

PROPOSED SURVEY STRATA SUBDIVISION

NOTE: ALL DASHED FEATURES TO BE DEMO; ALL SOLID FEATURES TO REMAIN

NOTE: THIS IS A PROPOSED SKETCH ONLY AND SHOULD NOT BE USED FOR FINAL DIMENSIONS AND AREAS FOR SELLING PURPOSES OR FOR DESIGNING A NEW HOUSE(S) TO FIT ON THE PROPOSED LOTS

SITE COVERAGE

ZONED R40
% ALLOWED 55%
SITE AREA 200.06m²
SITE COV. AREA 117.28m²

SITE COVER = 58.6%

No.	Soak Well Type
2.7 m3	2 SW 1200x1200
2.7 m3	Total Capacity
57.8 m2	Roof Area GF
30.5 m2	Paved Area
98.2 m2	Roof Area UF
186.5 m2	Total Area
2.3 m3	Capacity Required (Area x 0.0125)
0.4 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

OVERSHADOWING DIAGRAM:

SHADOW CAST ON JUNE 21ST AT 12 PM

NEIGHBOURING LOT XX SIZE: XXm2
OVERSHADOWING: 76.15m2

CONCRETE NOTE:

SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN). MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS. LOCATION OF SOAKWELLS ARE INDICATIVE ONLY AND MAY CHANGE AT THE DISCRETION OF THE PLUMBER.

SITE CLASSIFICATION : TBA
FOOTING DETAIL : TBA
WIND CATEGORY : TBA
CORROSION CLASS : TBA

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH HOUSING PROVISIONS PART 3.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

ELECTRICAL NOTE:

3 - PHASE POWER

PLUMBERS NOTE:

REFLUX VALVE TO SEWER JUNCTION FOR HOBLESS SHOWERS.

PRELAY NOTE:

PLUMBING PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN.

- LOCATION OF SERVICES

Proposed Panel Panel & Post Retaining (required)

SERVICES:

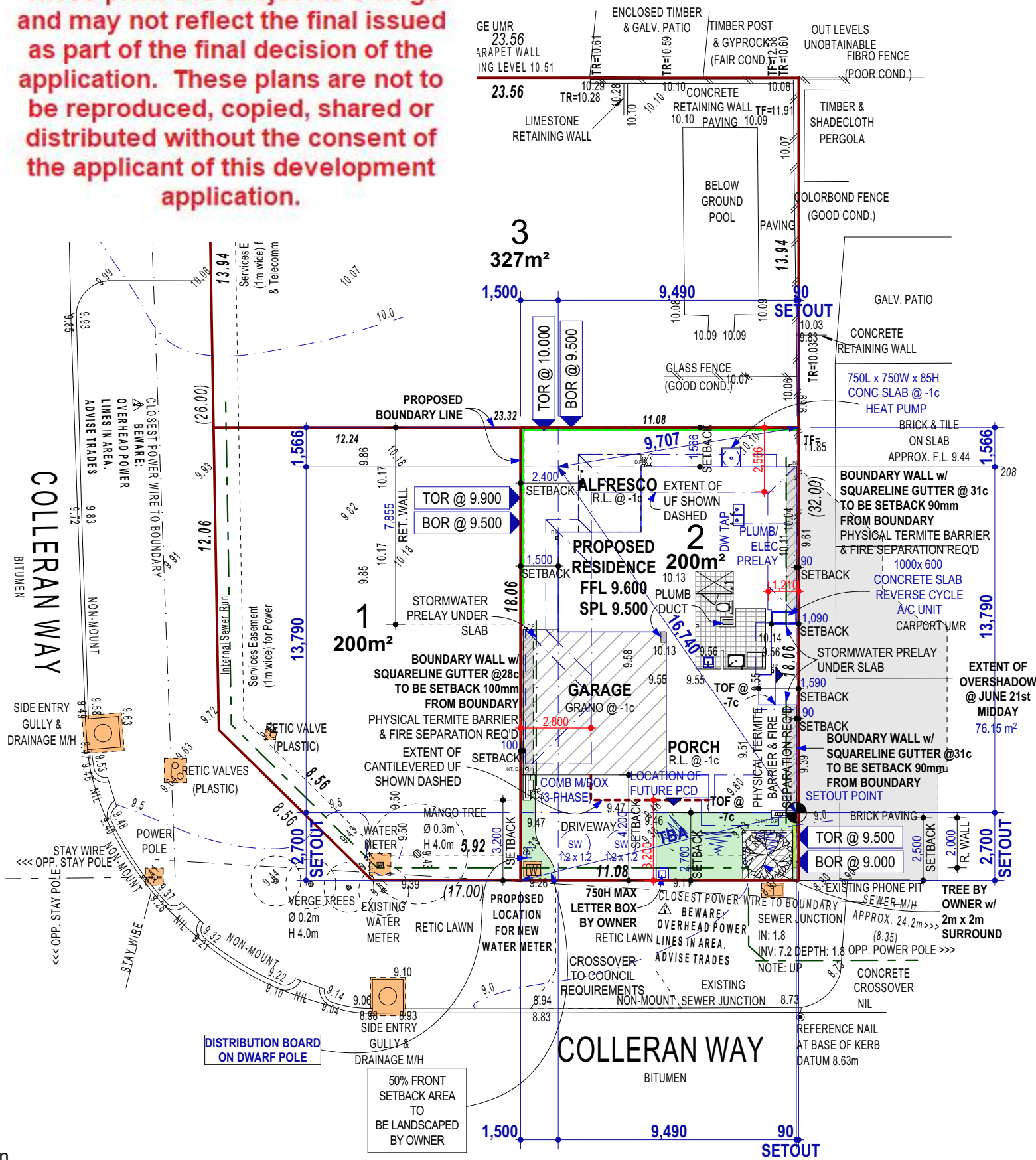
SEWER: Existing junction via direct connection to main; Lots 1 & 3 via existing junction & Easement
GAS: All lots to connect directly to main
POWER: Via existing pillar; Lots 1 & 2 via Easement
TELECOMMUNICATIONS: Via existing pits; Lot 1 via Easement

ORIGINAL AREAS

LOT 209 = 727m²
ZONING = R40
No. OF EXISTING LOTS = 1
No. OF PROPOSED LOTS = 3

PROPOSED BOUNDARIES
EXISTING BOUNDARIES

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NOTE: 100mm SLAB REQUIRED (TBA)

NOTE: PROPOSED LOT NUMBERS, AREAS AND DIMENSIONS ARE ALL SUBJECT TO FINAL LICENSED SURVEY AND TITLES AUTHORITY EXAMINATION

PROPOSED SURVEY STRATA SUBDIVISION:
LOT 209 (#17) COLLERAN WAY, BOORAGOON
CITY OF MELVILLE
PLAN 12418 VOL. 1508 FOL. 268
DATE 29/05/2025, SCALE 1:200 AT A3

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:

REV: DESCRIPTION: INT: DATE:
'1' CONTRACT DRAWINGS TD/CM 04.05.2026
+SV01 (ITEMS 1-10)

CLIENT:

NIKOLIC

SITE ADDRESS:

SSL2, LOT 209 (#17) COLLERAN WAY
BOORAGOON WA 6154

SALES:

SS

DRAWN: TD/CM

CHECKED: KB

CUSTOM

SITE PLAN

DATE: 5/05/2026

SCALE: 1:200

REVISION N°:

01

SHEET N°:

03 of 17

JOB N°:

2602010R

