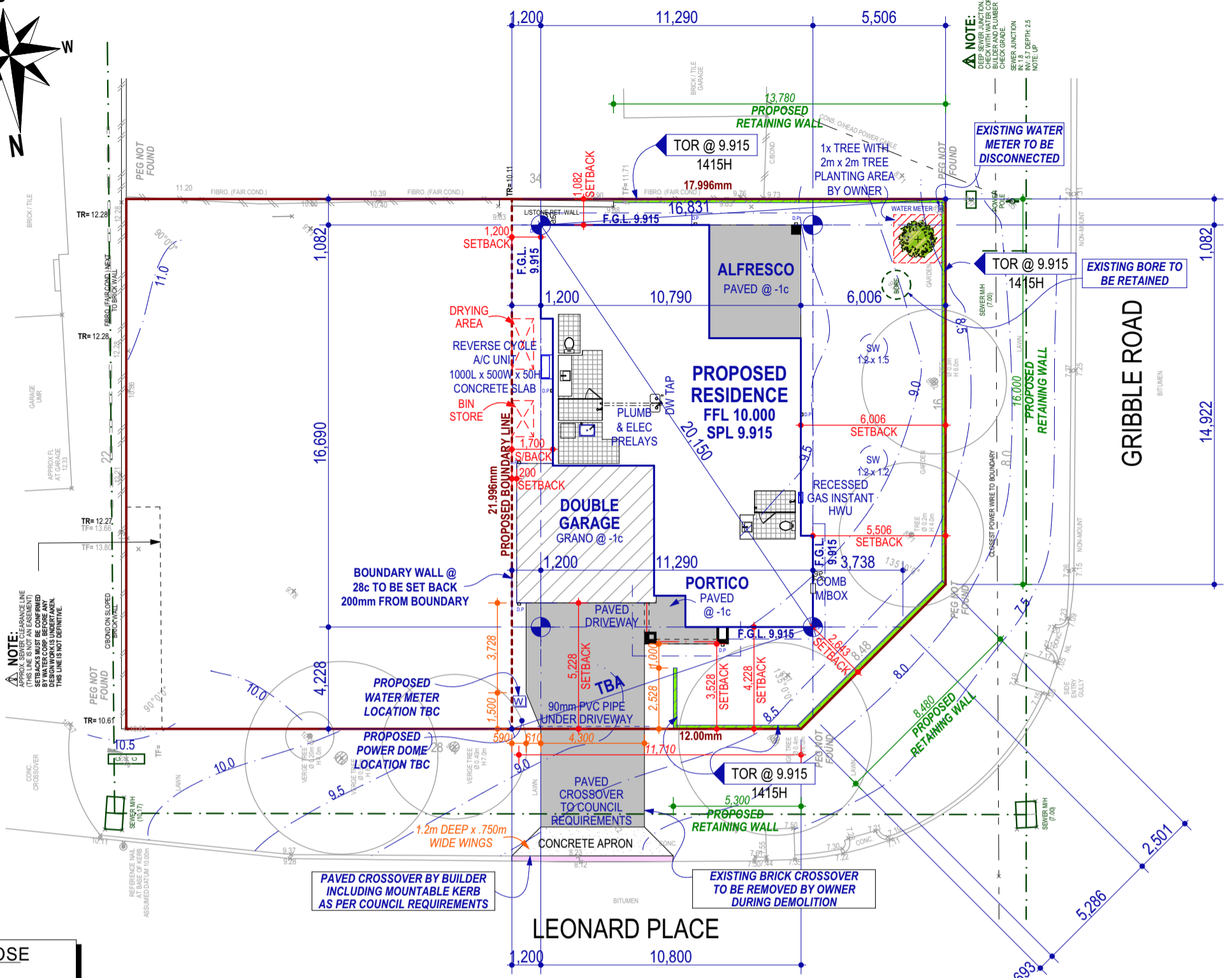
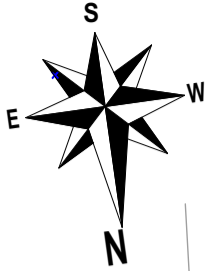


☐	POWER POLE
☐	PHONE PITS
☐	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE



NOTE:
 THIS LINE IS NOT AN EASEMENT
 SETBACKS MUST BE CONFIRMED
 BEFORE ANY WORK BEGINS.
 THIS LINE IS NOT DEFINITIVE.

NOTE:
 DEEP SEWER JUNCTION.
 CHECK GRADE.
 SEWER JUNCTION
 IN S.1 DEPTH: 2.5
 NOTE: UP

BEWARE:
 OVERHEAD POWER
 LINES IN AREA.
 ADVISE TRADES

LOT MISCLOSE
 0.005 m

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT INFORMATION
 ZONING: R20
 LOT AREA: 377.87m²
 ALLOWED COVER: 50% (188.94m²)
 ACTUAL COVER: 42.58% (160.91m²)
 PLANNING: YES
 PLANNING NOTES: VEHICLE ACCESS

SITE CLASSIFICATION : A
 FOOTING DETAIL : A85
 WIND CATEGORY : N1
 COASTAL CONDITIONS : R3

STANDARD NCC NOTE:
 - DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH NCC & A.S.
 - SMOKE ALARMS INTERCONNECTED & HARDWIRED AS PER AS3786-2014
 - STORMWATER AND SURFACE WATER DRAINAGE TO COMPLY WITH NCC AND LOCAL AUTHORITY REQUIREMENTS.

LANDSCAPING NOTE:
 MIN 50% OF STREET SETBACK AREA TO BE PERVIOUS AREAS (SOFTSCAPED) BY OWNER AFTER HANDOVER

RETAINING WALL BY OWNER:
 - PROPOSED RETAINING WALL

OWNER DEMOLITION NOTE:
 REFER TO DEMOLITION PLAN

POST DEMOLITION / RETAINING SURVEY NOTE:
 NEW CONTOUR SURVEY WILL BE REQUIRED ONCE DEMOLITION AND RETAINING HAS BEEN COMPLETED
 OWNER TO ADVISE BUILDER WHEN DEMO & RETAINING ARE COMPLETE

STORMWATER NOTE:
 STORMWATER DISPOSAL VIA SOAKWELLS TO COUNCIL REQUIREMENT.

PRELAY NOTE:
 PLUMBING & ELECTRICAL PRELAYS REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

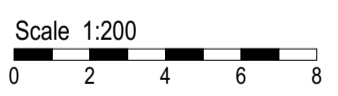
CONCRETE NOTE:
 SET SHOWER RECESSES DOWN 50mm & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

Soak Well Type	No.	
SW 1200x1200	1	1.4 m3
SW 1200x1500	1	1.7 m3
Total Capacity		3.1 m3
Roof Area GF		205.1 m2
Paved Area		24.1 m2
Total Area		229.2 m2

Capacity Required (Area x 0.0125)
 Extra Capacity Provided

NOTE: ALL DOW CONNECTED TO SC WITH PVC STORMW

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87-89 Guthrie Street
 Osborne Park, WA 6017
 PO Box 1611
 Osborne Park
 Business Centre WA 6917
 P: (08) 9446 7361
 E: perth@cottage.com.au
 W: www.cottage.com.au

JOB # 633873
CLIENT HILTON
ADDRESS #1 Leonard Place
SUBURB Bull Creek
LGA CITY OF MELVILLE
DRAWN J. Winston

GPS Lat: -32.055534 Long: 115.853837
ORDER # 2512018M & 2512019M
LOT Lot 103 (Plan 12075)
AREA 730m² **VOL.** 1480 **FOL.** 940
DATE 20 Jan 26 **SSA No**

ROADS Bitumen
KERBS Non-Mount / Nil
FOOTPATH Nil
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. O/Head
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:
 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

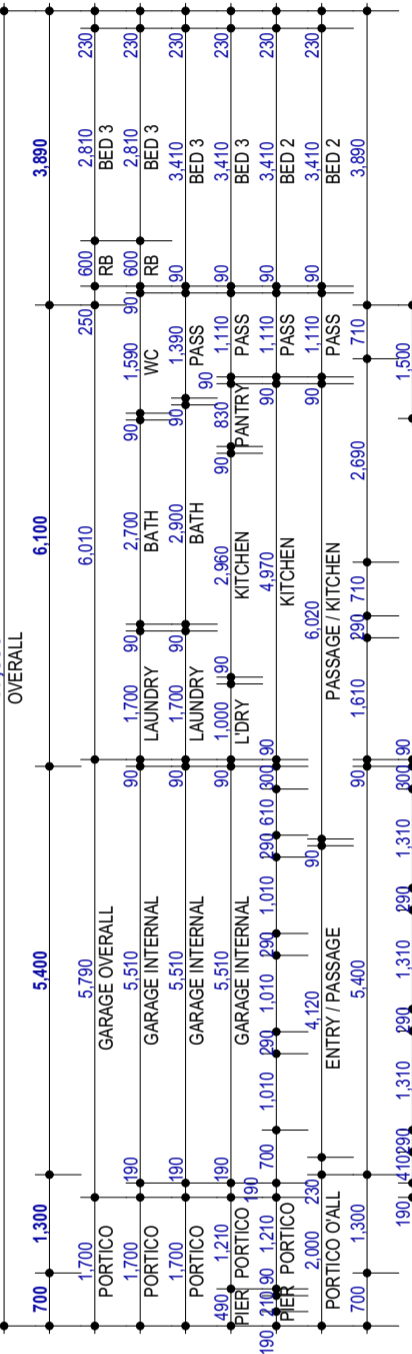
REV:	DESCRIPTION:	INT:	CHK:	DATE:
1'	CONTRACT + SCV	WC	JF	01.05.26
2'				
3'				
4'				
5'				
6'				
7'				
8'				
9'				

CLIENT: [REDACTED]
SITE ADDRESS:
LOT 103 (PL 1) #1 LEONARD PLACE
BULL CREEK WA 6149
SALES: A. SYMONDS **DRAWN:** WC

THE WATTLE
SITE PLAN PROPOSED
 DATE: 18/05/2026 **SHEET N°:** 04 of 14
 SCALE: 1:200
 REVISION N°: 01 **JOB N°:** 2512018M

NOTES:
 EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO NCC REQUIREMENTS AS PER ADDENDA.
 28c CEILINGS UNLESS OTHERWISE NOTED.

INTERNAL WALL NOTE:
 INTERNAL WALLS TO BE DRY LINED THROUGHOUT UNLESS NOTED OTHERWISE.



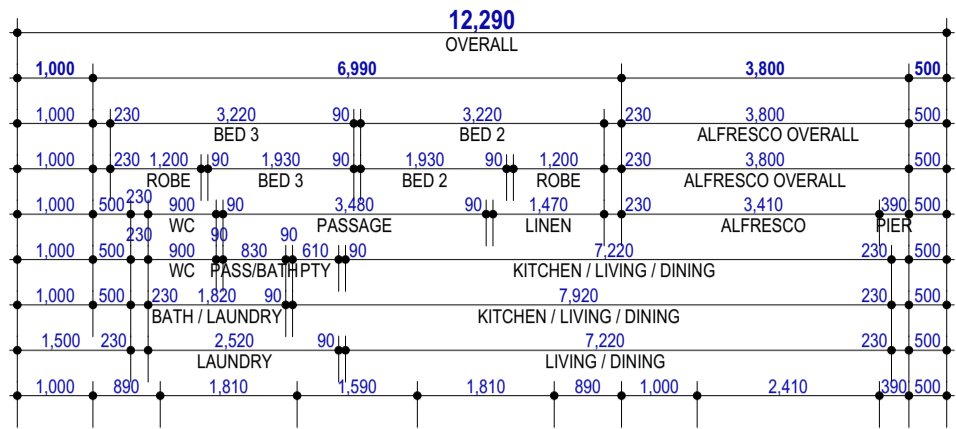
FULL CAVITY INSULATION:
 FULL CAVITY INSULATION TO ALL CAVITY WALLS THROUGHOUT

PLUMBER NOTE:
 PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED IN ACCORDANCE WITH THE HEALTH ACT & NCC.

FLASHING NOTE:
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

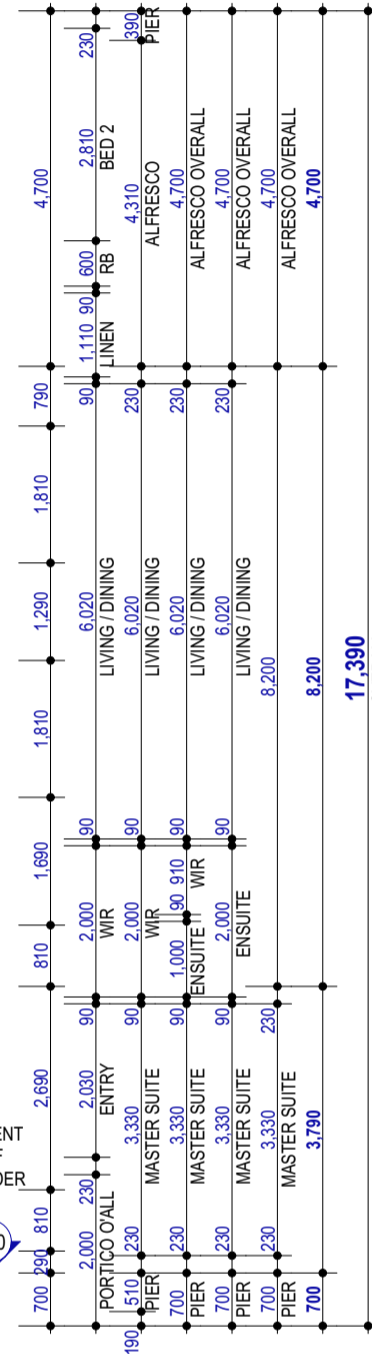
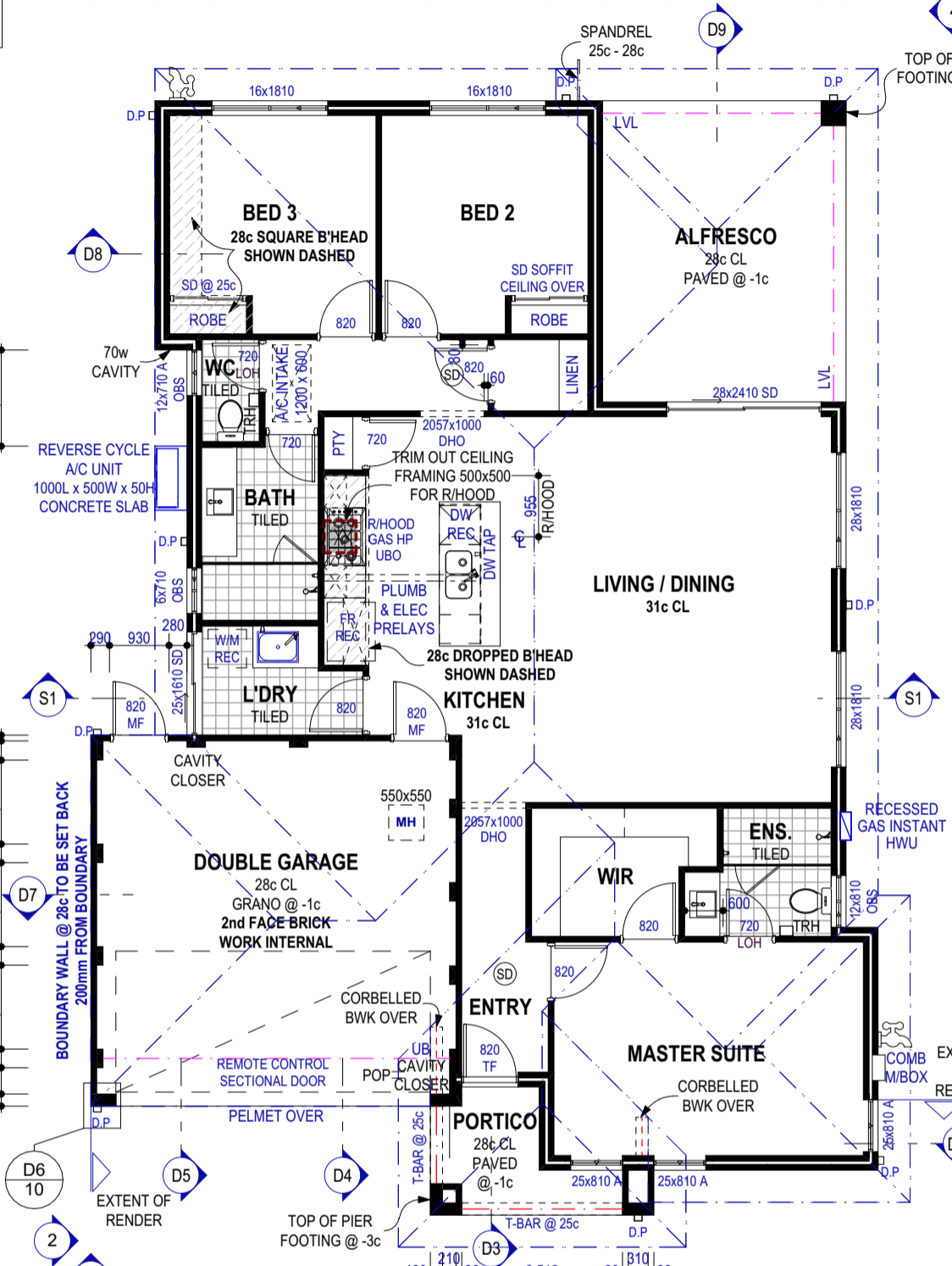
AREAS		
Name	Area	Perimeter
ALFRESCO	17.860	17.000
GARAGE	32.652	23.160
HOUSE	127.890	55.960
PORCH	2.043	5.800
	180.445 m ²	



FIXING CARPENTER NOTE:
PANTRY & LINEN:
 4x 450d SHELVES @ 400 CTS
 TOP SHELF @ 1750
ROBES & WIR:
 SHELF & RAIL @ 1750

NOTE: UPRIGHT SUPPORT PANELS REQUIRED FOR SHELVING EXCEEDING 1800mm. EXACT LOCATIONS DETERMINED ON SITE AT FIXING CARPENTERS DISCRETION

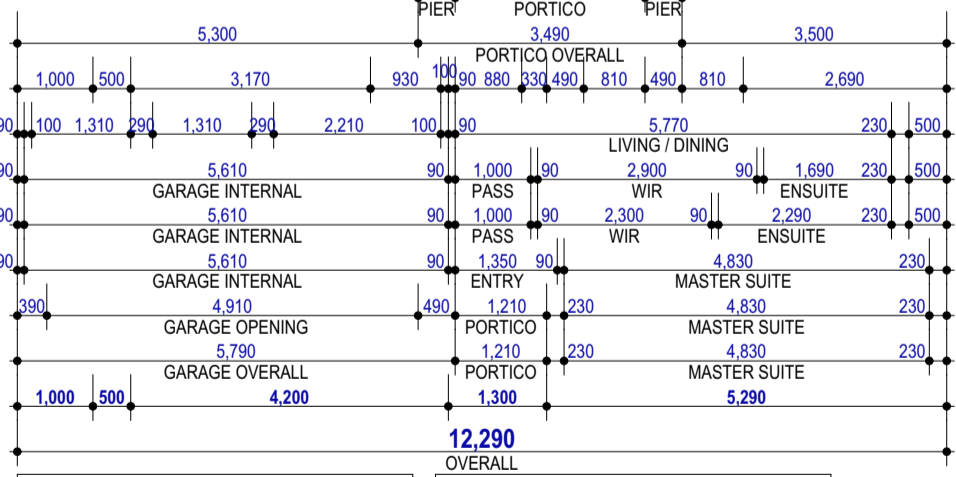
ROOF PLUMBER NOTES:
 DOWNPIPES & GUTTERS TO COMPLY WITH AS3500.3 & HOUSING PROVISIONS PART 7.4 (INCL. WA ADDITIONS)



SITE CLASSIFICATION : A
 FOOTING DETAIL : A85
 WIND CATEGORY : N1
 COASTAL CONDITIONS : R3

BRICK LAYER NOTES:
RENDER TO FRONT ELEVATION:
 EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT ELEVATION & RETURN ONLY. CONTRASTING RENDER COLOUR TO PORTICO PIERS, & BWK ABOVE T-BARS AS PER ADDENDA.

BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)



LOW-E DOUBLE GLAZING NOTE:
 LOW-E DOUBLE GLAZING TO ALL WINDOWS AND SLIDING DOORS EXCLUDING WET AREAS AND ANY TIMBER JOINERY.

ENERGY WHOLE OF HOME COMPLIANCE:
 MINIMUM 1.7KW SOLAR PV SYSTEM TO BE INSTALLED BY OWNER AFTER HANDOVER

FLOOR COVERING NOTE:
 REFER TO ADDENDA FOR FLOOR COVERING SPECS..

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



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 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

REV.	DESCRIPTION:	INT.	CHK.	DATE:
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CLIENT: [REDACTED]
 SITE ADDRESS:
LOT 103 (PL 1) #1 LEONARD PLACE
BULL CREEK WA 6149
 SALES: A. SYMONDS DRAWN: WC

THE WATTLE
FLOOR PLAN
 DATE: 18/05/2026 SHEET N°: 07 of 14
 SCALE: 1:100
 REVISION N°: 01 JOB N°: 2512018M

