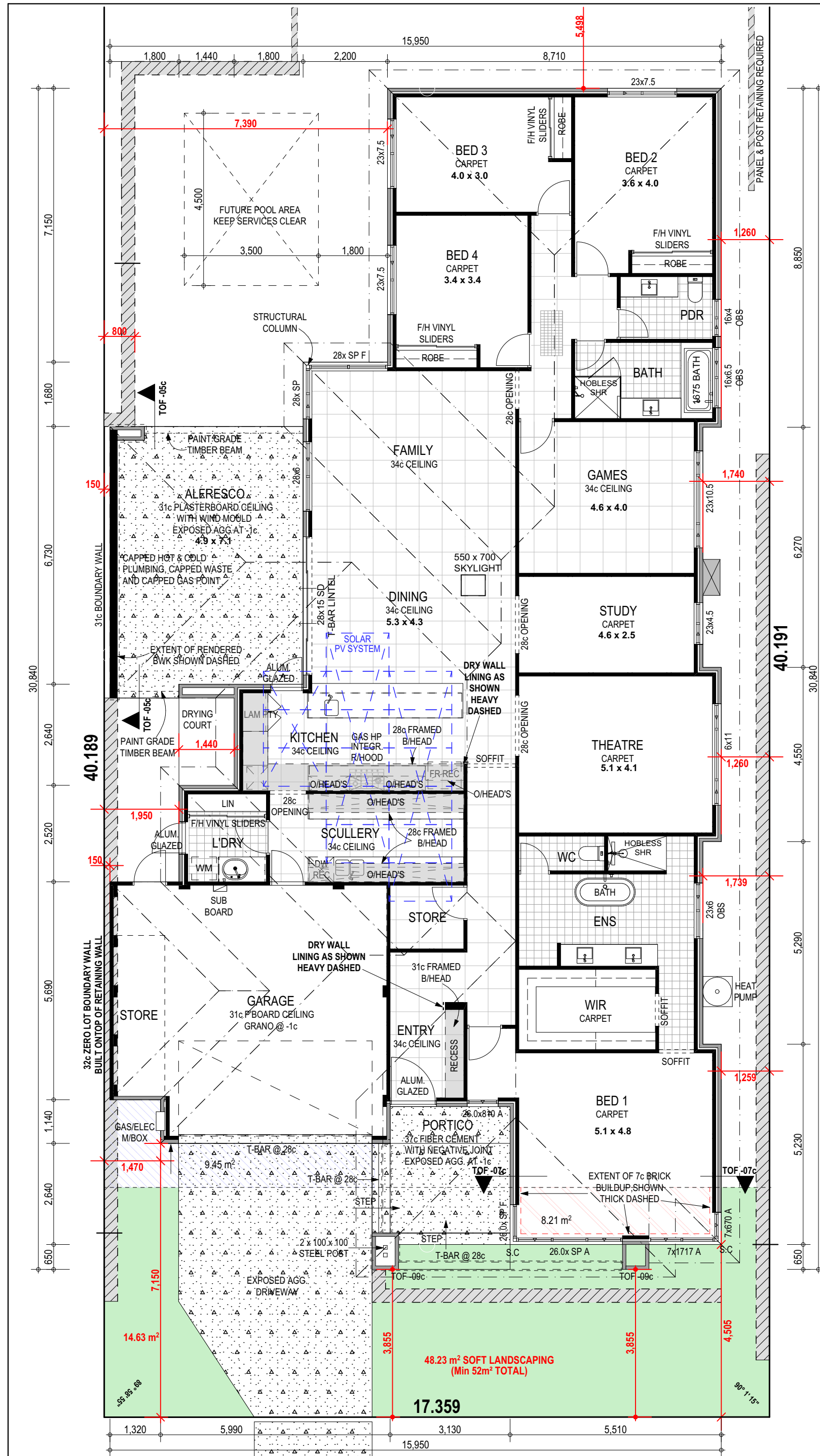
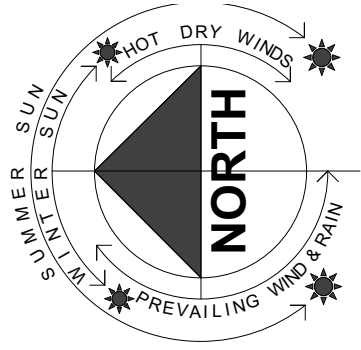




SUPERVISOR NOTE:
METAL DECK ROOF
ENGINEER'S HOLDING DOWN
DETAILS TO APPLY

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<u>SITE COVERAGE</u>	
ZONED	R20
% ALLOWED	50%
SITE AREA	699.48m2
SITE COV. AREA	333.61m2
<u>SITE COV. =47.7%</u>	
<u>OUTDOOR LIVING REQUIREMENTS</u>	
	REQUIRED ACHIEVED
OUTDOOR LIVING	30.0m2 200.9m2
UNCOVERED AREA	20.0m2 143.4m2

GENERAL NOTES:
RENDERED BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE
31c CEILINGS TO WHOLE HOUSE UNLESS NOTED OTHERWISE
2340mm HIGH INTERNAL DOORS THROUGHOUT UNLESS NOTED OTHERWISE
28c HEAD HEIGHT TO WINDOWS THROUGHOUT UNLESS NOTED OTHERWISE

COMPLIANCE NOTES:
PLANNING
PLANNING REQ. DUE TO SITWORKS
ACOUSTIC AND NOISE
NOT APPLICABLE
FLOODPLAIN AFFECTED
NOT APPLICABLE

PROJECT INFO:
LDP: N/A
Zoning: R20
Primary Setbacks:
Minimum 3.0m Maximum N/A
Average 6.0m
Estate: N/A
Guidelines: N/A
Climate Zone: 13
BPA Zone: NO
Coastal: Yes - 950m from River
Acoustic Req: N/A

FLOOR AREAS		
	AREA	PERIMETER
HOUSE	289.26	90.60
GARAGE/STORE'S	47.59	28.28
ALFRESCO 1	35.09	24.26
PORTICO	14.85	15.70
	386.79 m ²	158.84 m
	AREA	PERIMETER
ROOF	426.49	101.42

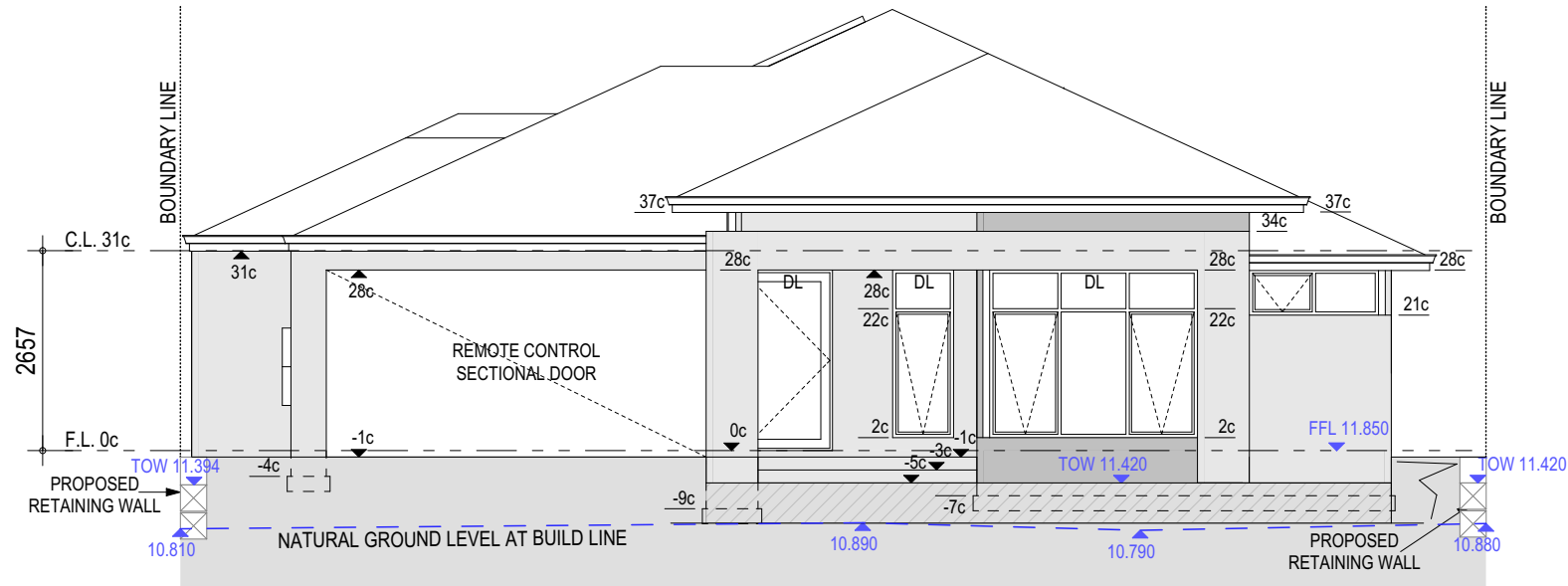
INTERNAL WALLS		
TOTAL LENGTH (m)	111.78	

PROPOSED NEW HOME:
At Lot 89 (#76) Harris Street, Bicton

These are the plans referred to in our contract
DATE
OWNER
BUILDER
OWNER
WITNESS

WIND:	CLASS: N1	DRN	DATE	CHK'D	DESCRIPTION
	SHIELDING: FS	R.M	27/01/26	-	PLANNING
		LKS	08/04/26	-	PCV1 SK ONLY
BPA:	NO	MR	30/04/26	-	PLAN. AMEND
		M.R.	08/05/26	-	PCV2
SCALE:	1:100	-	-	-	-
SHEET:	2 of 4	-	-	-	-

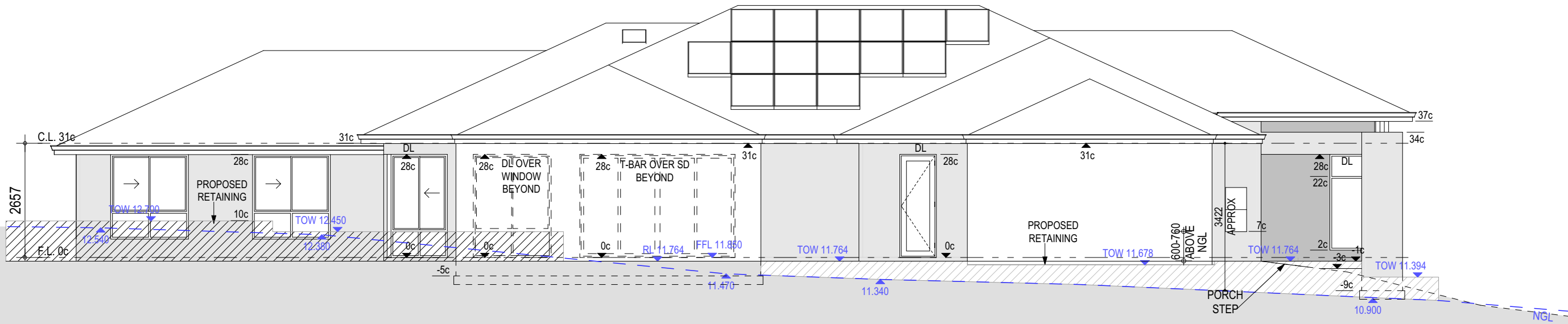
NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684



Elevation 1

ELEVATION LEGEND	
ROOF COVER	COLOURED CORRUGATED METAL @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE

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Elevation 2

PROPOSED NEW HOME:

At Lot 89 (#76) Harris Street, Bicton

These are the plans referred to in our contract

DATE

OWNER

BUILDER

OWNER

WITNESS

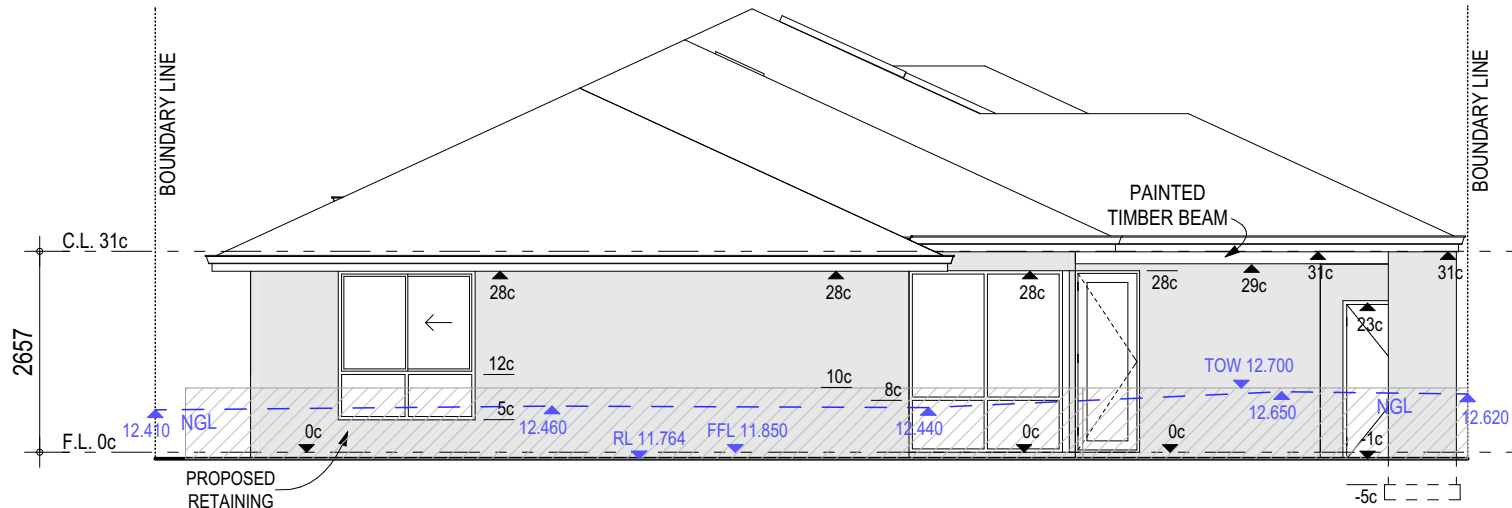
WIND: CLASS: N1
SHIELDING: FS
NO

SCALE: 1:100

SHEET: 3 of 4

DRN	DATE	CHK'D	DESCRIPTION
R.M	27/01/26	-	PLANNING
LKS	08/04/26	-	PCV1 SK ONLY
MR	30.04.26	-	PLAN. AMEND
M.R.	08/05/26	-	PCV2
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

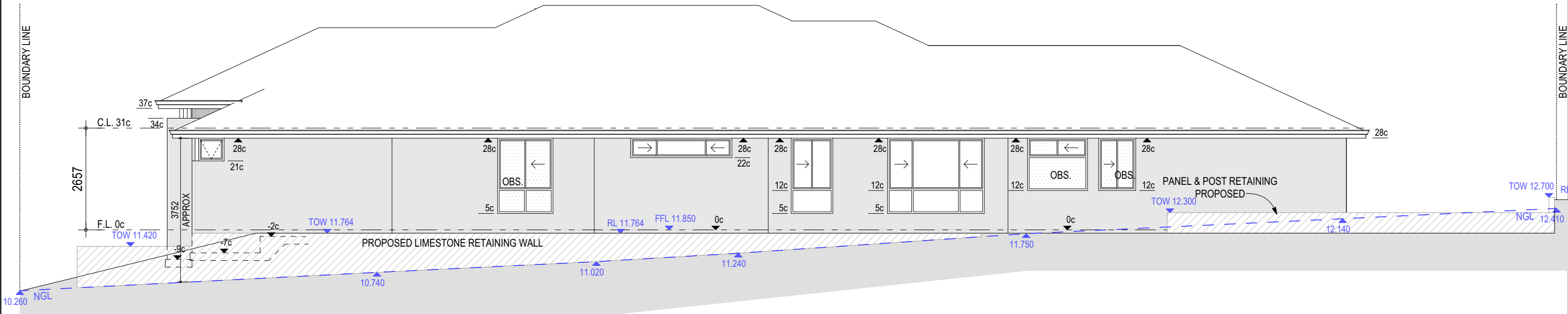
NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684



Elevation 3

ELEVATION LEGEND	
ROOF COVER	COLOURED CORRUGATED METAL @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE

ADVERTISING COPY ONLY
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Elevation 4

PROPOSED NEW HOME: At Lot 89 (#76) Harris Street, Bicton			These are the plans referred to in our contract		WIND: CLASS: N1 SHIELDING: FS	DRN	DATE	CHK'D	DESCRIPTION		
			DATE			BPA: NO	R.M	27/01/26	-	PLANNING	
			OWNER	BUILDER			LKS	08/04/26	-	PCV1 SK ONLY	
			OWNER	WITNESS			MR	30.04.26	-	PLAN. AMEND	
© COPYRIGHT BC 6552: This plan shall remain the sole property of the builder and must not be given, lent, resold hired out or otherwise disposed of or copied without the permission in writing of the builder			Plumber Note floor wastes to be located as per plumbing plan		SCALE: 1:100	M.R.	08/05/26	-	PCV2		
						Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.		-	-	-	-
								-	-	-	-
								-	-	-	-
Client to check plans, specifications and addenda carefully.			All dimensions strictly to take preference over scaling. Dimensions shown are for brickwork only & do not include plaster or tile thickness.		SHEET: 4 of 4						
reserves the right to vary dimensions and materials from those on display.											

document Set ID: 73683