

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 30 JANUARY 2024

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Gavin Ponton, A/Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: Tel 9364 0223 or via the Elected Members Portal.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY, 2 FEBRUARY 2024



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 30 JANUARY 2024**

PRESENT

G Ponton
T Geddes
T Cappellucci
G Davey
A Brooksbank

A/Manager Statutory Planning
A/Principal Statutory Planner
Senior Planning Officer
A/Senior Planning Officer
Statutory Planner

DISCLOSURES OF INTEREST

**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995****Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

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MELVILLE WA 6156 (REC) (ATTACHMENT)..... 4

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

Ward : Palmyra - Melville - Willagee Ward
 Category : Operational
 Application Number : DA-2023-720
 Property : Lot 4 (No. 8) Birdwood Road, Melville WA 6156
 Proposal : 2 x Two Storey Grouped Dwellings
 Applicant : S J Delmenico
 Owner : Anita Lilian Delmenico, Kevin Wayne Delmenico and Kelly Maree Delmenico
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Responsible Officer : Gavin Ponton
 Acting Manager Statutory Planning
 Previous Items : N/A

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (eg under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

**U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD,
MELVILLE WA 6156 (REC) (ATTACHMENT)****KEY ISSUES / SUMMARY**

- Development approval is sought for two, two storey dwellings at Lot 4 (No 8) Birdwood Road, Melville.
- The proposed development has been assessed against Local Planning Scheme No. 6 (LPS6), State Planning Policy 7.3 (SPP 7.3) - Residential Design Codes Volume 1 (R-Codes) and relevant local planning policies including Local Planning Policy 3.1 – Residential Development.
- The proposed development requires a performance assessment in relation to lot boundary setbacks, boundary wall, garage width, landscaping, site works and visual privacy. Consideration by the Development Advisory Unit is limited to site works and visual privacy, with all other variations determined by the Manager of Statutory Planning through delegated authority in accordance with Local Planning Policy 1.1 Planning Process and Decision Making (LPP 1.1).
- The application was advertised in accordance with the provisions of the R-Codes, Planning and Development (Local Planning Scheme) Regulations 2015 and LPP 1.1. In response, one (1) submission was received objecting to the proposal. This objection is discussed further below.
- Notwithstanding the objection received, it is considered that the development is acceptable when assessed against the relevant design principles of State Planning Policy 7.3 (SPP 7.3) - Residential Design Codes Volume 1 (R-Codes).
- It is recommended that approval be granted subject to conditions.
- For clarity and in accordance with the approved subdivision plan DA-2023-435; No. 8A (west side lot) and 8B (east side lot) are hereafter referred to as Lot 881 (west) and Lot 880 (east).

**U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD,
MELVILLE WA 6156 (REC) (ATTACHMENT)**



Figure 1: Aerial photograph of subject site.

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R20
Use Type	: Two, Two Storey Grouped Dwellings
Use Class	: 'P' Use

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

Site Details

Lot Area	: 969m ²
Retention of Existing Vegetation	: No
Street Tree(s)	: Yes – one large verge tree, retained
Street Furniture (drainage pits etc)	: No
Site Details	: Refer to Figure 1 above

A copy of the plans forms part of the report and recommendations.

DETAIL

The application for two, two storey grouped dwellings has been assessed against the provisions of LPS6, the R-Codes and relevant Local Planning Policies. A performance assessment is required in respect of the matters listed below.

State Planning Policy 7.3 - Residential Design Codes Volume 1

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
WEST 5.1.3 Lot boundary setbacks	Lot 881 ground floor Alfresco-WIR (total length) – 1.5m	1.0m	Requires a performance assessment against the Design Principles of the R-Codes.	Manager Statutory Planning (MSP)
WEST 5.1.3 Lot boundary setbacks	Lot 881 upper floor Ens-Bed 3 – 1.6m Lot 881 upper floor Ens 2-Balcony – 1.8m	Ens-Bed 3 – 1.52m Ens 2-Balcony – 1.52m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
EAST 5.1.3 Lot boundary setbacks	Lot 881 ground floor stairs (bulk) – 1.5m Lot 881 ground floor Alfresco – 1.5m	Stairs (bulk) – 1.5m Alfresco – 1.0m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

Design Element (Continued)	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
WEST 5.1.3 Lot boundary setbacks	Lot 881 upper floor Balcony-Sitting (bulk) – 4.2m Lot 881 upper floor Hall (bulk) – 2.8m	Balcony-Sitting (bulk) – 2.3m Hall (bulk) – 2.7m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
EAST 5.1.3 Lot boundary setbacks	Lot 880 ground floor Bed-Ens – 1.5m Lot 880 ground floor Living – 2.5m Lot 880 ground floor Dining-Stair (bulk) – 1.9m	Bed-Ens – 1.5m Living – 2.5m Dining-Stair (bulk) – 1.9m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
EAST WEST 5.1.3 Boundary wall	Boundary wall aggregate length 14.76m	Lot 881 east aggregate 21.0m Lot 880 west aggregate 22.3m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
NORTH 5.2.2 – Garage width	Garage width 4.82m (50% of lot frontage)	Lot 880 – 6.1m (63%)	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
5.3.2 - Landscaping	Front setback (first 6m) landscaping – 50%	Lot 880 – 40% Lot 881 – 45%	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
EAST SOUTH 5.3.7 – Site works	Maximum retaining and fill above natural ground level (NGL) on lot boundary – 0.5m	Lot 881 east – 1.2m Lot 881 south – 1.2m Lot 880 south – 0.9m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

Design Element (Continued)	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
EAST 5.3.7 – Site works	Maximum retaining and fill above natural ground level on lot boundary – 0.5m	Lot 880 east – 1.0m	Requires a performance assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)
EAST 5.4.1 – Visual privacy	Cone of vision setback from Balcony – 7.5m	Lot 881 – 2.3m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
EAST 5.4.1 – Visual privacy	Cone of vision setback from Living rooms – 6m	Lot 880 – 1.2m	Requires a performance assessment against the Design Principles of the R-Codes.	DAU

The officer comment below is limited to east side site works and visual privacy cone of vision setback of Lot 880 to No.10 Birdwood Road as these issues were the subject of objection from the submitter. The proposed variations in relation to the east side site works and cone of vision setback are considered to meet the relevant design principles of the R-Codes and are supported on that basis. The remaining elements which seek variation from the deemed-to-comply requirements of the R-Codes have been assessed against the relevant design principles and found to be satisfactory.

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required:	Yes
Neighbour's Comment Supplied:	Yes
Reason:	Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
Support/Object:	One (1) submission received objecting to the proposal.

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

A summary of the content of the objections received and an officer's response is provided in the table below. Note there were additional concerns related to construction which are unrelated and not considered here.

Summary of Issues Raised	Officer's Comments	Action (Condition/ Uphold/ Not Uphold)
Lot boundary wall Concerns regarding the visual amenity impact of the boundary wall height and length	One of the proposed boundary walls to the eastern boundary has been removed from the proposal and the other has been amended to meet deemed-to-comply requirements.	Not Uphold
Site works Concerns regarding the combined bulk of the Lot 880 east side boundary retaining and fence above.	The extent of site works as proposed in the original design has been amended to be reduced to meet the relevant design principles. This matter is discussed further in the officer comment section below.	Not Uphold
Visual privacy Concerns regarding views from the Living room of Lot 880 into their property as a result of insufficient screening	The proposed overlooking from the balcony to the east is considered to meet the relevant design principles. This matter is discussed further in the officer comment section below.	Not Uphold

II. OTHER AGENCIES / CONSULTANTS

No consultation with other agencies/consultants is required.

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)

COMMENT

Site Works

The proposed development is seeking a performance assessment for the site works to the east boundary as outlined above in the detail section of this report. The design principles of Clause 5.3.7 Site Works of the R-Codes seek to ensure that development responds to the existing natural features of the site, mitigates any amenity impact as viewed from the street and adjoining lots, and does not detrimentally affect adjoining properties. The proposed extent of site works along the eastern site boundary is considered to meet the design principles as discussed below.

- The dwellings are stepped down to reduce the visual impact from the street, and balance cut and fill, to reduce the impact upon the east side property whilst maintaining a functional outdoor area for use by occupants. The highest level difference between the two proposed units 8A and 8B, and the east side retaining wall varies with the slope of the land such that site works along the front half of the lot on the east side boundary is compliant with Clause 5.3.7 of the R-Codes and includes a portion of excavation. This is shown in the first image below (street boundary on right hand side), and the area which is more than 0.5m above NGL is for part of the boundary only, shown in the second image below.
- The site retains a slope down from the street boundary into the garage as shown in the first image below. This reduces the visual impact on the street. The ground floor level is otherwise set back from the east side boundary, limiting the impact of site works and dwelling to the openside and rear outdoor living area (OLA), reducing the visual impact on the east and south adjoining lots. As per figure 2 & 3, the area which is higher than 0.5m does not align with a major opening or a limited area of functional outdoor space. Instead, the fill and retaining aligns with an open space that is part of a larger backyard area sufficient for a wide array of external uses.
- The boundary adjacent to 10 Birdwood Road undulates as noted above and levelling the site for higher internal amenity is not considered to create an unnecessary bulk on the large rear OLA of 10 Birdwood Road. As the sites are oriented north to south, and the dwelling at 10 Birdwood Road is on the east side, there will be minimal impact on solar access for major openings, outdoor spaces, and solar collectors across this site. With regards to visual privacy for the rear OLA, this will be mitigated through the construction of a sufficient dividing fence.

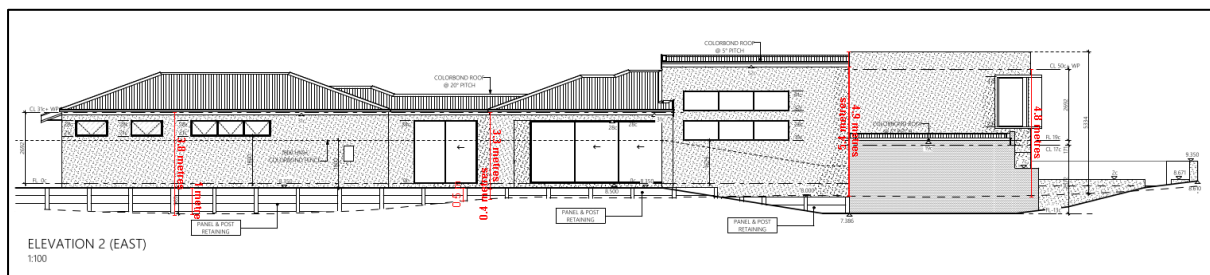


Figure 2: East elevation for lot 880, as viewed from the east adjoining lot 10 Birdwood Road.

U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD, MELVILLE WA 6156 (REC) (ATTACHMENT)



Figure 3: Aerial image with site plan overlay for 10 Birdwood, 8B Birdwood, and 8A Birdwood. The area which is more than 0.5m above natural ground level is highlighted blue.

Visual Privacy

The proposed development is seeking a performance assessment for the overlooking from the upper floor living room of the eastern dwelling towards No. 10 Birdwood Road as outlined above in the detail section of this report. The design principles contained in Clause 5.4.1 Visual Privacy of the R-Codes seek to reduce direct overlooking into outdoor active habitable spaces and major openings of habitable rooms, and to include design features and screening which remove overlooking or maximise the setback of sources of overlooking from sensitive areas. The proposed overlooking from the living room is considered to meet the design principles as discussed below.

- Overlooking from the living room window is mitigated as shown in images four and five below due to the installation of cabinetry along the east side wall, ensuring that residents are not able to stand directly at this window, and by the installation of a short vertical fin extending from the window, limiting views towards the neighbouring dwelling.
- The proposed major opening and primary light source to the living room is street facing on the northern wall, with a narrow complementary window on the east side. Locating the east facing window at the northern corner of the room minimises the potential overlooking on the east side lot whilst providing additional natural light for the subject site dwelling.
- As shown in figure 4 and discussed above, the proposed dwelling (right hand side) reduces the potential overlooking with permanent screening from the vertical fin, limiting the east facing views to the area in front of the dwelling.

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- It is further noted that the front balcony at 10 Birdwood Road is required to be screened under the terms of its development approval. The required screening would further mitigate the potential loss of visual privacy.

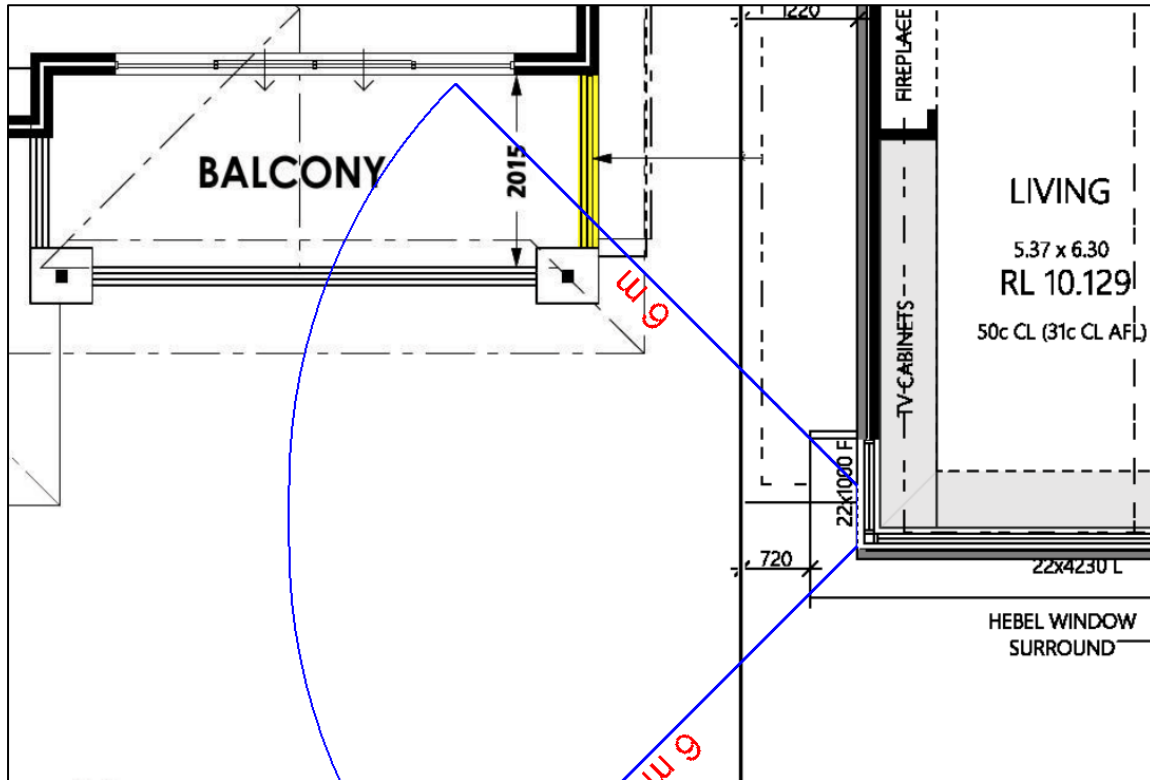


Figure 4: cone of vision from Lot 880 (right) to No. 10 (left) with yellow highlight indicating required balcony screening.

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MELVILLE WA 6156 (REC) (ATTACHMENT)



Figure 5: site photo showing No. 10 Birdwood Road (left) with balcony location, right hand side of balcony not screened.

ALTERNATE OPTIONS AND THEIR IMPLICATIONS

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

CONCLUSION

The application is considered to satisfy the provisions of LPS6, SPP 7.3 and Council Policy. It is recommended that the proposal be approved subject to conditions.

OFFICER RECOMMENDATION

APPROVAL

Subject to the following conditions:

- 1. This Development Approval requires the development to be undertaken in accordance with the submitted application, enclosed plans (referenced Site Plan, Ground Floor Plan and Elevations) stamped as approved on 12 February 2024.**
- 2. All storm water generated from the development hereby approved shall be retained on site in accordance with the City's Stormwater guidelines.**

**U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD,
MELVILLE WA 6156 (REC) (ATTACHMENT)**

3. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossovers shall be designed to be;
 - a maximum width of 4.5m;
 - located a minimum of 2m away from the outside of the trunk of any street tree; and
 - a minimum of 1m from any existing street infrastructure.

The approved crossovers are to be constructed prior to the initial occupation of the development to the satisfaction of the City.

4. Prior to the initial occupation of the development, the boundary walls shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
5. Prior to the initial occupation of the development, the external surface of the retaining walls which are visible from the street and adjoining properties shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
6. Prior to the initial occupation of the development, the on-site trees (as marked in RED on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.
7. Unless otherwise approved in writing by the City, all trees located on the verge adjacent to the land on which the development is to take place shall be protected throughout the duration of the demolition and construction processes of the development via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to demolition of the site or commencement of development (whichever occurs first), in accordance with the following criteria:
 - A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.
 - If an approved crossover, front fence, footpath, road or similar is located within the 2m radius of the TPZ, the TPZ fencing shall be located the minimum distance from the approved works that is required to complete the works.
 - Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.

**U24/0621 – TWO X TWO STOREY DWELLINGS AT LOT 4 (NO. 8) BIRDWOOD ROAD,
MELVILLE WA 6156 (REC) (ATTACHMENT)**

- **The following actions shall not be undertaken within any TPZ:**
 - **Storage of materials, equipment, fuel, oil dumps or chemicals;**
 - **Servicing or refuelling of equipment or vehicles;**
 - **Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device);**
 - **Open-cut trenching or excavation works (whether or not for laying of services);**
 - **Changes to the natural ground level of the verge;**
 - **Location of any temporary buildings including portable toilets; or**
 - **The parking of vehicles or machinery.**

- 8. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.**

**ATTACHMENTS
OF THE
DEVELOPMENT ADVISORY UNIT
MEETING
HELD ON
TUESDAY, 30 JANUARY 2024
U24/0621**

Distributed: Friday, 2 February 2024

PROPOSED DELMENICO RESIDENCE

8B BIRDWOOD ROAD, MELVILLE

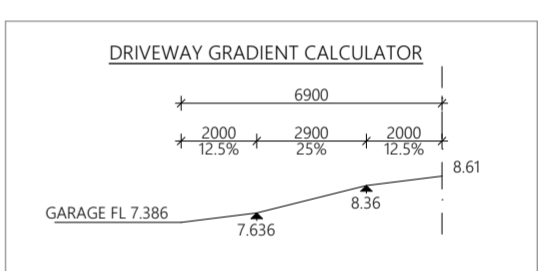
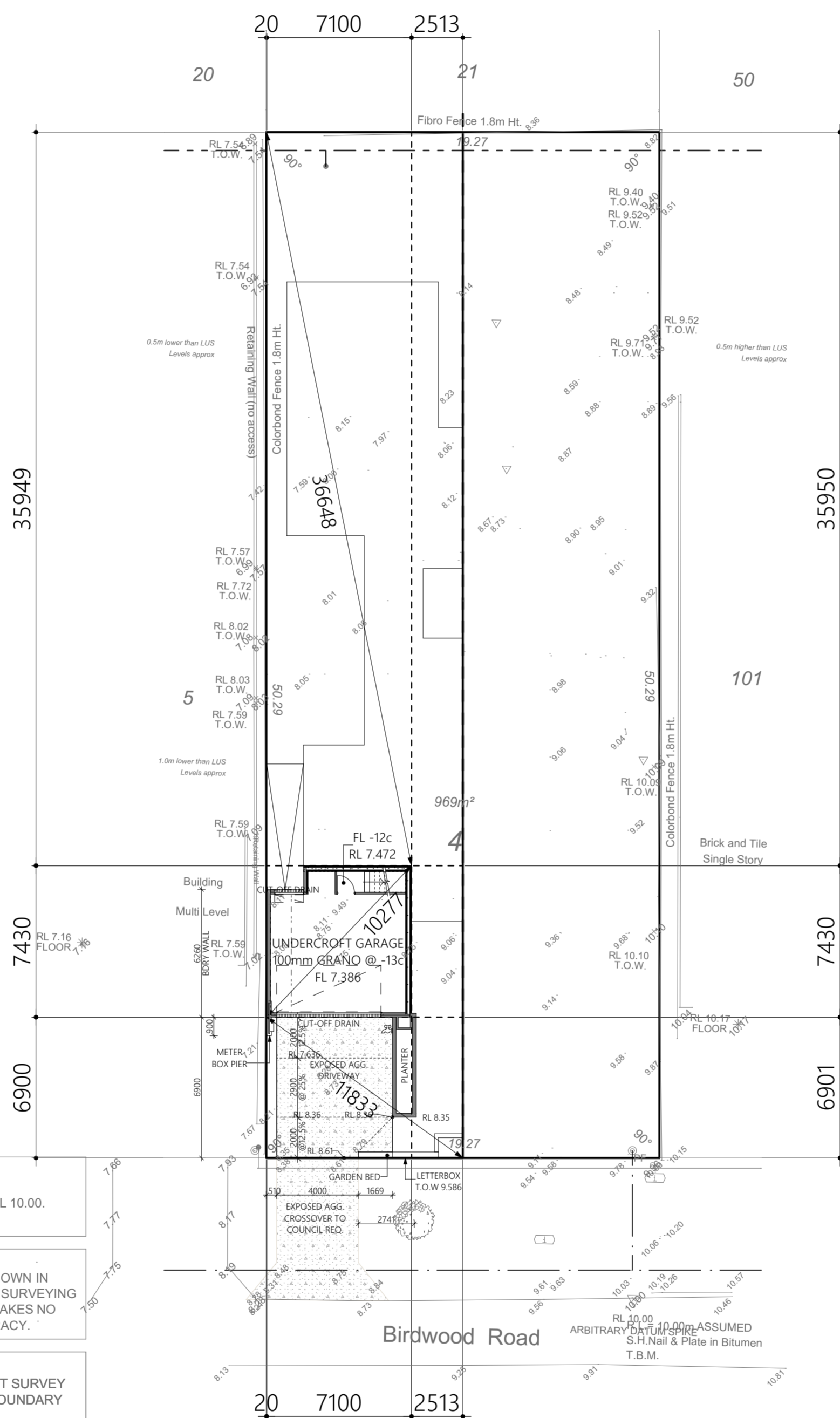


ILLUSTRATION ONLY



ILLUSTRATION ONLY

SERVICE LEGEND				
DRAINAGE				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICAL				
CABLE MANHOLE				
CABLE PIT / BOX				
CABLE DOME				
CONSUMER POLE				
LIGHT POLE				
POWER POLE				
STAY POLE				
STAY WIRE ANCHOR				
O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER				
GAS METER				
GAS VALVE				
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION				
SEWER LINE				
COMMUNICATIONS				
COMMS MANHOLE				
COMMS MARKER				
COMMS CABLE PIT				
WATER				
FLUSH POINT				
HYDRANT				
STOP VALVE				
TAP				
WATER MARKER				
WATER METER				
UNDEFINED				
UNDEFINED MANHOLE				
UNDEFINED PIT				
UNDEFINED SERVICE				
SURVEY				
DATUM				
PEG FOUND				
SURVEY STATION				
TEMPORARY / BENCH MARK				
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
BOLLARD				
WINDOW / DOOR				
BANK - BOTTOM				
BANK - TOP				
LOT SERVICE RECORD				
STATUS	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SEWER CONN.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GAS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER U/G	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER O/H	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				



CW CLAIRE WEBSTER design
 5 Unwin Crescent
 Salter Point WA 6152
 Ph: 0422 401 331
 www.clairewebsterdesign.com.au

PROPOSED	8B BIRDWOOD ROAD, MELVILLE
CLIENT	DELMINICO
PERMIT AUTHORITY	MELVILLE

REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW	
1	20/11/23	ALL	PLANNING REVISIONS	CW	

NOTE:
 LOCAL DATUM USED.
 ARBITRARY HEIGHT ADOPTED RL 10.00.
 NOT TO AHD.

NOTE:
 FEATURE SURVEY UNDERLAY SHOWN IN GREY PROVIDED BY THOMPSON SURVEYING CONSULTANTS. LANDSURVEYS TAKES NO RESPONSIBILITY FOR ITS ACCURACY.

WARNING!
 BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

LOT : 4 (#8) BIRDWOOD ROAD	CLIENT : SCOTT DELMINICO
SUBURB : MELVILLE	PLAN 6148
AUTHORITY : CITY OF MELVILLE	C/T : 1145/605
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.	SURVEYED ON : 31/07/2023
SCALE @ A3 : 1:200	SURVEYOR : DJ
ALL DISTANCES ARE IN METRES	DRAWN : ED
	Land Surveys
JOB NO : 2300863	19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au
PLAN : FS	DRG : 001
REV : A	REV. SHEET : 1 OF 1

LS F 220

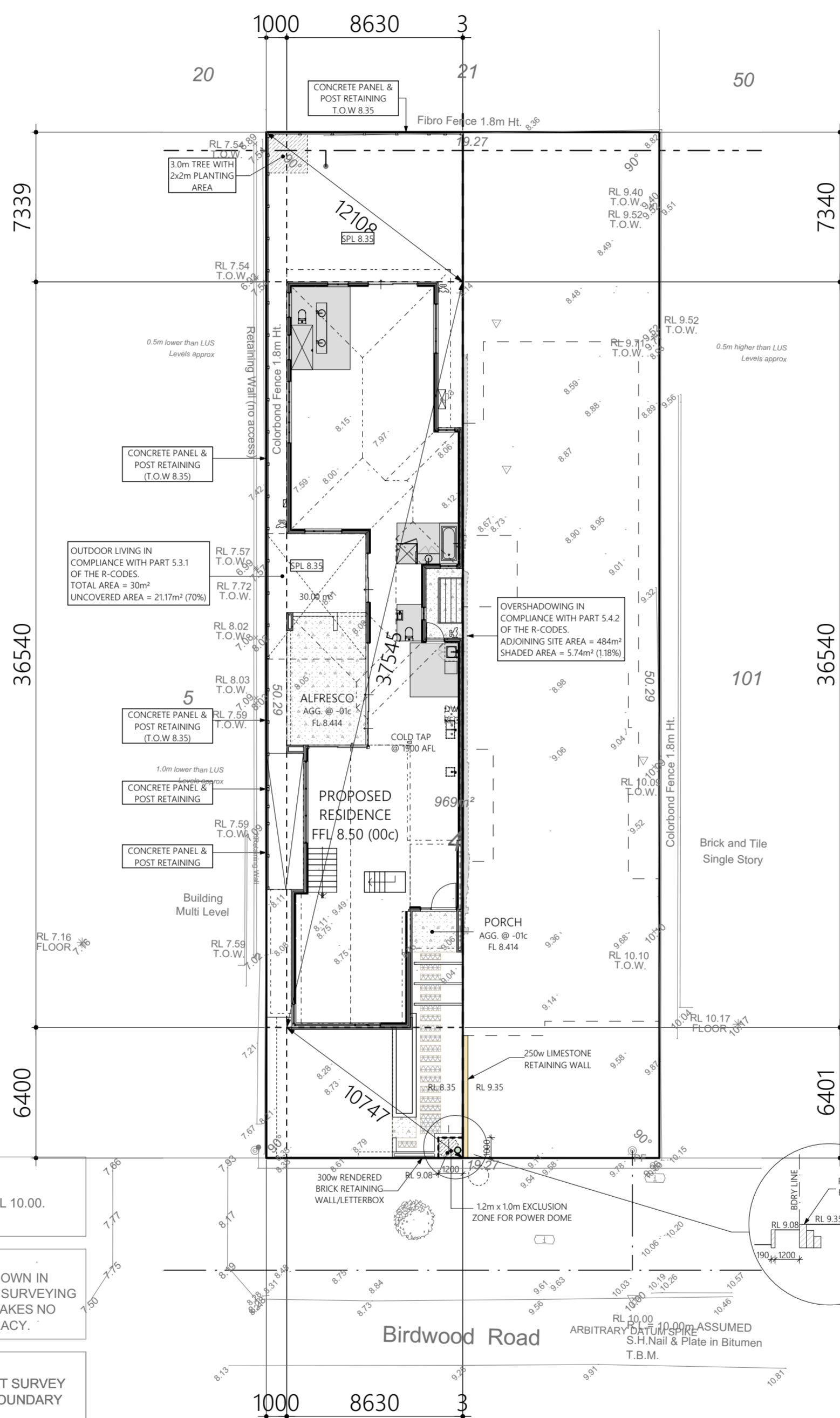
UNDERCROFT SITE PLAN
 1:200

DISCLAIMER:
 PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

DRAWING	UNDERCROFT SITE PLAN	A2
JOB NO:	DELO81	SCALE: 1:200
DWG NO:	DELO81.1	REV NO: 1

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SERVICE LEGEND				
DRAINAGE				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICAL				
CABLE MANHOLE				
CABLE PIT / BOX				
CABLE DOME				
CONSUMER POLE				
LIGHT POLE				
POWER POLE				
STAY POLE				
STAY WIRE ANCHOR				
O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER				
GAS METER				
GAS VALVE				
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION				
SEWER LINE				
COMMUNICATIONS				
COMMS MANHOLE				
COMMS MARKER				
COMMS CABLE PIT				
WATER				
FLUSH POINT				
HYDRANT				
STOP VALVE				
TAP				
WATER MARKER				
WATER METER				
UNDEFINED				
UNDEFINED MANHOLE				
UNDEFINED PIT				
UNDEFINED SERVICE				
SURVEY				
DATUM				
PEG FOUND				
SURVEY STATION				
TEMPORARY / BENCH MARK				
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
BOLLARD				
WINDOW / DOOR				
BANK - BOTTOM				
BANK - TOP				
LOT SERVICE RECORD				
STATUS	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER				
SEWER CONN.				
GAS				
COMMS				
POWER U/G				
POWER O/H				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				



SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	484.35m ²
SITE COV. AREA	252.19m ²
SITE COVER = 52.1%	

NOTE:
LOCAL DATUM USED.
ARBITRARY HEIGHT ADOPTED RL 10.00.
NOT TO AHD.

NOTE:
FEATURE SURVEY UNDERLAY SHOWN IN GREY PROVIDED BY THOMPSON SURVEYING CONSULTANTS. LANDSURVEYS TAKES NO RESPONSIBILITY FOR ITS ACCURACY.

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

CW CLAIRE WEBSTER design

5 Unwin Crescent
Salter Point WA 6152
Ph: 0422 401 331
www.clairewebsterdesign.com.au

PROPOSED	8B BIRDWOOD ROAD, MELVILLE
CLIENT	DELMINICO
PERMIT AUTHORITY	MELVILLE

REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW	
1	20/11/23	ALL	PLANNING REVISIONS	CW	

LOT : 4 (# 8) BIRDWOOD ROAD	CLIENT : SCOTT DELMINICO
SUBURB : MELVILLE	PLAN 6148
AUTHORITY : CITY OF MELVILLE	C/T : 1145/605
BUILDERS / CLIENTS: SITE SURVEY Only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repag. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.	SURVEYED ON : 31/07/2023
SCALE @ A3 : 1:200	SURVEYOR : DJ
ALL DISTANCES ARE IN METRES	DRAWN : ED
	Land Surveys
JOB No : 2300863	19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au
PLAN: FS	DRG: 001
REV: A	SHEET 1 OF 1

LS F 220

SITE PLAN
1:200

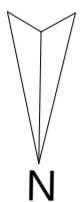
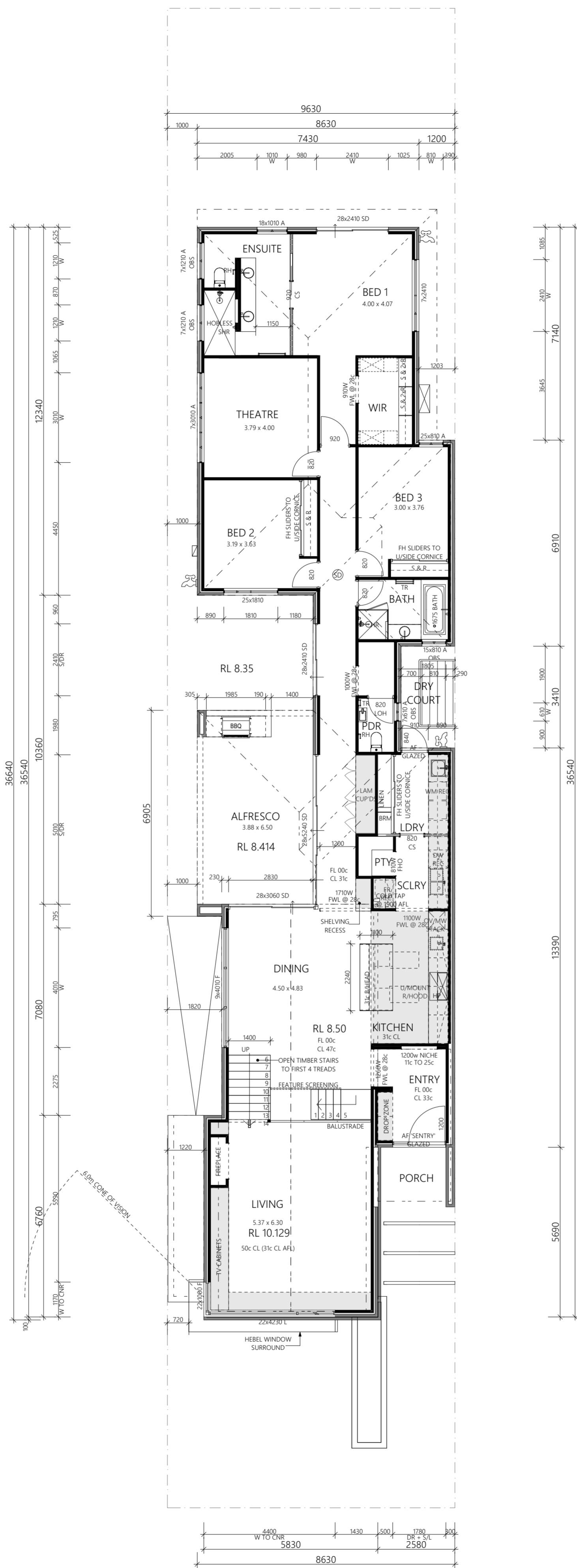
DISCLAIMER:
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DRAWING	SITE PLAN	A2
JOB NO:	DELO81	SCALE 1:200
DWG NO:	DELO81.2	REV NO: 1

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- FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
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- LOCATION OF THE SMOKE ALARM DEVICES SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXHAUSTED TO THE EXTERNAL AIR
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS, REFER TO ENG. DRWS.
- ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 120mm RESTRICTED OPENINGS AS PER AS 2019 NCC2019, VOL2 SECTION 3.9.2.5 'PROTECTION OF OPENABLE WINDOWS'
- SC - DENOTES STRUCTURAL COLUMN
- PWP - DENOTES PERTH WIND POST
- DP - DENOTES SHS DROPPER/ SHS
- REFER ENGINEER'S DETAILS



GROUND FLOOR PLAN
1:100

AREAS		
AREAS	AREA (m ²)	PERIM (m)
BASEMENT FLOOR		
GARAGE	50.13	28.92
	50.13 m ²	
GROUND FLOOR		
FLOOR AREA	238.46	101.26
ALFRESCO	25.22	
PORCH	5.16	
TOTAL GF AREA:	268.84 m ²	
TOTAL OVERALL:	318.97 m ²	

ROOF AREAS		
AREAS	AREA (m ²)	PERIM (m)
GF ROOF	274.52	102.26
	274.52 m ²	102.26 m

PERMIT AUTHORITY	PROPOSED	88 BIRDWOOD ROAD, MELVILLE	DRAWING	GROUND FLOOR PLAN	A2
	CLIENT	DELMENICO	JOB NO:	DEL081	SCALE: 1:100
			DWG NO:	DEL081.4	REV NO: 1
		MELVILLE	COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster		


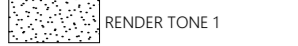
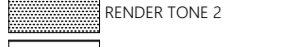
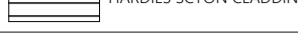
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1	20/11/23	ALL	PLANNING REVISIONS	CW													



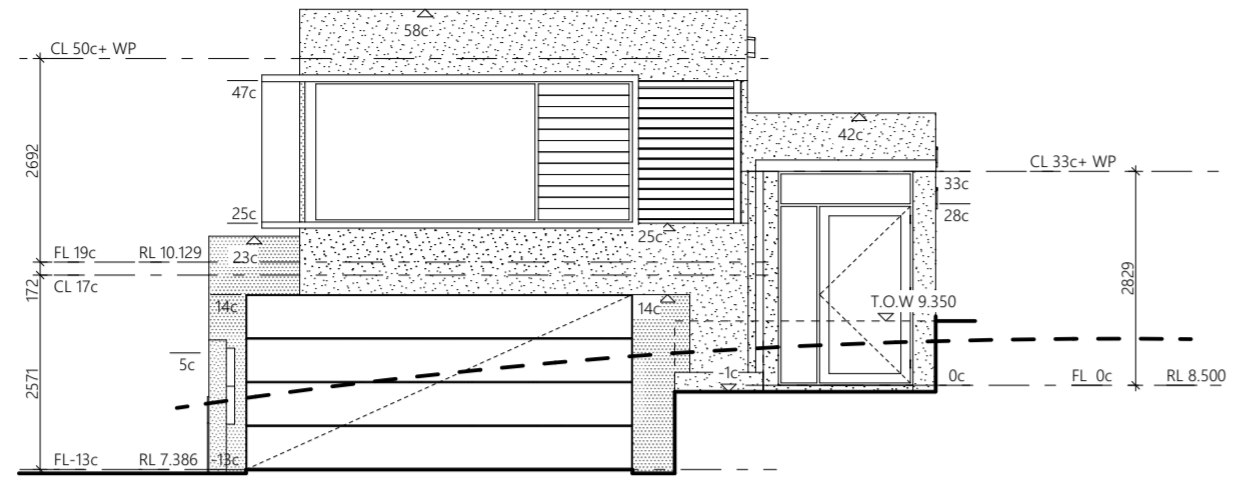
5 Unwin Crescent
Salter Point WA 6152
Ph: 0422 401 331
www.clairewebsterdesign.com.au

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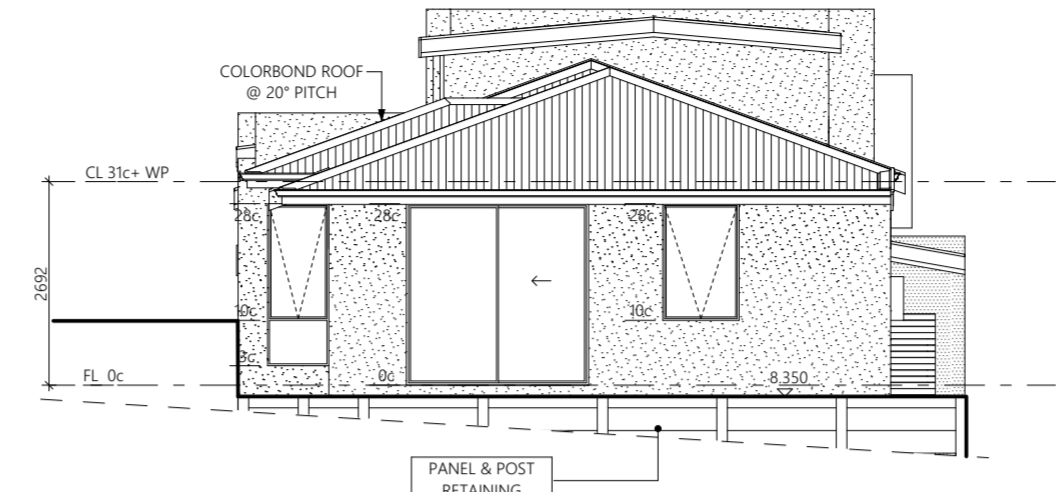
EXTERNAL WALL LEGEND

-  2c FACE BRICK (1/3 BOND)
-  RENDER TONE 1
-  RENDER TONE 2
-  HARDIES SCYON CLADDING

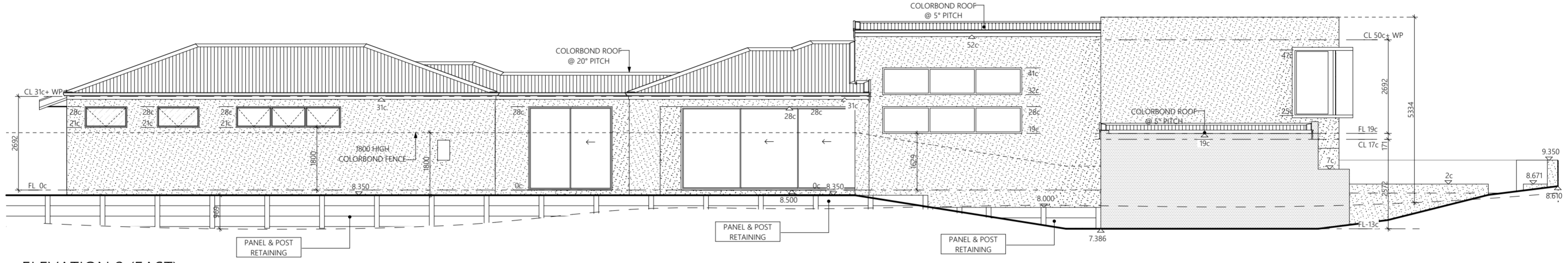
ROOF COVER
 COLORBOND
 20° PITCH (UNLESS OTHERWISE NOTED)



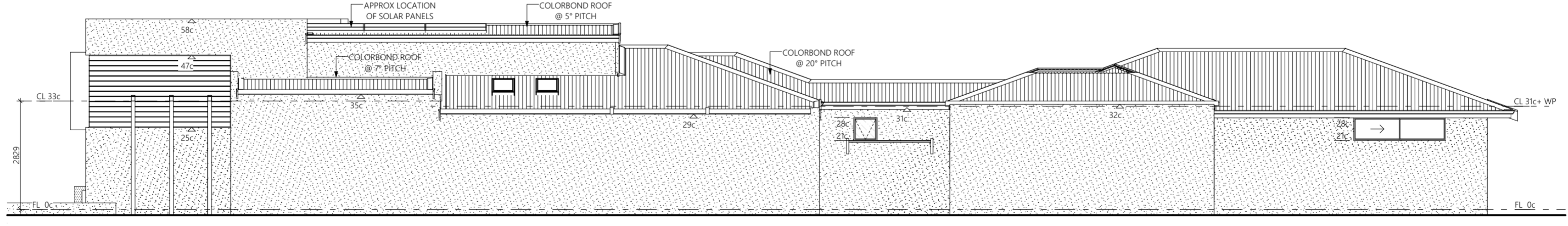
ELEVATION 1 (NORTH)
 1:100



ELEVATION 3 (SOUTH)
 1:100



ELEVATION 2 (EAST)
 1:100

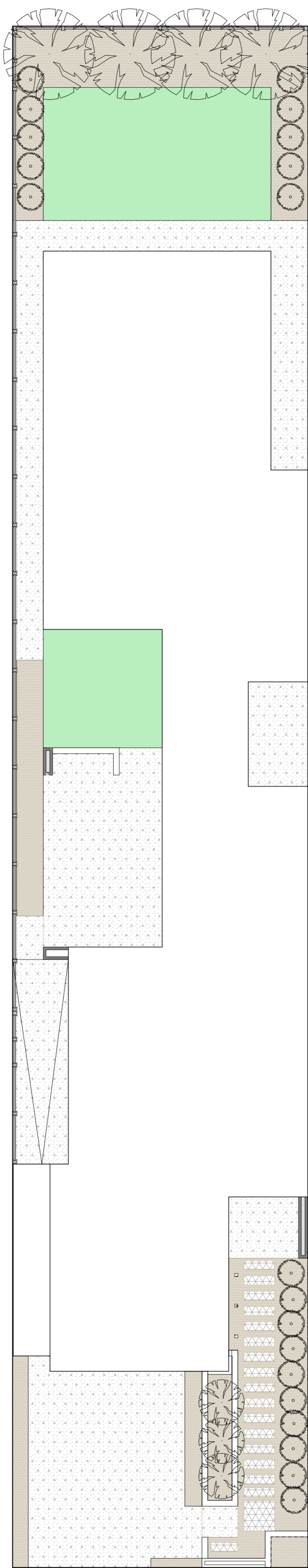


ELEVATION 4 (WEST)
 1:100

PROPOSED	88 BIRDWOOD ROAD, MELVILLE	DRAWING	ELEVATIONS	A2
	DELMEINICO	JOB NO:	DEL081	SCALE: 1:100
CLIENT	MELVILLE	DWG NO:	DEL081.5	REV NO: 1
PERMIT AUTHORITY	MELVILLE	COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster		

REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW													
1	20/11/23	ALL	PLANNING REVISIONS	CW													

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LANDSCAPING LEGEND	
	EXPOSED AGGREGATE SLOPED TOWARDS LANDSCAPING STRIPS & GRASSED AREAS
	GARDEN BED WITH 150mm DEEP MULCH
	TURF 'SIR WALTER BUFFALO'
	PERMEABLE PAVERS

LANDSCAPING PLAN
1:100

BIRDWOOD ROAD

PERMIT AUTHORITY	PROPOSED	8B BIRDWOOD ROAD, MELVILLE	DRAWING	LANDSCAPING PLAN	A2	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
	CLIENT		DELMEINICO	JOB NO:	DEL081	SCALE:	1:100	0	03/08/23	ALL	ISSUED FOR PLANNING	CW	1	20/11/23	ALL	PLANNING REVISIONS	CW												
			DWG NO:	DEL081.12	REV NO:	1																							
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PROPOSED DELMENICO RESIDENCE

8A BIRDWOOD ROAD,
MELVILLE

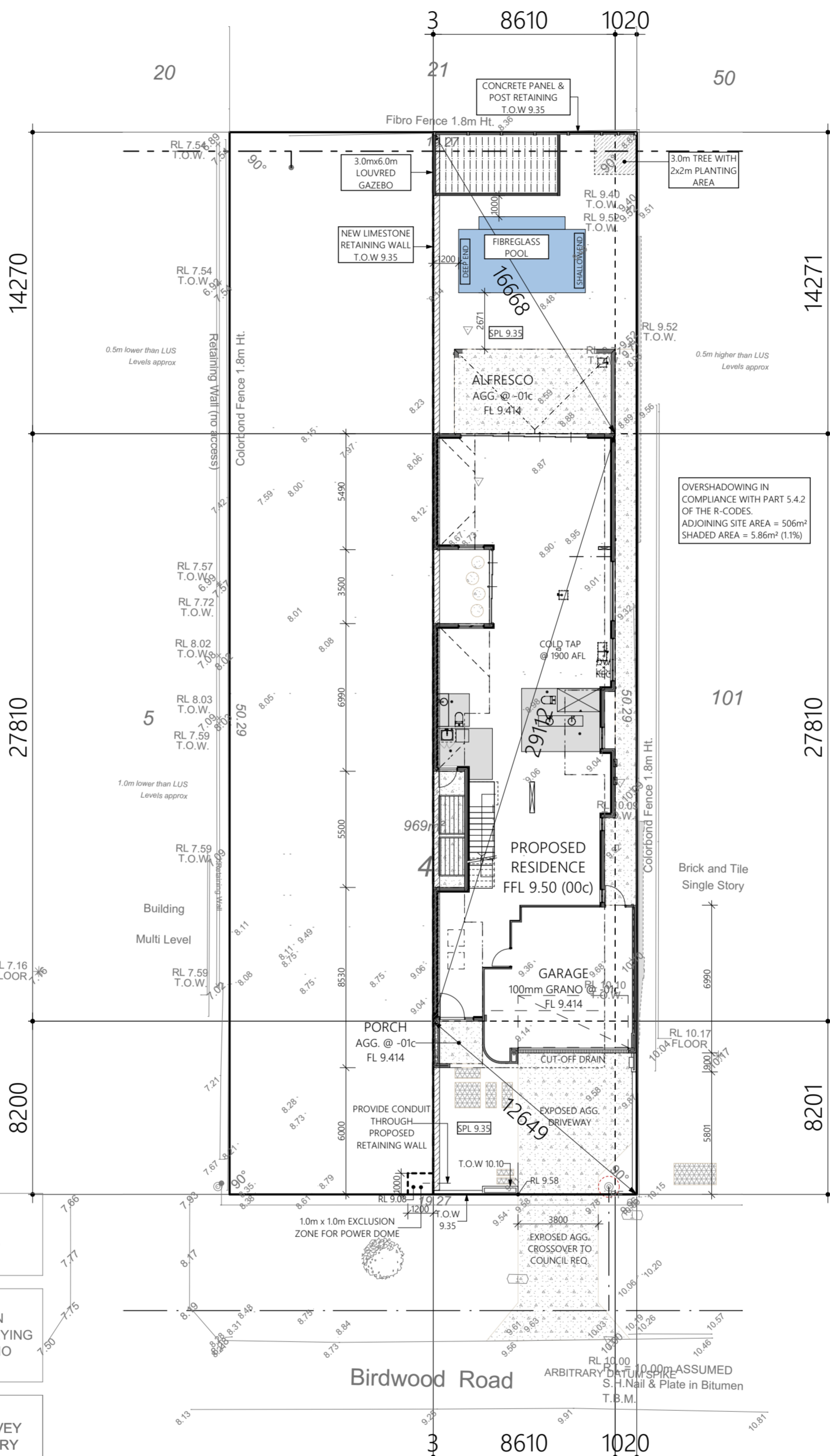


ILLUSTRATION ONLY



ILLUSTRATION ONLY

SERVICE LEGEND				
DRAINAGE				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICAL				
CABLE MANHOLE				
CABLE PIT / BOX		ECP	ECB	
CABLE DOME				
CONSUMER POLE		CP		
LIGHT POLE		LP		
POWER POLE		PP		
STAY POLE		SP		
STAY WIRE ANCHOR		SWA		
O/H POWER LINE				
GAS				
GAS MANHOLE		G		
GAS MARKER		GM		
GAS METER		GM		
GAS VALVE		GV		
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION		PC		
SEWER LINE				
COMMUNICATIONS				
COMMS MANHOLE				
COMMS MARKER		C		
COMMS CABLE PIT		CCP		
WATER				
FLUSH POINT		FP		
HYDRANT		HY		
STOP VALVE		SV		
TAP		TAP		
WATER MARKER		W		
WATER METER		M		
UNDEFINED				
UNDEFINED MANHOLE		UM		
UNDEFINED PIT		UP		
UNDEFINED SERVICE		US		
SURVEY				
DATUM				
PEG FOUND		PF		
SURVEY STATION				
TEMPORARY / BENCH MARK		TBM / BM		
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
BOLLARD		B		
WINDOW / DOOR		1ST		
BANK - BOTTOM				
BANK - TOP				
LOT SERVICE RECORD				
SERVICE	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
	WATER			
SEWER CONN.				
GAS				
COMMS				
POWER U/G				
POWER O/H				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				



SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	484.36m ²
SITE COV. AREA	244.21m ²
SITE COVER = 50.4%	

NOTE:
LOCAL DATUM USED.
ARBITRARY HEIGHT ADOPTED RL 10.00.
NOT TO AHD.

NOTE:
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WARNING!
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CW CLAIRE WEBSTER design

5 Unwin Crescent
Salter Point WA 6152
Ph: 0422 401 331
www.clairewebsterdesign.com.au

PROPOSED	8A BIRDWOOD ROAD, MELVILLE
CLIENT	DELMINICO
PERMIT AUTHORITY	MELVILLE

REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW	
1	20/11/23	ALL	PLANNING REVISIONS	CW	

LOT : 4 (# 8) BIRDWOOD ROAD	CLIENT : SCOTT DELMINICO
SUBURB : MELVILLE	PLAN 6148
AUTHORITY : CITY OF MELVILLE	C/T : 1145/605
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.	Land Surveys 19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au
SCALE @ A3 : 1:200 ALL DISTANCES ARE IN METRES	JOB No : 2300863 - FS - 001 - A 1 OF 1

LS F 220

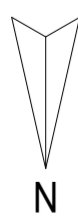
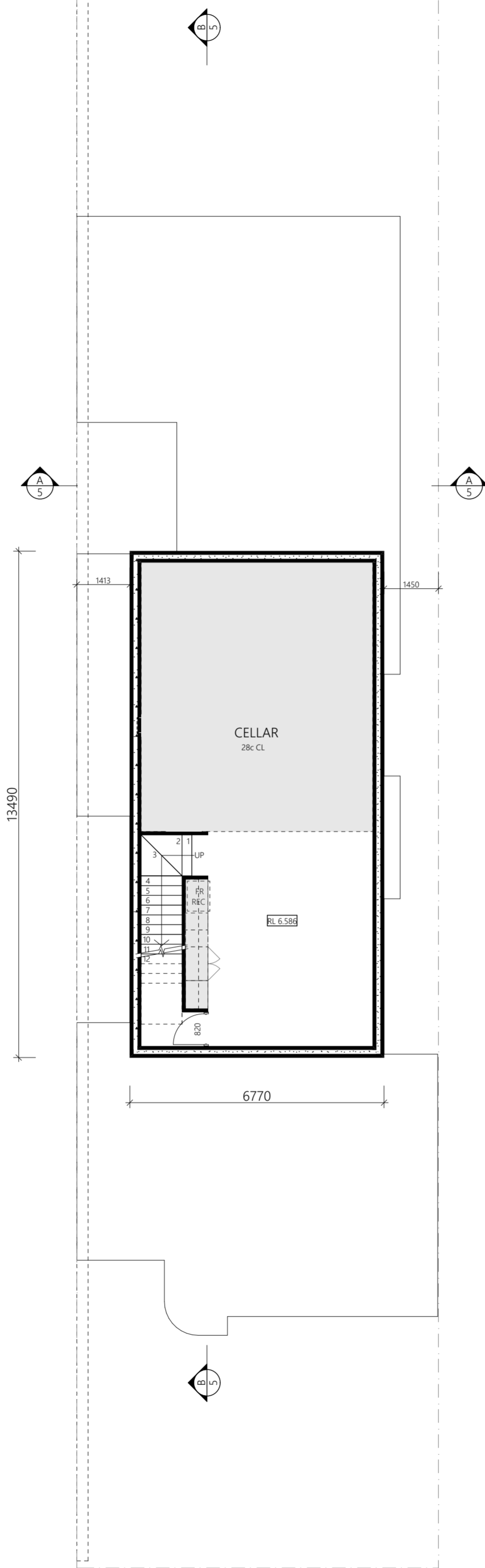
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DRAWING	SITE PLAN	A2
JOB NO:	DEL078	SCALE 1:200
DWG NO:	DEL078.1	REV NO: 1

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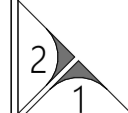
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- SC - DENOTES STRUCTURAL COLUMN
- PWP - DENOTES PERTH WIND POST
- DP - DENOTES SHS DROPPER/ SHS
- REFER ENGINEER'S DETAILS



BASEMENT PLAN

1:100



AREAS		
	AREA (m ²)	PERIM (m)
BASEMENT FLOOR	91.33	40.52
FLOOR AREA	91.33 m ²	
GROUND FLOOR	189.21	82.12
FLOOR AREA	46.43	
GARAGE	30.44	
ALFRESCO	4.68	
PORCH	270.76 m ²	
TOTAL GF AREA:		
FIRST FLOOR	158.15	73.02
FLOOR AREA	14.45	
BALCONY	172.60 m ²	
TOTAL FF AREA:	534.69 m ²	
TOTAL OVERALL:		
ROOF AREAS		
	AREA (m ²)	PERIM (m)
GF ROOF	96.39	67.96
FF ROOF	200.75	83.83
	297.14 m ²	151.79 m

PERMIT AUTHORITY	PROPOSED	8A BIRDWOOD ROAD, MELVILLE	DRAWING	BASEMENT PLAN	A2
	CLIENT	DELMENICO	JOB NO:	DEL078	SCALE: 1:100
			DWG NO:	DEL078.2	REV NO: 1
		MELVILLE	COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster		

REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW													
1	20/11/23	ALL	PLANNING REVISIONS	CW													

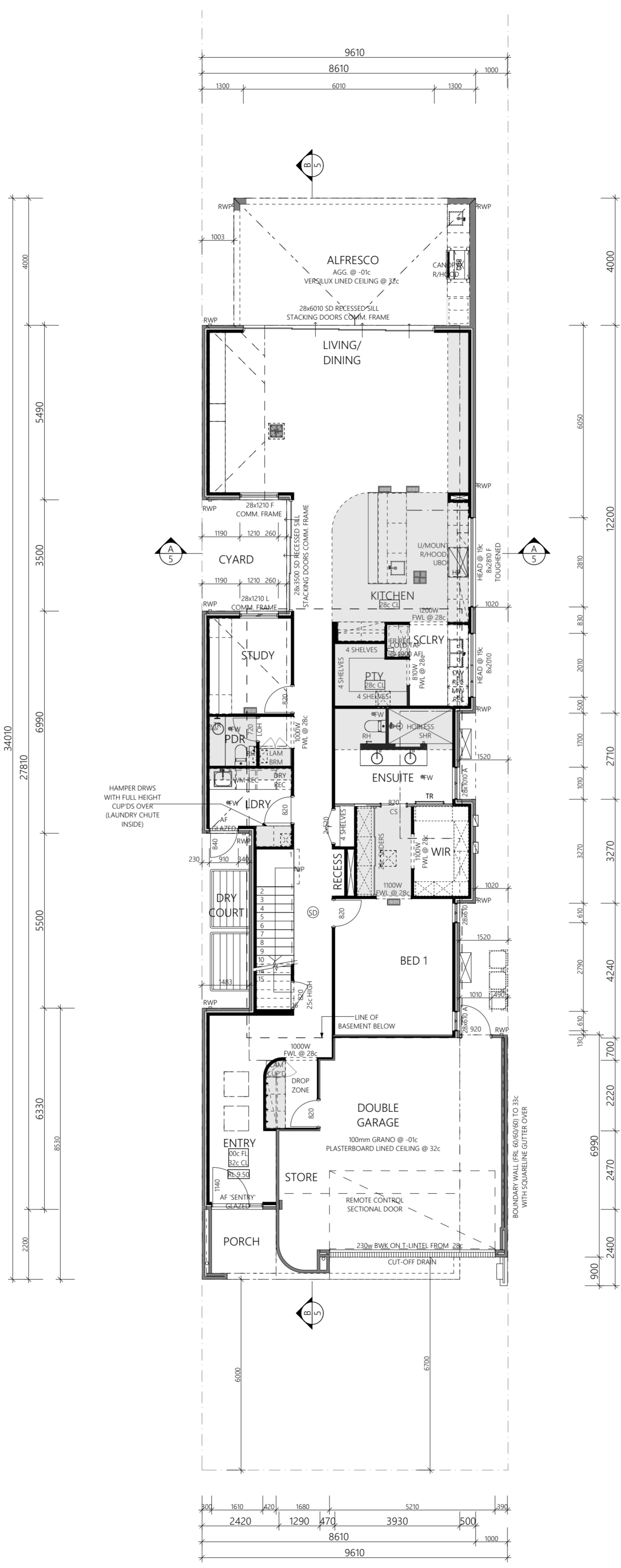
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- SC - DENOTES STRUCTURAL COLUMN
- PWP - DENOTES PERTH WIND POST
- DP - DENOTES SHS DROPPER/ SHS
- REFER ENGINEER'S DETAILS



GROUND FLOOR PLAN
1:100

AREAS		
	AREA (m ²)	PERIM (m)
BASEMENT FLOOR		
FLOOR AREA	91.33	40.52
GROUND FLOOR		
FLOOR AREA	189.21	82.12
GARAGE	46.43	
ALFRESCO	30.44	
PORCH	4.68	
TOTAL GF AREA:	270.76 m²	
FIRST FLOOR		
FLOOR AREA	158.15	73.02
BALCONY	14.45	
TOTAL FF AREA:	172.60 m²	
TOTAL OVERALL:	534.69 m²	
ROOF AREAS		
	AREA (m ²)	PERIM (m)
GF ROOF	96.39	67.96
FF ROOF	200.75	83.83
	297.14 m²	151.79 m

PERMIT AUTHORITY	PROPOSED	8A BIRDWOOD ROAD, MELVILLE	DRAWING	GROUND FLOOR PLAN	A2
	CLIENT	DELMENICO	JOB NO.:	DEL078	SCALE: 1:100
			DWG NO.:	DEL078.3	REV NO.: 1
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REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW													
1	20/11/23	ALL	PLANNING REVISIONS	CW													

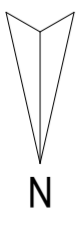
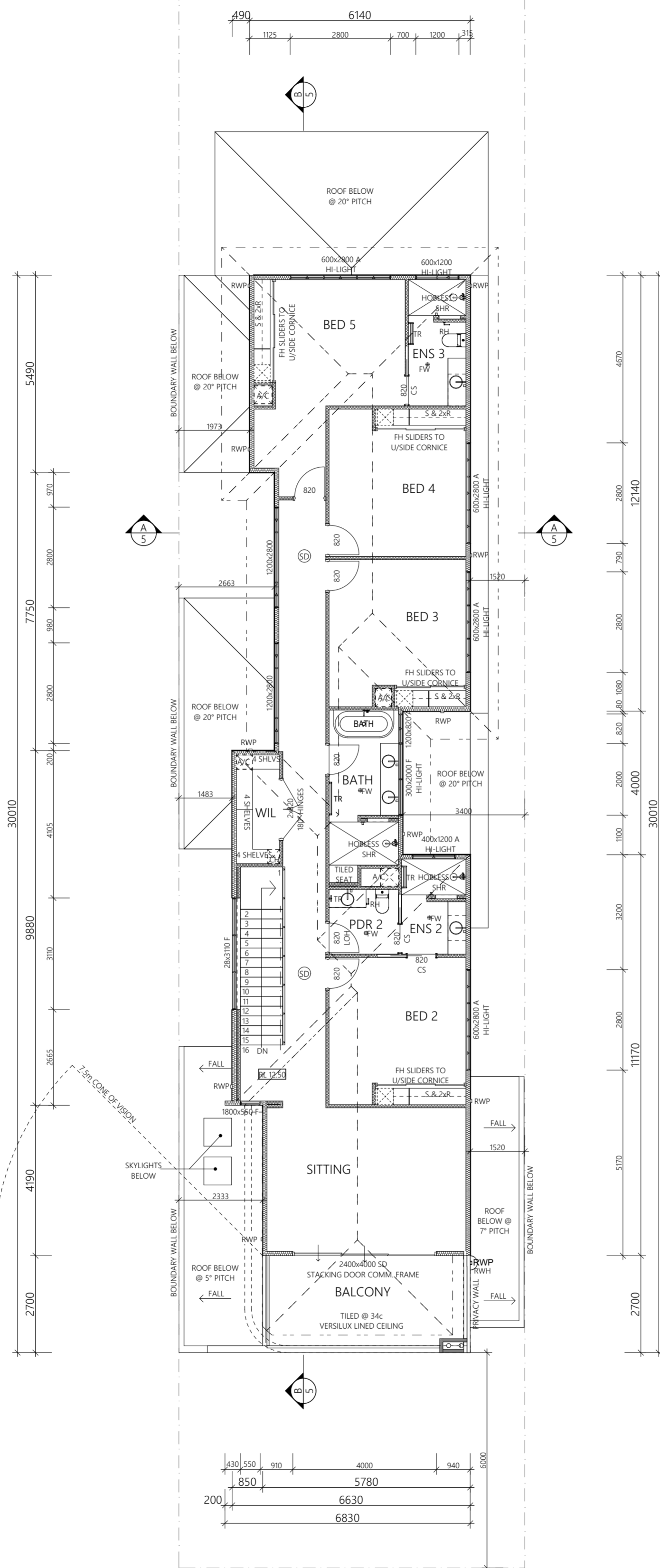


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DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

GENERAL NOTES:

- FINAL HOUSE POSITION IS SUBJECT TO COUNCIL AND / OR DEVELOPER APPROVAL
- FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
- SMOKE ALARM DEVICES SHALL BE INSTALLED TO COMPLY WITH AS3786-2014 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STANDBY POWER SUPPLY
- LOCATION OF THE SMOKE ALARM DEVICES SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXHAUSTED TO THE EXTERNAL AIR
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS, REFER TO ENG. DRWS.
- ALL FIRST FLOOR BEDROOM WINDOWS TO HAVE 120mm RESTRICTED OPENINGS AS PER AS 2019 NCC2019, VOL2 SECTION 3.9.2.5 'PROTECTION OF OPENABLE WINDOWS'
- SC - DENOTES STRUCTURAL COLUMN
- PWP - DENOTES PERTH WIND POST
- DP - DENOTES SHS DROPPER/ SHS
- REFER ENGINEER'S DETAILS



FIRST FLOOR PLAN
1:100

AREAS		
	AREA (m ²)	PERIM (m)
BASEMENT FLOOR		
FLOOR AREA	91.33	40.52
TOTAL BF AREA:	91.33 m ²	
GROUND FLOOR		
FLOOR AREA	189.21	82.12
GARAGE	46.43	
ALFRESCO	30.44	
PORCH	4.68	
TOTAL GF AREA:	270.76 m ²	
FIRST FLOOR		
FLOOR AREA	158.15	73.02
BALCONY	14.45	
TOTAL FF AREA:	172.60 m ²	
TOTAL OVERALL:	534.69 m ²	
ROOF AREAS		
	AREA (m ²)	PERIM (m)
GF ROOF	96.39	67.96
FF ROOF	200.75	83.83
TOTAL ROOF AREA:	297.14 m ²	151.79 m

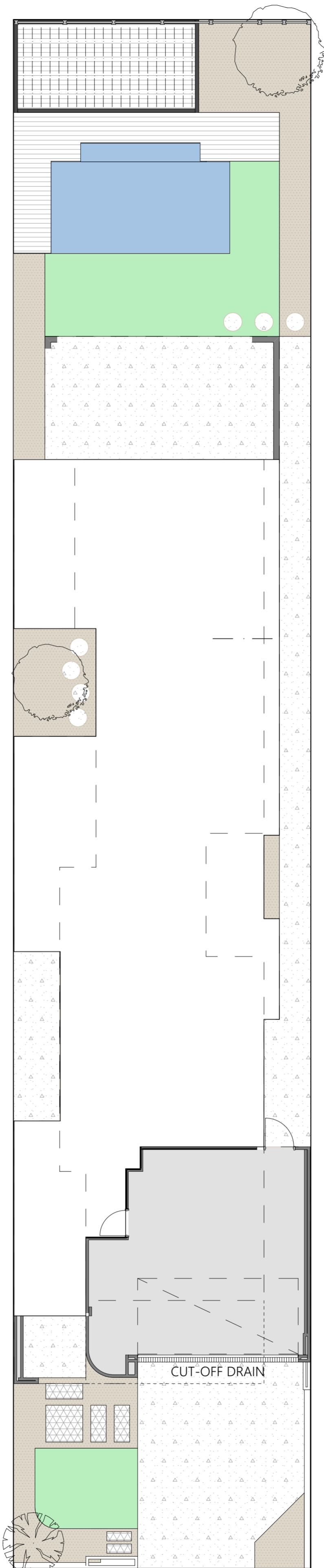
PERMIT AUTHORITY	PROPOSED	8A BIRDWOOD ROAD, MELVILLE	DRAWING	FIRST FLOOR PLAN	A2
	CLIENT	DELMENICO	JOB NO.:	DEL078	SCALE: 1:100
			DWG NO.:	DEL078.4	REV NO.: 1
		MELVILLE	COPYRIGHT: This design & drawing remains the sole property of Claire Webster Design and shall not be copied, sold or circulated in any format without express written consent from Claire Webster		

REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH	REV	DATE	SHEET	DESCRIPTION	DR	CH
0	03/08/23	ALL	ISSUED FOR PLANNING	CW													
1	20/11/23	ALL	PLANNING REVISIONS	CW													




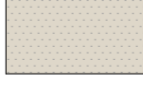


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BIRDWOOD ROAD

LANDSCAPING LEGEND

-  EXPOSED AGGREGATE SLOPED TOWARDS LANDSCAPING STRIPS & GRASSED AREAS
-  GARDEN BED WITH 150mm DEEP MULCH
-  TURF 'SIR WALTER BUFFALO'
-  PERMEABLE PAVERS



CW CLAIRE WEBSTER design

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PROPOSED	8A BIRDWOOD ROAD, MELVILLE
CLIENT	DELMENICO
PERMIT AUTHORITY	MELVILLE

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DRAWING	LANDSCAPING PLAN	SCALE	A2
JOB NO:	DEL078	SCALE	1:100
DWG NO:	DEL078.16	REV NO:	1

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