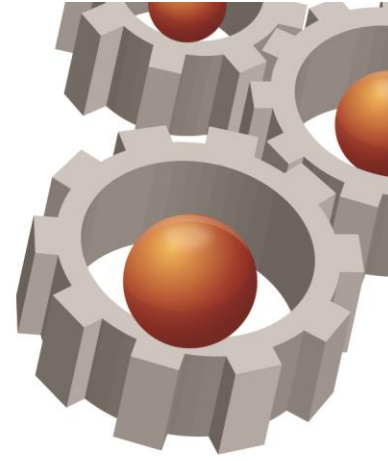




DYNAMIC PLANNING
AND DEVELOPMENTS



Our Ref: 1492

5 May 2022

Chief Executive Officer
City of Melville
Locked Bag 1
Booragoon WA 6954

Attention: Mr. Gavin Davey – Gavin.Davey@melville.wa.gov.au

Dear Sir,

LOT 70 (NO. 4) FRASER ROAD, APPLECROSS
PROPOSED SINGLE HOUSE

Dynamic Planning and Developments Pty Ltd, in unison with the Applicant, Urbane Projects, acts on behalf of the registered proprietor of Lot 70 (No. 4) Fraser Road, Applecross (herein referred to as the 'subject site') in support of a current development application for a 'Single House'.

It is understood that variations to the applicable deemed to comply requirements outlined within the provisions of the R-Codes and the City's Local Planning Policy 1.9 – Height of Buildings have been identified as part of the City's assessment of the 'Single House' development application. It is understood that the variations of concern relate to:

- Building Height; and
- Visual Privacy.

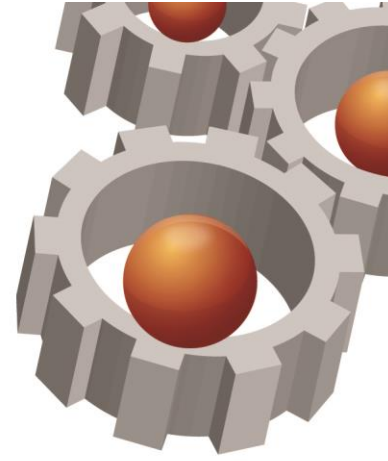
In response to the identified variations, we offer this concise letter that addresses the development's compliance with the design principles applicable to each of the abovementioned design elements. Included in this justification letter is:

- A revised set of development plans (**Attachment 1**); and
- A comparison between the proposed development and a 'deemed to comply' development (**Attachment 2**).

For ease of reference we have addressed each of the variations raised by the City separately in subsequent sections of this letter. It is considered that in light of the relevant justification that has been provided, the proposed variations are appropriate for approval.

| Suite 15/29 Collier Road Morley WA 6062 | P.O. Box 688 Inglewood WA 6932 † (08) 9275 4433 ‡ (08) 9275 4455

DYNAMIC CREATIVE PROACTIVE INNOVATIVE PASSIONATE



Building Height

The applicable building height requirements are outlined in the City's Local Planning Policy 1.9 – Building Heights (LPP1.9). This policy specifies that the relevant building height requirements for the subject site, which has a designated density coding of R12.5, are:

- 9m to the top of an external wall where a concealed roof is proposed; and
- 10.5m overall.

Due to the sloping topography present at the subject site, compliance with the abovementioned requirements are close to impossible on the northern portion of the subject site which is evident in the existing non-compliant development north of Fraser Road. With this in mind, the focus for our assessment and justification is the built form proposed adjacent to the Fraser Road streetscape as this will have the most potential impact on adjoining development and the views of significance. With this in mind, the proposed development exceeds the allowed 9m building height requirement for external walls but complies with the allowed maximum overall building height of 10.5m which has been highlighted below in Figures 1 and 2.

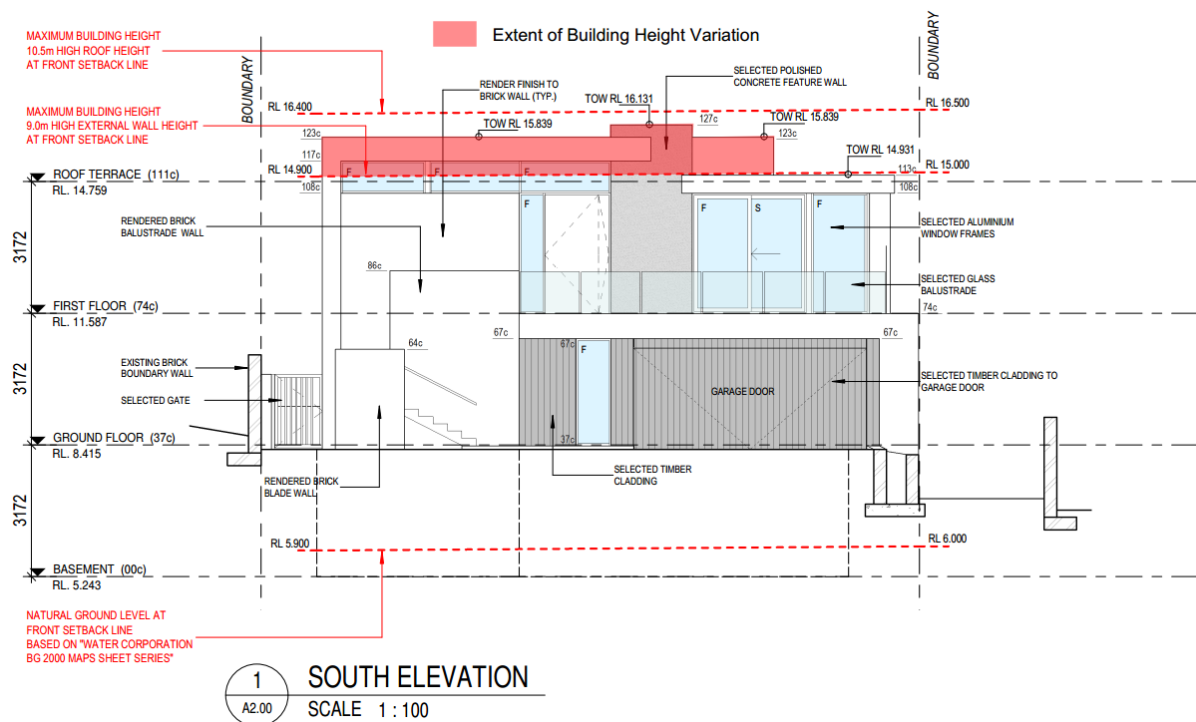


Figure 1 – Building Height Variation (View from Fraser Road)

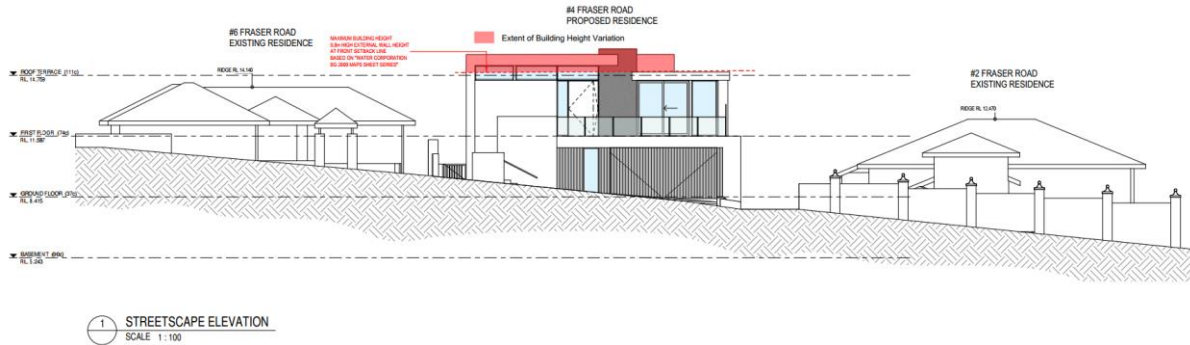
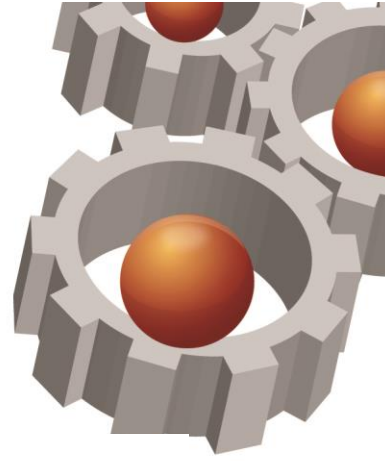


Figure 2 – Building Height Variation

In assessing the appropriateness of the proposed building height variation, consideration of the relevant design principle noted in State Planning Policy 7.3 – Residential Design Codes (Volume 1) related to Clause 5.1.6 – Building Height is warranted. This has been summarised below for ease of reference:

‘Building height that creates no adverse impact on the amenity of the adjoining properties or the streetscape, including road reserves and public open space reserves; and where appropriate maintains:

- Adequate access to direct sun into buildings and appurtenant open spaces;
- Adequate daylight to major openings into habitable rooms; and
- Access to views of significance.’

It is considered that the proposed development meets the relevant design principle relating to building height for the following reasons:

1. The development, whilst exceeding the allowed external wall height actually complies with the overall allowed building height of 10.5m at the street boundary with Fraser Road which indicates that the height of the single house is within an acceptable limit and is consistent with the adjoining properties and streetscape along Fraser Road, which is evident in Figure 3 below.

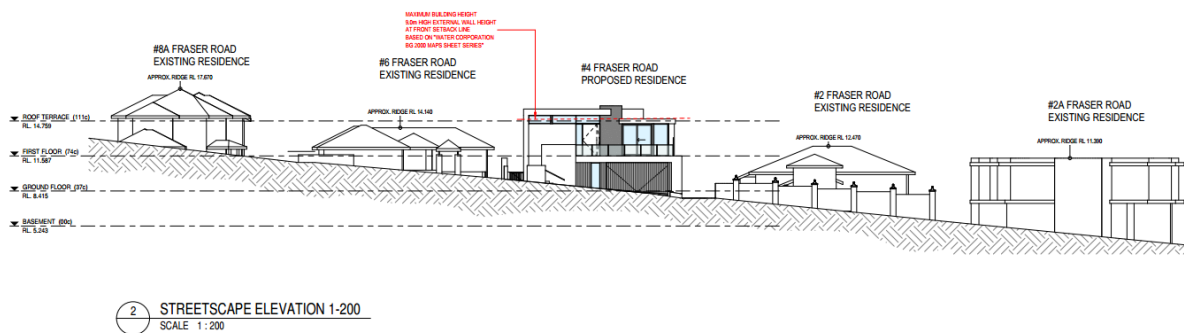
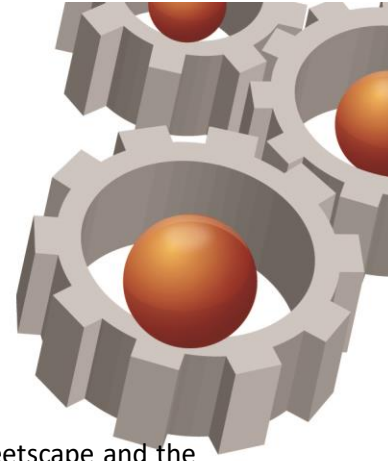


Figure 3 – Streetscape Elevation



2. Despite the topography falling dramatically away from the Fraser Road streetscape and the building height variation being exacerbated as the built form moves toward the river, there are no overshadowing impacts (to adjoining properties) over and above what is compliant under the deemed to comply requirements outlined in State Planning Policy 7.3 – Residential Design Codes (Volume 1), which is primarily a result of the north to south orientation of the subject site and adjoining properties. Further, any overshadowing will only impact an access and parking area on the adjoining property to the west at 6 Fraser Road and the vehicle access way to 4A Fraser Road to the east. This indicates that the adjoining buildings and appurtenant open spaces are afforded sufficient access to direct sunlight.
3. Further to the above, in considering the north to south orientation of the subject site and adjoining properties, the limited overshadowing and the separation between dwellings, the major openings to habitable rooms on adjoining properties all have sufficient access to daylight. This is evident in Figure 4 below.

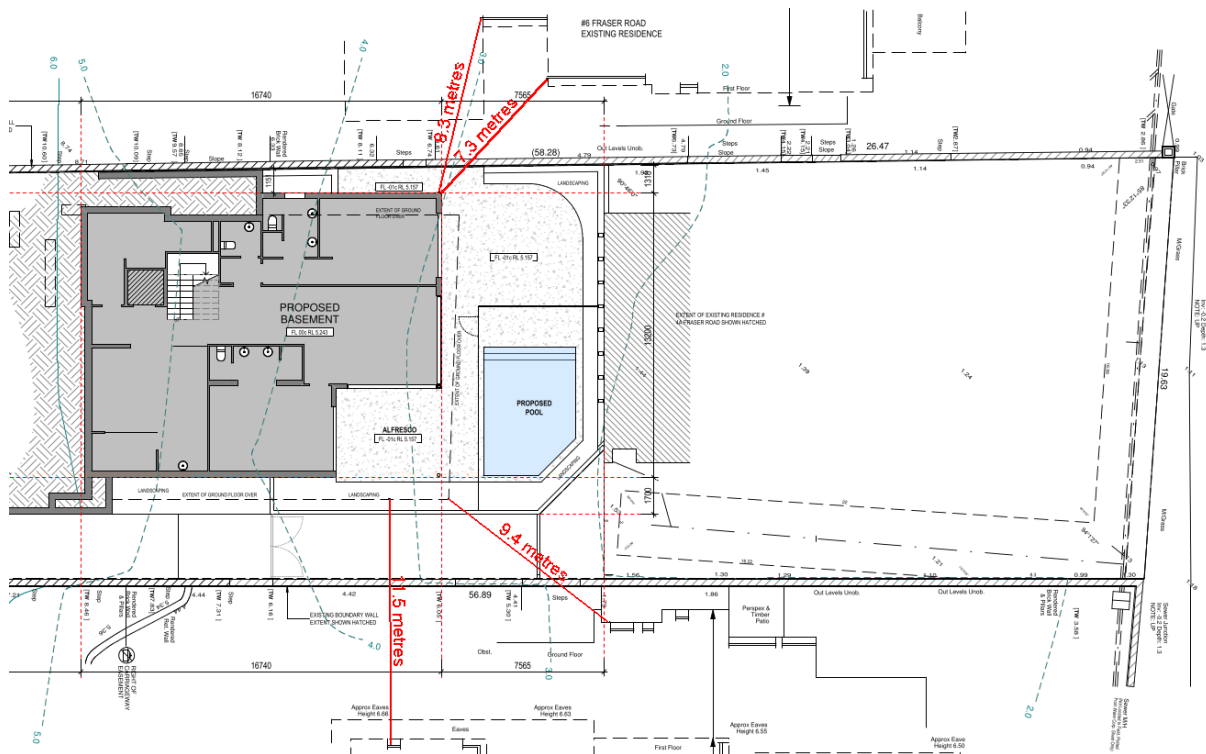
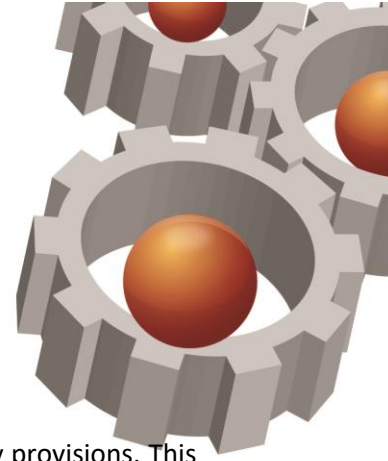


Figure 4 – Separation to Adjoining Major Openings

4. Access to views of significance in this location is of significant concern, given the views on offer. In considering the building height variation in relation to the views of significance, it is important to remember that the variation relates only to the external wall height and not the overall building height as this complies with the relevant deemed to comply requirements which suggests that any impacts on views by the construction of the proposed single house



are within what is considered acceptable by the relevant deemed to comply provisions. This is evident in the deemed to comply comparison analysis that we have provided in **Attachment 2** of this submission. In this analysis, it is evident that a single house with a deemed to comply building height at the Fraser Road boundary could actually have a slightly worse impact on the views of 3 and 5 Fraser Road (albeit marginal).

Regardless, acknowledging the external wall height variation, an analysis of the impact of the proposed development on the view of 1, 3 and 5 Fraser Road (the most potentially impacted dwellings) has been completed. Through this analysis it is evident that due to the topography of the land, the views afforded to 1, 3 and 5 Fraser Road are not obstructed by the proposed development. Further, in accordance with the below site context analysis that has been completed (Figure 5), it is evident that the development is only located within the view corridor of 3 and 5 Fraser Road.

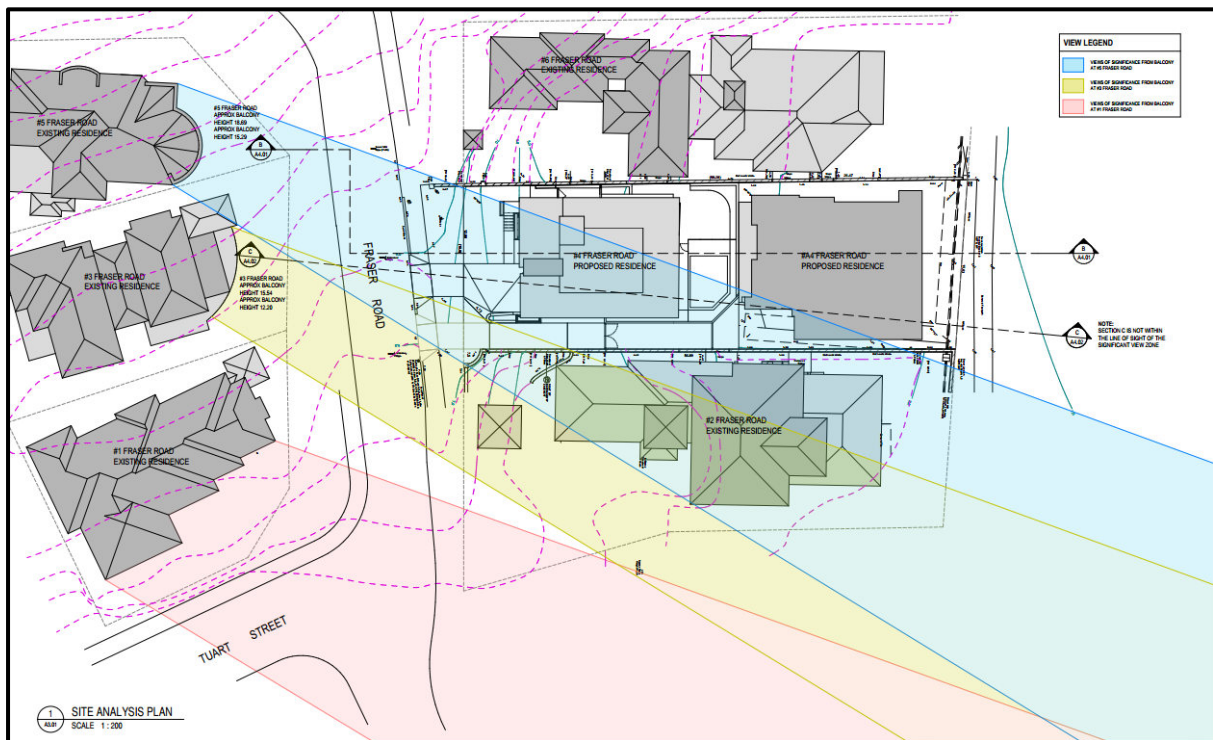


Figure 5 – View Context Analysis



DYNAMIC PLANNING AND DEVELOPMENTS

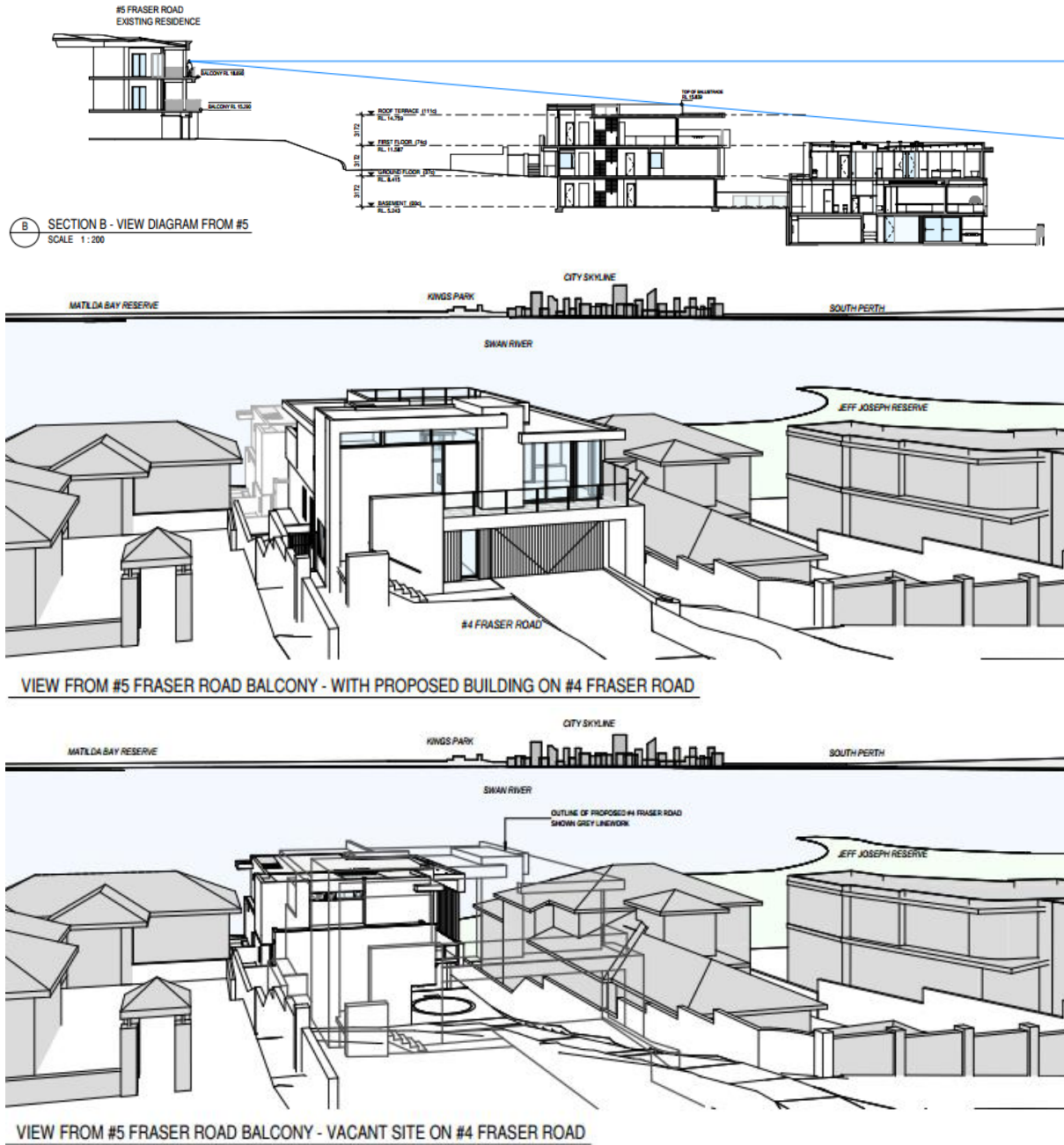
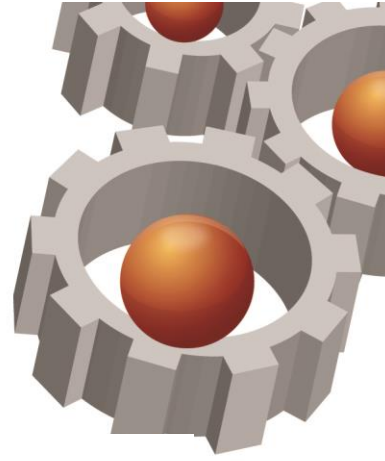


Figure 6 – 5 Fraser Road Views



DYNAMIC PLANNING
AND DEVELOPMENTS

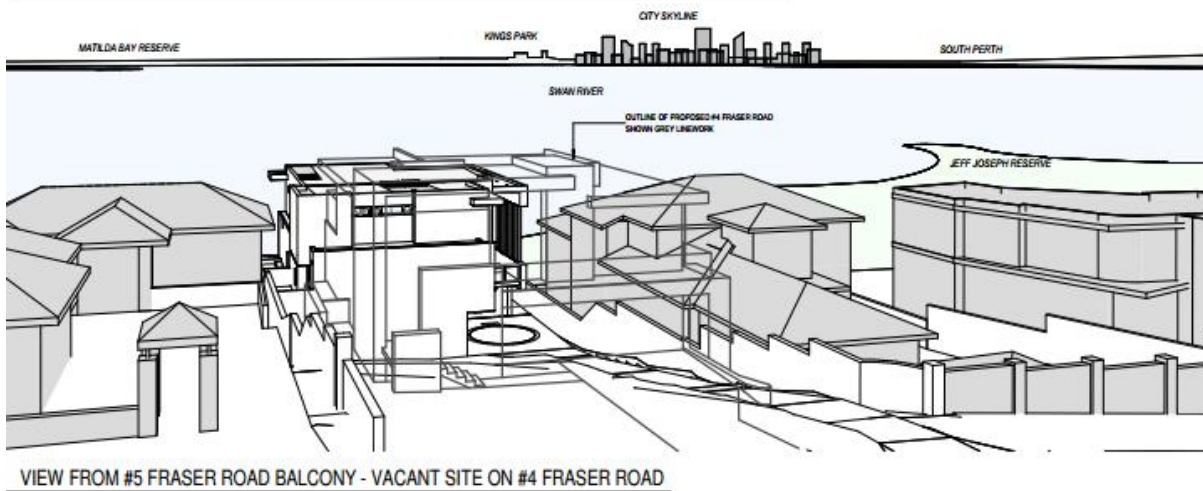
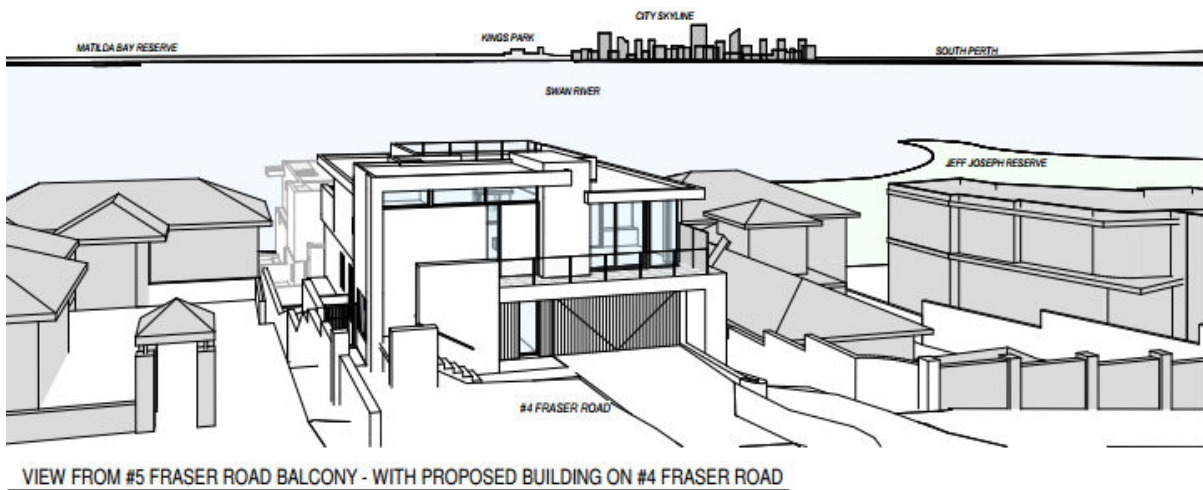
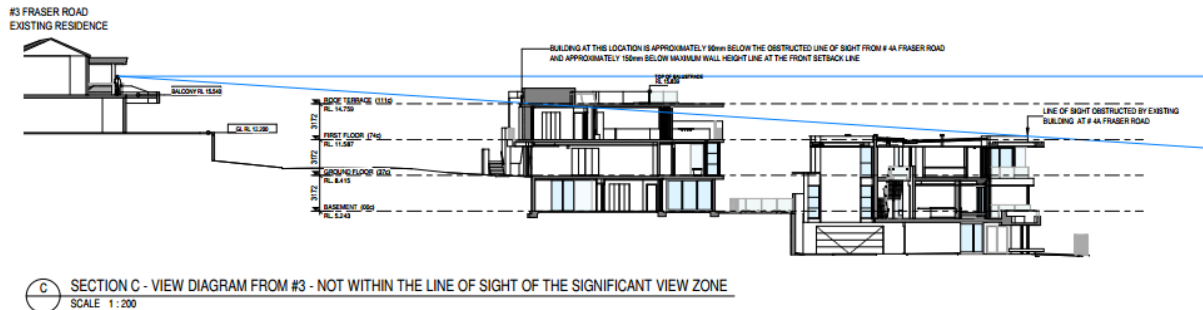
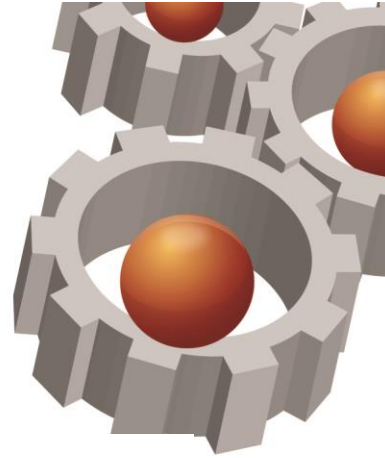
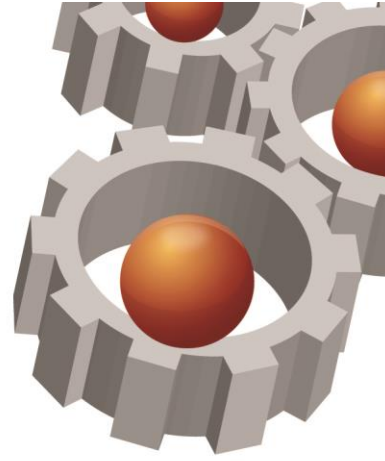


Figure 6 – 3 Fraser Road Views

It is evident from the above analysis and points raised with respect to compliance with the relevant design principle noted in State Planning Policy 7.3 – Residential Design Codes (Volume 1) that the minor variation to the external wall height warrants approval.



Visual Privacy

In addition to the identified building height variations, there are also minor visual privacy variations proposed which will impact a small portion of the two adjoining properties at 6 Fraser Road and 2 Fraser Road. The identified variations are illustrated below in Figure 7.

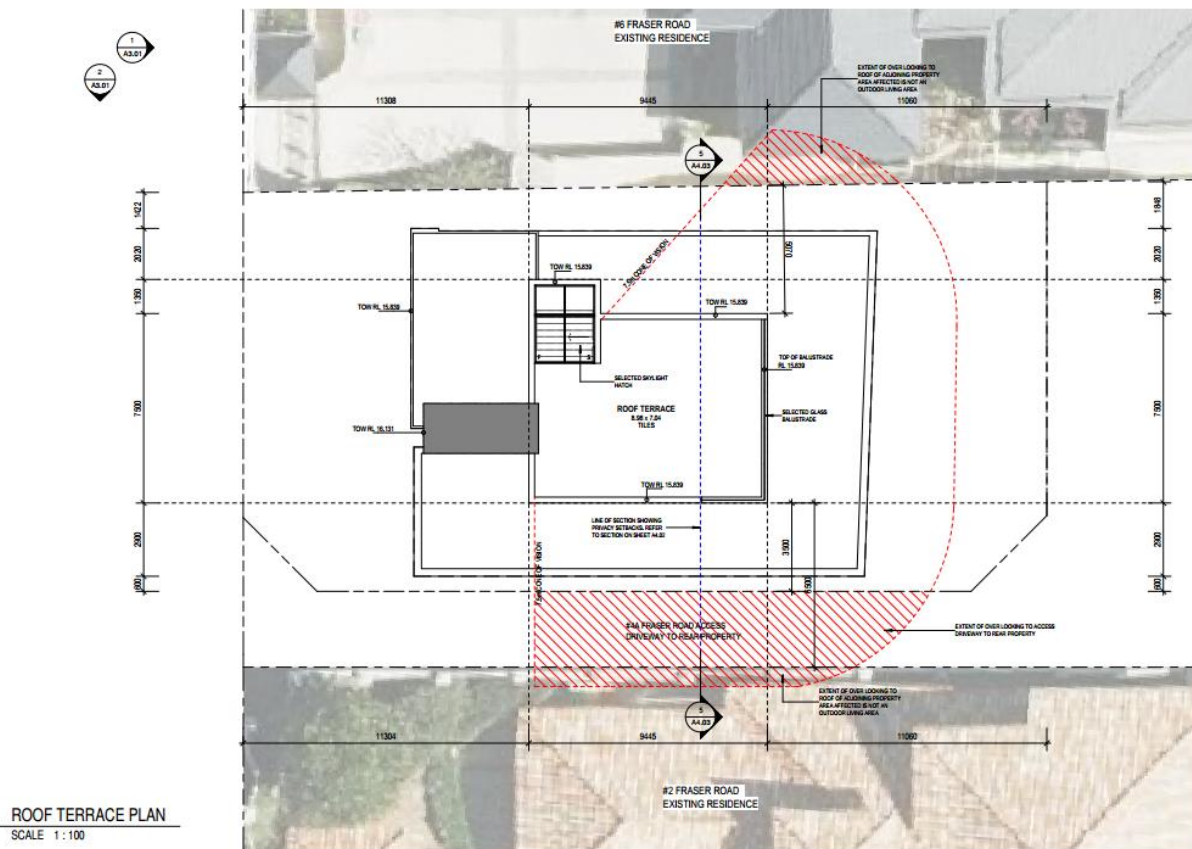
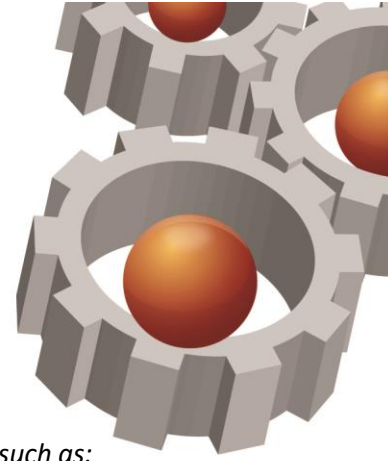


Figure 7 – Visual Privacy Variation

Similar to the building height variations, in assessing the appropriateness of the visual privacy variations, consideration should be given to the design principles noted in Clause 5.4.1 of State Planning Policy 7.3 – Residential Design Codes (Volume 1) which has been summarised below for ease of reference:

P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:

- *Building layout and location;*
- *Design of major openings;*
- *Landscape screening of outdoor active habitable spaces; and/or*
- *Location of screening devices.*



P1.2 Maximum visual privacy to side and rear boundaries through measures such as:

- *Offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;*
- *Building to the boundary where appropriate;*
- *Setting back the first floor from the side boundary;*
- *Providing high or opaque and fixed windows; and/or*
- *Screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters).*

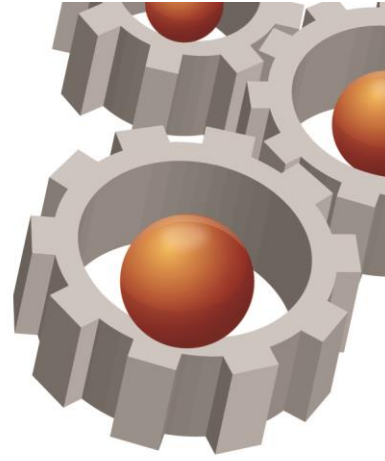
It is considered that despite the variations to the applicable deemed to comply requirements, the proposed development meets the abovementioned design principles for the following reasons:

1. When looking at the areas of the adjoining properties that are impacted by the visual privacy variation, it is evident that active habitable spaces and outdoor living areas are not impacted at all.
2. The visual privacy variations are primarily related to the proposed roof terrace which has a considerable setback to the relevant side boundaries of 5.07m to 6 Fraser Road and 6.5m to 2 Fraser Road which consequently minimises the impact on these properties. Further, being a variation related to the roof terrace, any view corridors from the roof terrace to the adjoining properties will simply consist of the roofs and eaves of these properties being viewed as opposed to any windows which further ensures the privacy of these dwellings are protected.

With the offset and setback of the roof terrace and the areas of the adjoining properties impacted by the relevant visual privacy variation, it is evident there are no material detrimental impacts to the privacy of the residents at 2 and 6 Fraser Road and as such the abovementioned design principles are considered to have been satisfied. With this in mind, the minor visual privacy variations warrant approval.



DYNAMIC PLANNING
AND DEVELOPMENTS



Conclusion

It is evident that whilst the proposed development varies the deemed to comply requirements related to building height and visual privacy, it has been demonstrated that the applicable design principles have been met and as such approval for the development is warranted.

In summary, the proposed development is considered to be a positive contribution to the City of Melville and is consistent in size and scale to the adjoining properties along Fraser Road. Further, the development has carefully considered its impact on the adjoining properties whilst also maximising the favourable site attributes such as the northern orientation and views of significance.

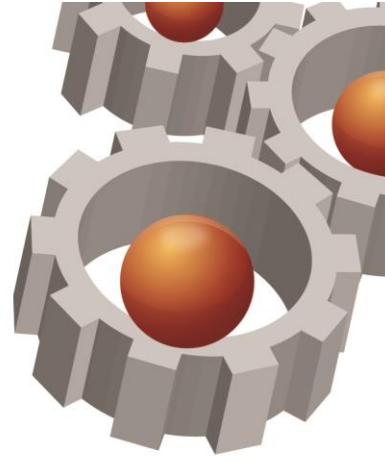
Should you have any queries or require any clarification in regard to the matters raised, please do not hesitate to contact the undersigned on 9275-4433.

Yours faithfully,

REEGAN CAKE
PLANNING COORDINATOR



DYNAMIC PLANNING
AND DEVELOPMENTS



ATTACHMENT 1

Revised Development Plans

| Suite 15/29 Collier Road Morley WA 6062 | P.O. Box 688 Inglewood WA 6932 † (08) 9275 4433 ‡ (08) 9275 4455

DYNAMIC CREATIVE PROACTIVE INNOVATIVE PASSIONATE

admin@dynamicplanning.net.au

www.dynamicplanning.net.au

Attree Residence

LOT 70 # 4 FRASER ROAD,
APPLECROSS

DRAWING LIST

NUMBER	SHEET NAME	REV	DATE
A1.00	COVER PAGE	D	11/03/22
A1.01	ORIGINAL SITE SURVEY	D	11/03/22
A1.02	BASEMENT SITE PLAN	D	11/03/22
A1.03	GROUND FLOOR SITE PLAN	D	11/03/22
A2.00	BASEMENT FLOOR PLAN	D	11/03/22
A2.01	GROUND FLOOR PLAN	D	11/03/22
A2.02	FIRST FLOOR PLAN	D	11/03/22
A2.03	ROOF TERRACE PLAN	D	11/03/22
A3.01	ELEVATIONS	D	11/03/22
A3.02	STREESCAPE ELEVATIONS	D	11/03/22
A4.01	SITE ANALYSIS	D	11/03/22
A4.02	SITE ANALYSIS	D	11/03/22
A4.03	SITE ANALYSIS	D	11/03/22

04

DEVELOPMENT
APPROVAL
DRAWINGS

Attree Residence
LOT 70 # 4 FRASER ROAD,
APPLECROSS

REV No.

D



DEVELOPMENT APPROVAL DRAWINGS

Atree Residence
LOT 70 # 4 FRASER ROAD, APPLECROSS

OVERSHADOWING CALCULATIONS:
SHADOW CAST AT MIDDAY 21 JUNE VERTICAL SUN ANGLE OF 34°, LATITUDE 32° SOUTH
DUE TO THE ORIENTATION OF THIS SITE, ALL RESULTING OVERSHADOW WILL FALL ONTO FRONT VERGE AND HAS NO IMPACT ON ADJOINING PROPERTIES, THEREFORE COMPLIES

OPEN SPACE
SITE AREA = 500m²
OPEN SPACE = 293.5m²
TOTAL PERCENTAGE OF SITE = 58.70%

GENERAL NOTES:

- ALL DIMENSIONS ARE IN METRIC MILLIMETRES
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE OFF DRAWINGS)
- LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
- THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE B.C.A.S AND LOCAL AUTHORITY REQUIREMENTS
- ALL MATERIAL SHALL BE OF NEW GOOD QUALITY AND CONFORM TO WHAT IS SHOWN ON THE DRAWINGS
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL WORK
- ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY BUILDER
- ALL BRICK COURSE HEIGHTS ARE TO BE TAKEN FROM MAIN FLOOR LEVEL IN 1/4" COURSE
- ALL WINDOWS AND DOORS AS PER WINDOWS AND DOORS SCHEDULE
- ALL WINDOWS TO COMPLY WITH B.C.A. PART 3.9.2.5
- ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED AS PER B.C.A. VOLUME TWO PART 3.7.2.2 AND AS3796-2014
- POOL TO AS1926.1-2013
- THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK OF ANY NEW BUILDING WORK
- SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACQUAINT THEMSELVES WITH ALL VISIBLE SITE CONDITIONS AND ACCESS TO THE SITE
- ELDOR (ERRORS & OMISSIONS EXCEPTED) INADVERTENT CLERICAL ERRORS IN INFORMATION OR INCOMPLETE INFORMATION ON THESE DOCUMENTS MAY BE AMENDED ON SITE
- PROVIDE MECHANICAL VENTILATION TO ALL W.C.S
- PROVIDE INSULATION TO ENTIRE RESIDENCE AS PER ENERGY SCHEDULE
- LIFT OFF HINGES TO WCS LESS THAN 1200 FROM DOOR
- MASONRY WEATHERPROOFING TO COMPLY WITH B.C.A. VOLUME TWO PART 3.3.4.9 & AS 3700 OR AS 4773
- EXTERNAL ABOVE GROUND MEMBRANES TO COMPLY WITH THE B.C.A. VOLUME TWO PART 3.8 & AS 854 PARTS 1 & 2
- START CONSTRUCTION TO COMPLY WITH THE B.C.A. VOLUME TWO PART 3.9.1.2, 3.9.1.4, 3.9.1.8 AND TABLE 3.9.1.1. TREADS TO BE SLIP RESISTANT AS PER AS 4586
- HANDRAILS TO COMPLY WITH B.C.A. VOLUME TWO PART 3.9.2.4

BRICKWORK DETAILS
ALL GENERAL BRICKWORK TO BE 90mm MAXIBRICK AND 90mm LONGREACH BRICKWORK AS REQUIRED, UNLESS OTHERWISE STATED PER BRICKWORK LEGEND
CAVITY BRICKWORK THICKNESS AS SHOWN ON FLOOR PLAN DIMENSIONING

BRICKLAYERS NOTE
ALL DIMENSIONS ARE MEASURED FROM BRICKWORK TO BRICKWORK ONLY. NO ALLOWANCE FOR FLOAT/SET COAT OR GYPSUM PLASTER
PLASTER NOTE
ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS
ROOF PLUMBING NOTE
PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS
COMPARE SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING
TIMBER ROOF CONSTRUCTION TO ENDS DWGS AND AS1884
ENSURE ALL SHEET ROOFING COMPLIES WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR LOW PITCHED ROOFS UNDER PIP (e.g. LYSAGHT KLIP-LOC 406 DESIGN & INSTALLATION GUIDE)

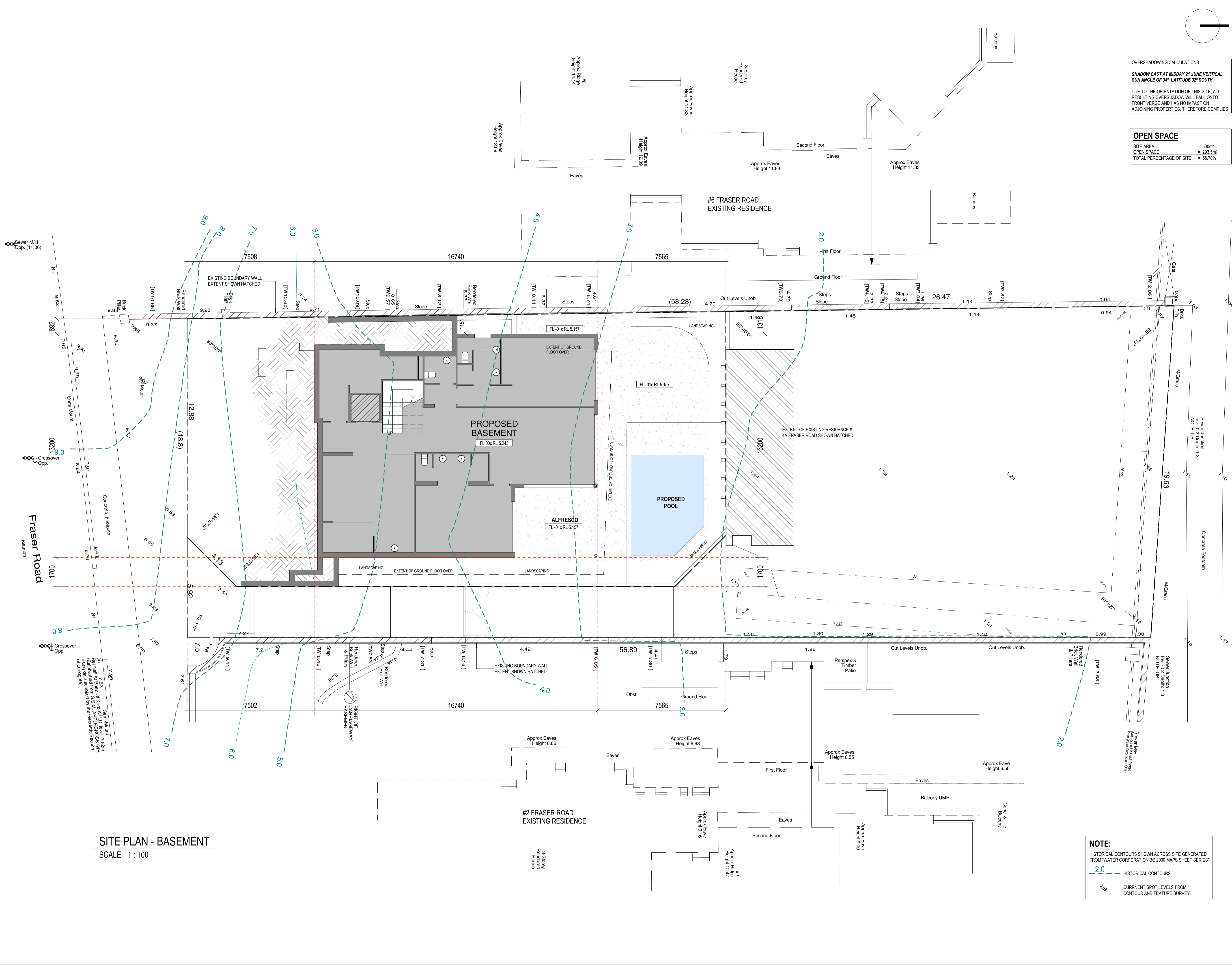
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REV	AMENDMENTS	DATE
D	DA AMENDMENTS	11/03/22
C	WATER CORPORATION CONTOURS ADDED	23/02/22
B	DA AMENDMENTS	09/02/22
A	ISSUE FOR DA	30/11/21



BASEMENT SITE PLAN	
JOB No. 302	REV No. D
DRAWN Author	DRG No. A1.02
SCALE 1:100 @ A1	



SITE PLAN - BASEMENT
SCALE 1:100

NOTE:
HISTORICAL CONTOURS SHOWN ACROSS SITE GENERATED FROM "WATER CORPORATION BG 2000 MAPS SHEET SERIES"
2.0 - HISTORICAL CONTOURS
2.6 - CURRENT SPOT LEVELS FROM CONTOUR AND FEATURE SURVEY

BUILDING AREAS	
NAME	AREA
ALFRESCO	27 m ²
BASEMENT	193 m ²
GARAGE	72 m ²
GROUND FLOOR	147 m ²
DRYING COURT	10 m ²
FIRST FLOOR	167 m ²
BALCONY	17 m ²
OUTDOOR LIVING	64 m ²
ROOF TERRACE	75 m ²
TOTAL	773 m ²

04

DEVELOPMENT APPROVAL DRAWINGS

Atree Residence
 LOT 70 # 4 FRASER ROAD,
 APPECROSS

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- PLASTER NOTE**
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- ROOF PLUMBING NOTE**
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 - ENSURE ALL SHEET ROOFING COMPLIES WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR LOW PITCHED ROOFS UNDER PIPES (e.g. LYSAGHT KLIP-LOC 406 DESIGN & INSTALLATION GUIDE).

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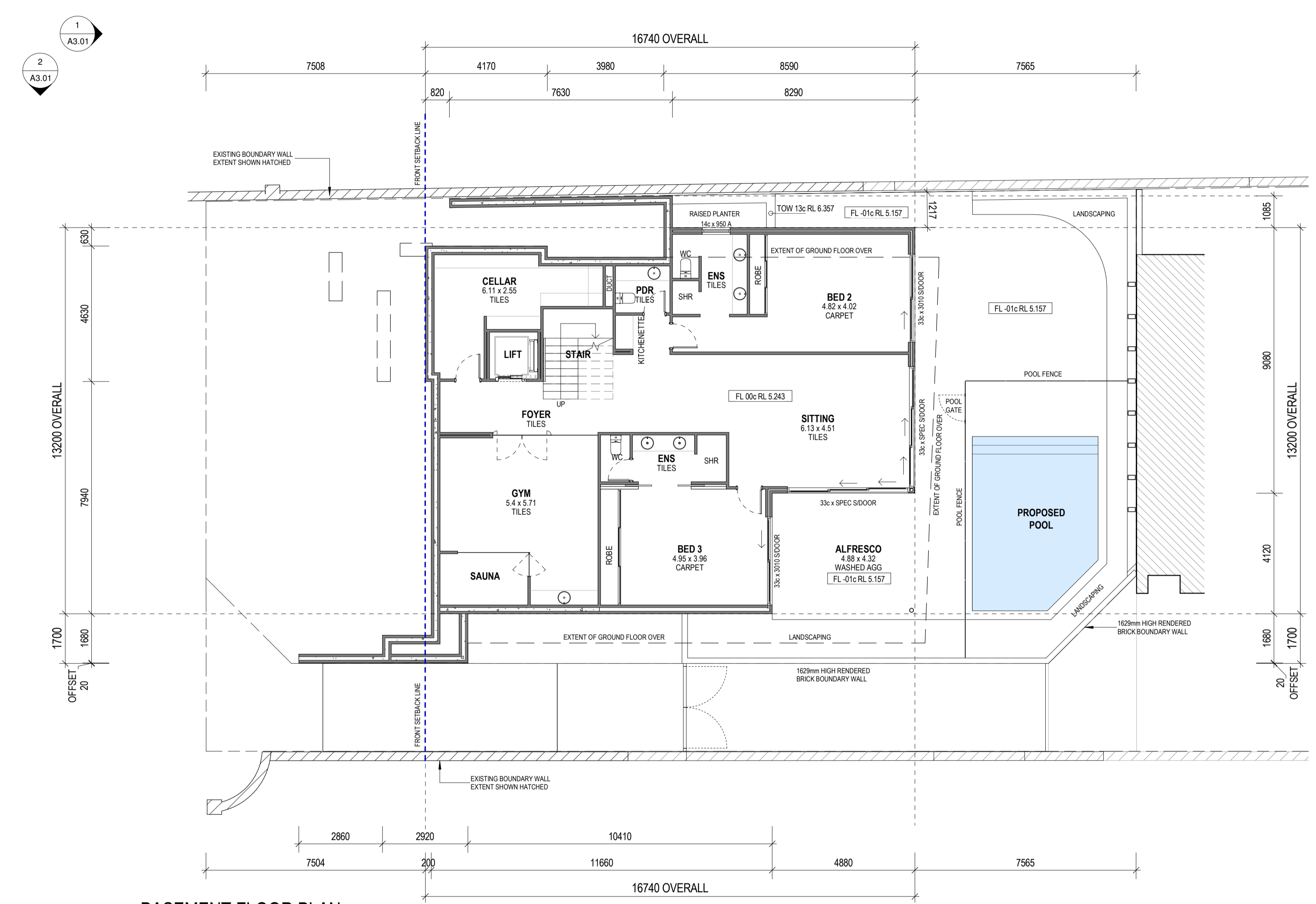
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urbane projects pty ltd
 Unit 2/31 Shields Crescent
 Booragoon WA, 6154

ABN 76 009 438 662
 T 93099900
 E info@urbane.net.au

Title BASEMENT FLOOR PLAN	
JOB No. 302	REV No. D
DRAWN Author	
SCALE 1:100 @ A1	DRG No. A2.00



BASEMENT FLOOR PLAN
 SCALE 1 : 100

1
A3.01

2
A3.01

4
A3.01

3
A3.01

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- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE OFF DRAWINGS).
- LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE B.C.A.S AND LOCAL AUTHORITY REQUIREMENTS.
- ALL MATERIAL SHALL BE OF NEW, GOOD QUALITY AND CONFORM TO WHAT IS SHOWN ON THE DRAWINGS.
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL WORK.
- ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY BUILDER.
- ALL BRICK COURSE HEIGHTS ARE TO BE TAKEN FROM MAIN FLOOR LEVEL, UNLESS OTHERWISE SPECIFIED.
- ALL WINDOWS AND DOORS AS PER WINDOWS AND DOORS SCHEDULE.
- ALL WINDOWS TO COMPLY WITH B.C.A. PART 3.9.2.5.
- ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED AS PER BCA VOLUME TWO PART 3.7.2.2 AND AS3786-2014.
- POOL TO AS1926-1:2013.
- THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK OF ANY NEW BUILDING WORK.
- SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACQUAINT THEMSELVES WITH ALL VISIBLE SITE CONDITIONS AND ACCESS TO THE SITE.
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- PROVIDE INSULATION TO ENTIRE RESIDENCE AS PER ENERGY CALC.
- LIFT OFF HINGES TO WCS LESS THAN 1200 FROM DOOR.
- MASONRY WEATHERPROOFING TO COMPLY WITH BCA VOLUME TWO PART 3.4.4.6 AS 3700 OR AS 4773.
- EXTERNAL ABOVE GROUND MEMBRANES TO COMPLY WITH THE BCA VOLUME TWO PART 3.8.1.3 AS 4684 PARTS 1 & 2.
- START CONSTRUCTION TO COMPLY WITH THE BCA VOLUME TWO PART 3.9.1.2, 3.9.1.4, 3.9.1.5 AND TABLE 3.9.1.1. TREADS TO BE SLIP-RESISTANT AS PER AS 4586.
- HANDRAILS TO COMPLY WITH BCA VOLUME TWO PART 3.9.2.4.

- #### BRICKWORK DETAILS
- ALL GENERAL BRICKWORK TO BE 90mm MAXIBRICK AND 90mm LONGREACH BRICKWORK AS REQUIRED, UNLESS OTHERWISE STATED REFER BRICKWORK LEGEND.
 - CAVITY BRICKWORK THICKNESS AS SHOWN ON FLOOR PLAN DIMENSIONING.

- #### INSULATORS NOTE
- ALL DIMENSIONS ARE MEASURED FROM BRICKWORK TO BRICKWORK ONLY. NO ALLOWANCE FOR FLOAT/SET COAT OR CRYSWALL PLASTER.

- #### PLASTER NOTE
- ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS


- #### ROOF PLUMBING NOTE
- PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS.
 - COMPRISS SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING.
 - TIMBER ROOF CONSTRUCTION TO ENDS DWGS AND AS1684.
 - ENSURE ALL SHEET ROOFING COMPLES WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR LOW PITCHED ROOFS UNDER PIP (e.g. LYSAGHT KLIP-LOC 406 DESIGN & INSTALLATION GUIDE).

ENERGY EFFICIENCY NOTES:

None

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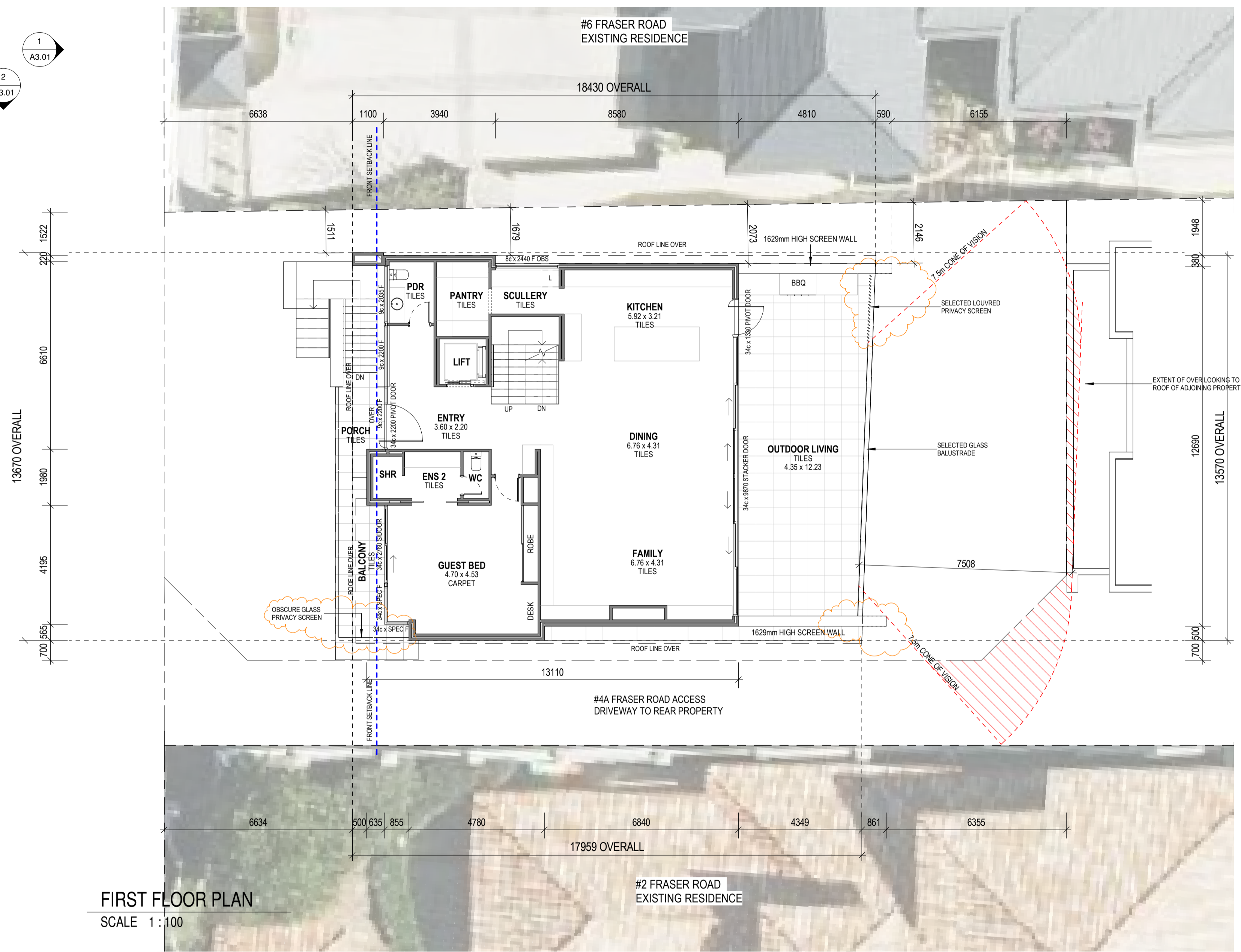
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Title	
FIRST FLOOR PLAN	
JOB No.	302
REV No.	D
DRAWN	Author
SCALE	1:100 @ A1
DRG No.	A2.02



1 A3.01
2 A3.01

3 A3.01
4 A3.01

BUILDING AREAS	
NAME	AREA
ALFRESCO	27 m ²
BASEMENT	193 m ²
GARAGE	72 m ²
GROUND FLOOR	147 m ²
DRYING COURT	10 m ²
FIRST FLOOR	167 m ²
BALCONY	17 m ²
OUTDOOR LIVING	64 m ²
ROOF TERRACE	75 m ²
TOTAL	773 m ²

04

DEVELOPMENT APPROVAL DRAWINGS

Atree Residence
LOT 70 # 4 FRASER ROAD, APPLECROSS

GENERAL NOTES:

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- ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY BUILDER.
- ALL BRICK COURSE HEIGHTS ARE TO BE TAKEN FROM MAIN FLOOR LEVEL, i.e. 750mm.
- ALL WINDOWS AND DOORS AS PER WINDOWS AND DOORS SCHEDULE.
- ALL WINDOWS TO COMPLY WITH B.C.A. PART 3.9.2.5.
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 - CAVITY BRICKWORK THICKNESS AS SHOWN ON FLOOR PLAN DIMENSIONING.

- #### BRICKLAYERS NOTE
- ALL DIMENSIONS ARE MEASURED FROM BRICKWORK TO BRICKWORK ONLY. NO ALLOWANCE FOR FLOAT/SET COAT OR CRYPWALL PLASTER.

PLASTER NOTE
ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS

- #### ROOF PLUMBING NOTE
- PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS.
 - DOWNPIPE SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING.
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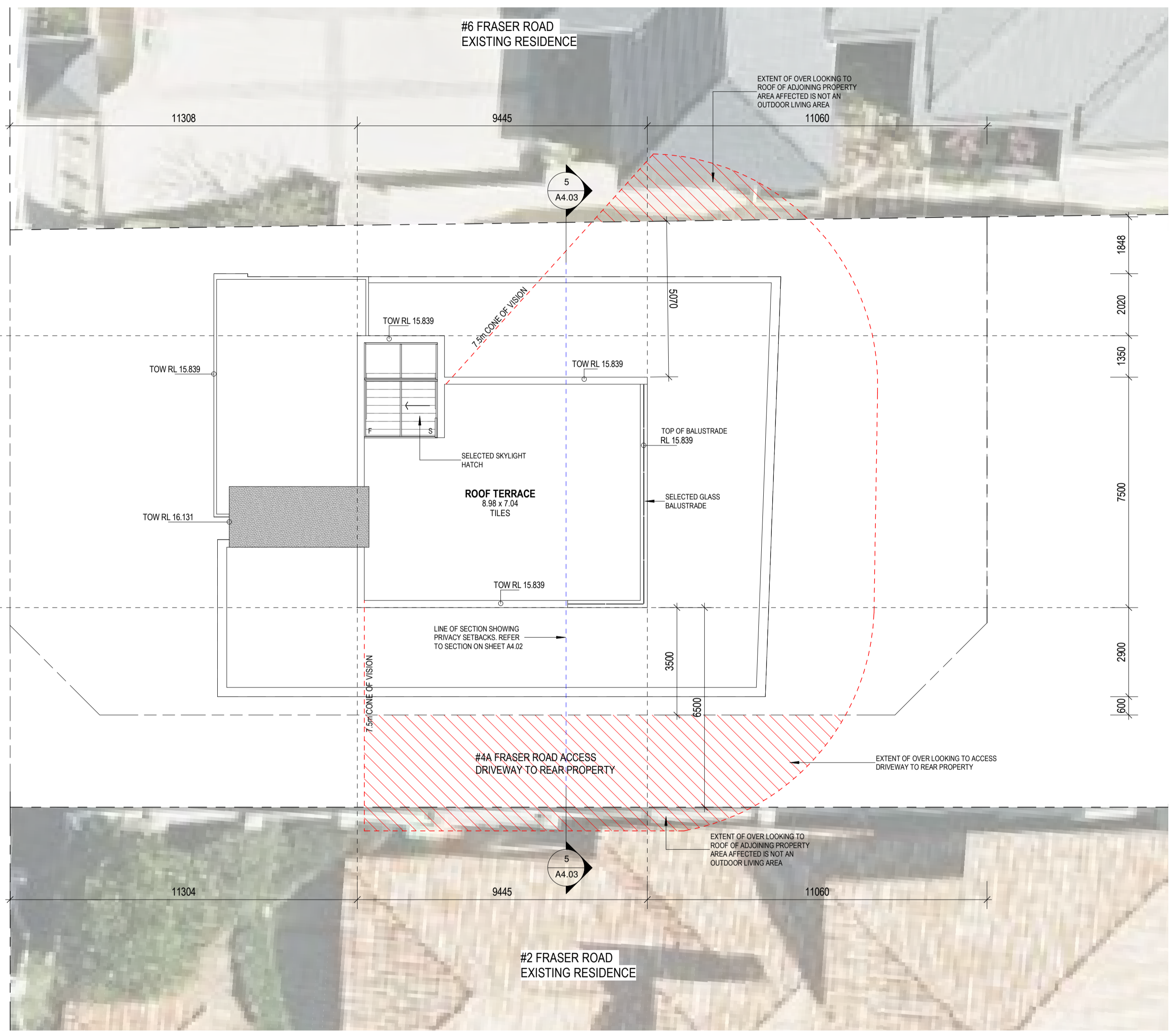


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ROOF TERRACE PLAN

JOB No.	302	REV No.	D
DRAWN	Author	SCALE	1:100 @ A1
DRG No.	A2.03		

ROOF TERRACE PLAN
SCALE 1:100



1
A3.01

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A3.01

5
A4.03

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A3.01

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A3.01

5
A4.03

#2 FRASER ROAD
EXISTING RESIDENCE

#6 FRASER ROAD
EXISTING RESIDENCE

#4A FRASER ROAD ACCESS
DRIVEWAY TO REAR PROPERTY

EXTENT OF OVER LOOKING TO
ROOF OF ADJOINING PROPERTY
AREA AFFECTED IS NOT AN
OUTDOOR LIVING AREA

EXTENT OF OVER LOOKING TO
ACCESS
DRIVEWAY TO REAR PROPERTY

EXTENT OF OVER LOOKING TO
ROOF OF ADJOINING PROPERTY
AREA AFFECTED IS NOT AN
OUTDOOR LIVING AREA

7.5m CONE OF VISION

7.5m CONE OF VISION

ROOF TERRACE
8.96 x 7.04
TILES

SELECTED SKYLIGHT
HATCH

SELECTED GLASS
BALUSTRADE

TOP OF BALUSTRADE
RL 15.839

TOW RL 15.839

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DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPECROSS

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- PLUMBING NOTE**
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- ROOF PLUMBING NOTE**
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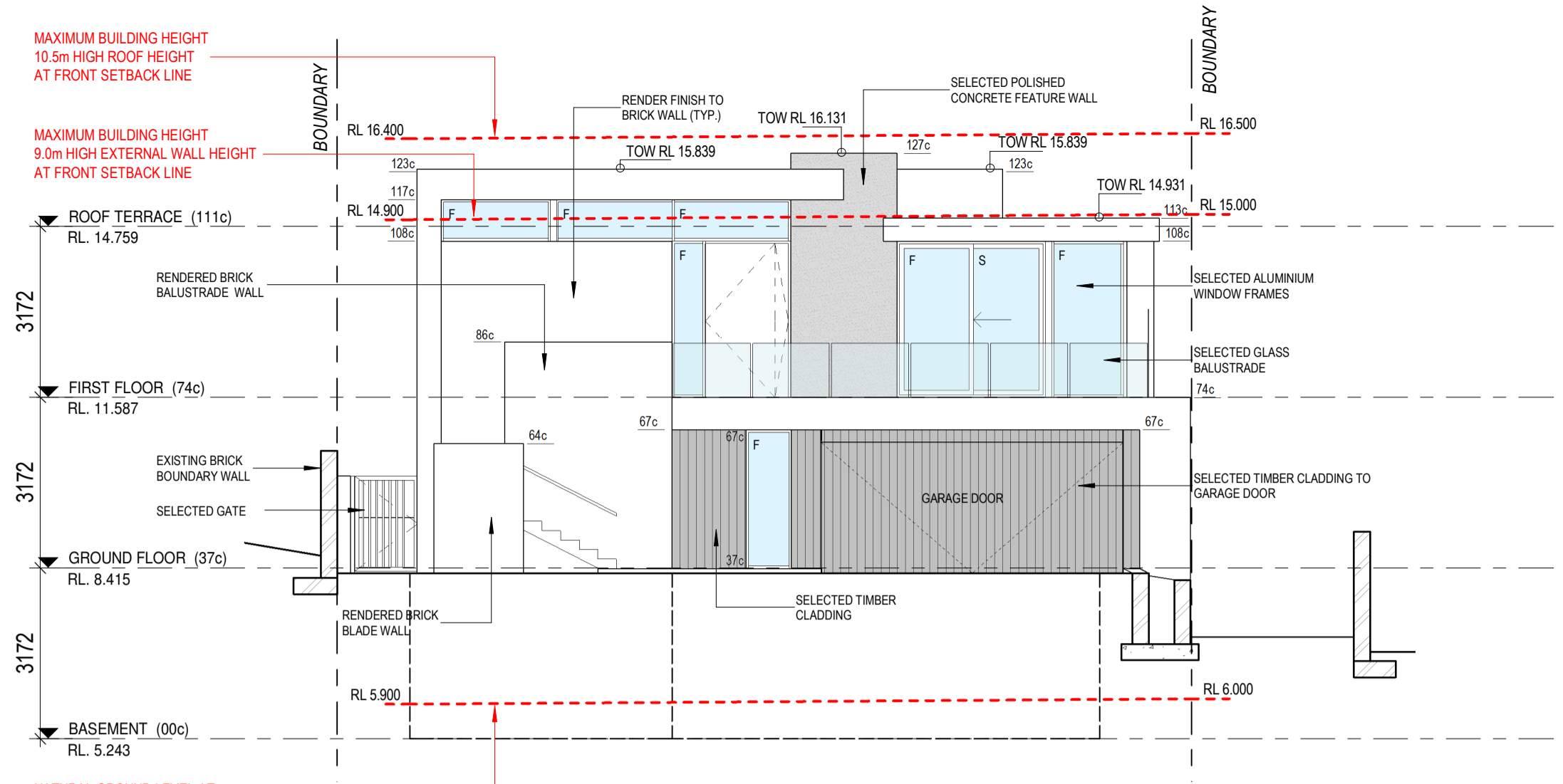
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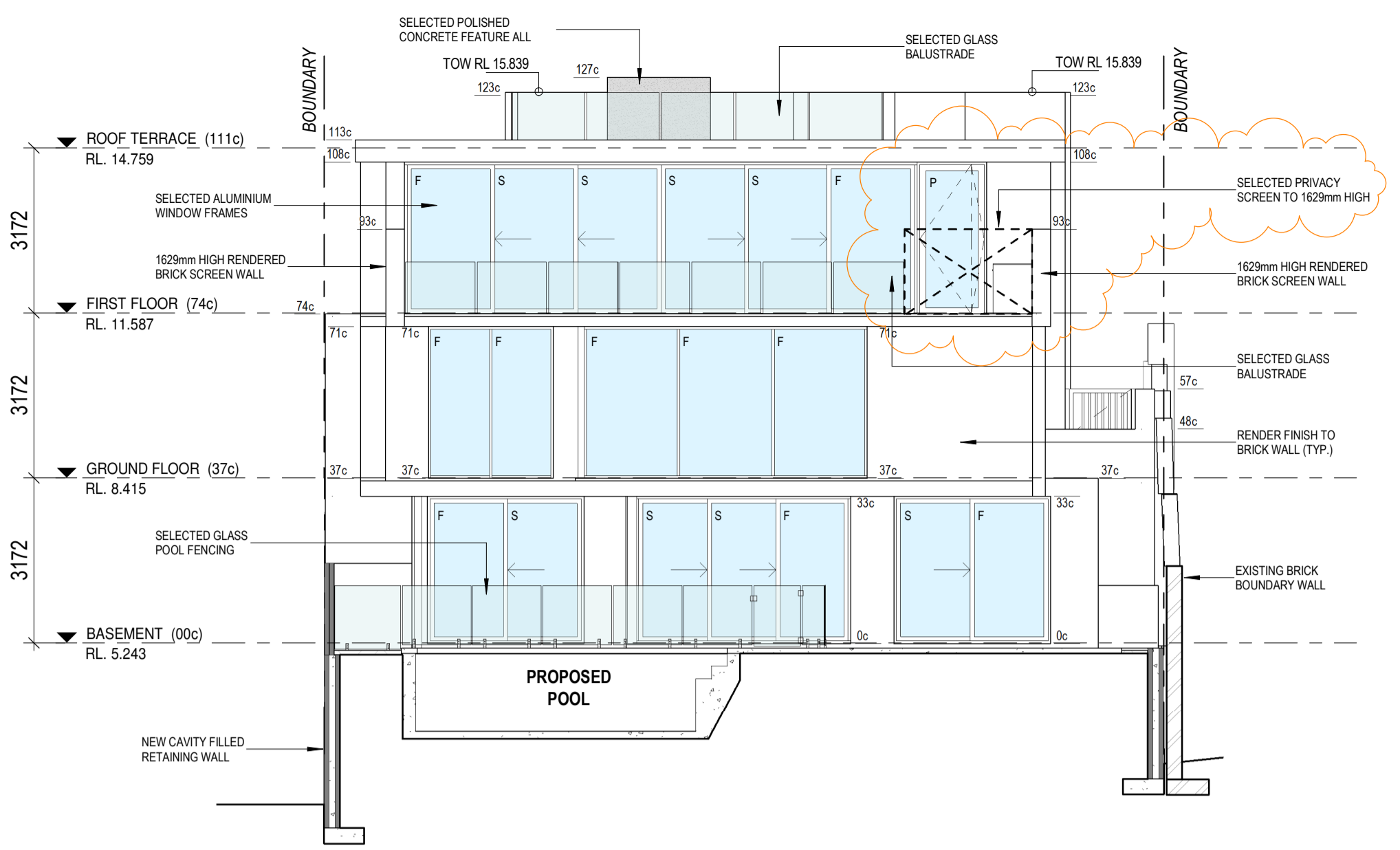


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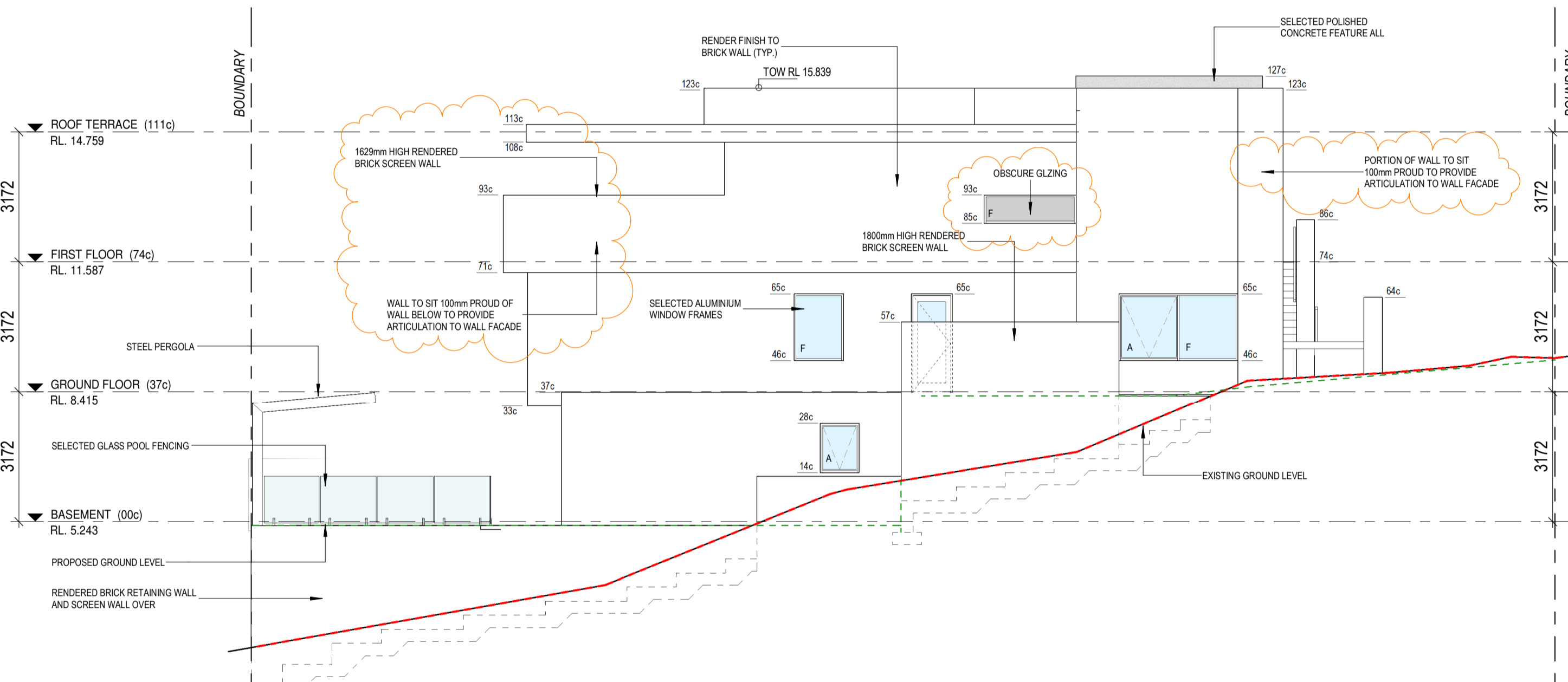
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JOB No:	302
REV No:	D
DRAWN:	Author
SCALE:	1:100 @ A1
DRG No:	A3.01



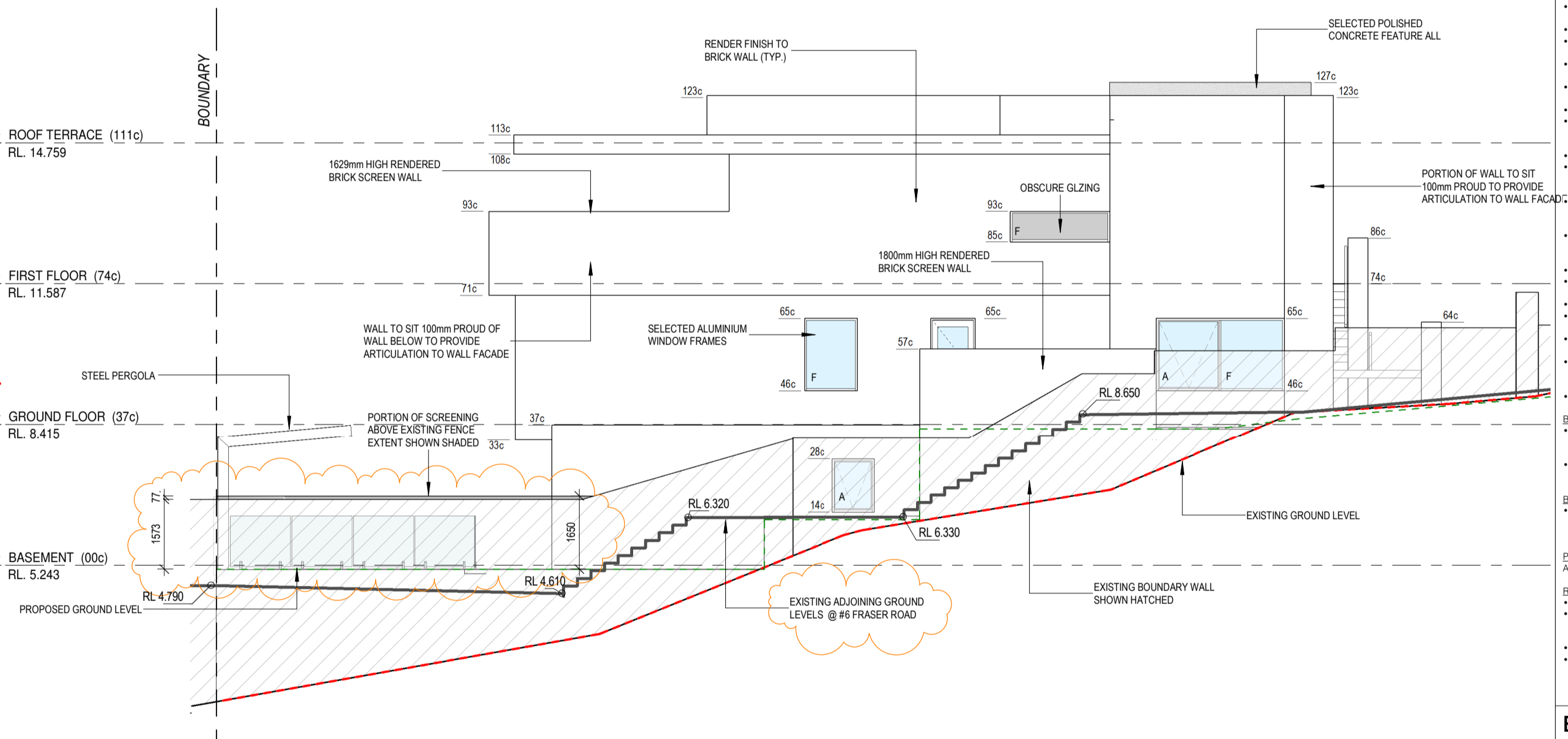
1 SOUTH ELEVATION
SCALE 1:100



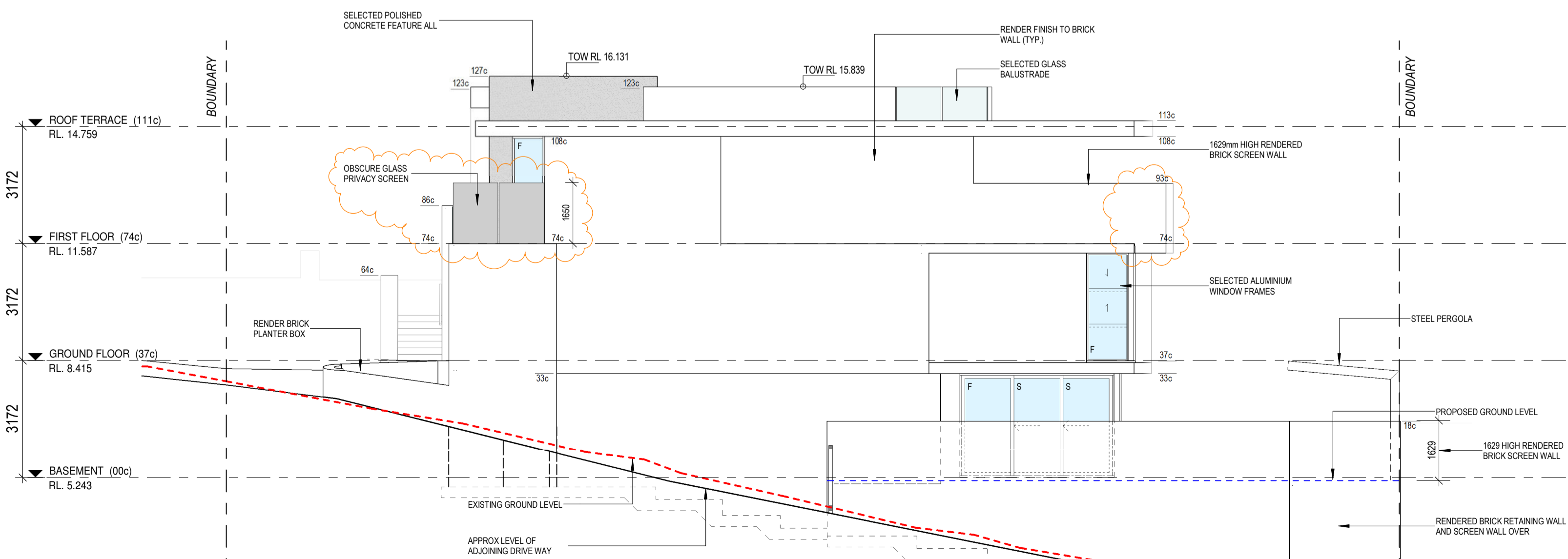
3 NORTH ELEVATION
SCALE 1:100



2 WEST ELEVATION
SCALE 1:100



5 WEST ELEVATION WITH BOUNDARY FENCE
SCALE 1:100



4 EAST ELEVATION
SCALE 1:100

DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPECROSS

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BRICKLAYERS NOTE

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PLUMBER NOTE

ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS

ROOF PLUMBING NOTE

- PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS.
- COMPASS SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING.
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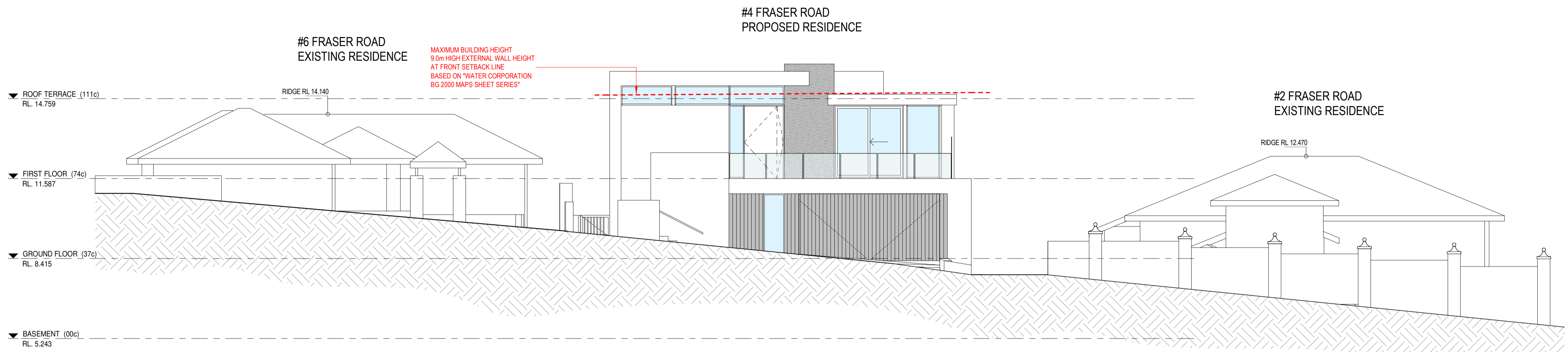
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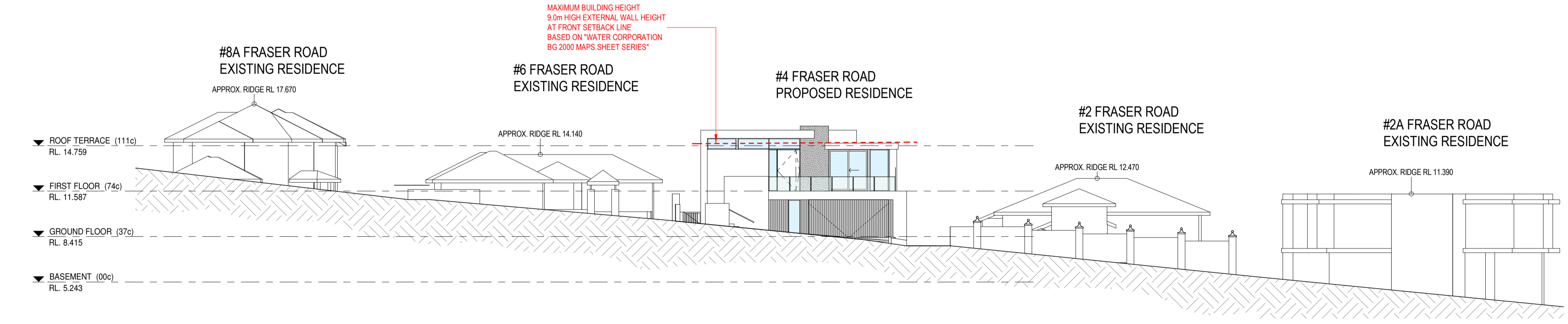
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STREETSCAPE ELEVATIONS

JOB No.	302	REV No.	D
DRAWN	Author	DRG No.	A3.02
SCALE	As indicated @ A1		



1 STREETSCAPE ELEVATION
SCALE 1:100



2 STREETSCAPE ELEVATION 1-200
SCALE 1:200

DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPLCROSS

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- START CONSTRUCTION TO COMPLY WITH THE BCA VOLUME TWO PART 3.9.1.2, 3.9.1.4, 3.9.1.5 AND TABLE 3.9.1.1. TREADS TO BE SLIP-RESISTANT AS PER AS 4586.
- HANDRAILS TO COMPLY WITH BCA VOLUME TWO PART 3.9.2.4.

- ### BRICKWORK DETAILS
- ALL GENERAL BRICKWORK TO BE 90mm MAXIBRICK AND 90mm LONGREACH BRICKWORK AS REQUIRED, UNLESS OTHERWISE STATED PER BRICKWORK LEGEND.
 - CAVITY BRICKWORK THICKNESS AS SHOWN ON FLOOR PLAN DIMENSIONING.

- ### INSULATION NOTE
- ALL DIMENSIONS ARE MEASURED FROM BRICKWORK TO BRICKWORK ONLY. NO ALLOWANCE FOR FLOAT/SET COAT OR CRYSWALL PLASTER.

- ### PLUMBING NOTE
- ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS
- ### ROOF PLUMBING NOTE
- PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS.
 - DOWNPIPE SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING.
 - TIMBER ROOF CONSTRUCTION TO ENDS DWGS AND AS1884.
 - ENSURE ALL SHEET ROOFING COMPLIES WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR LOW PITCHED ROOFS UNDER P (e.g. LYSAGHT KLIP-LOC 406 DESIGN & INSTALLATION GUIDE).

ENERGY EFFICIENCY NOTES:

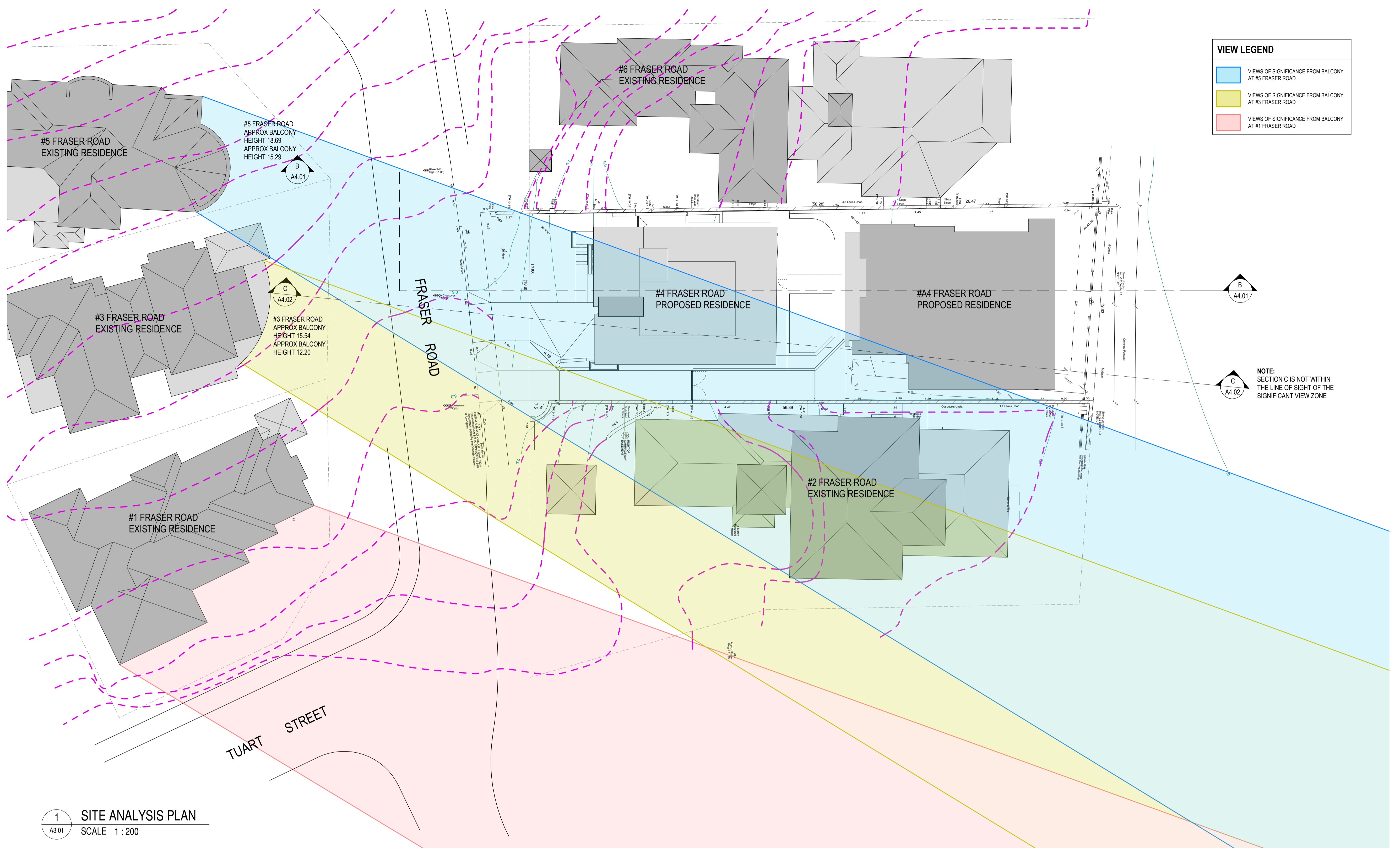
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REV	AMENDMENTS	DATE
D	DA AMENDMENTS	11/03/22
C	WATER CORPORATION CONTOURS ADDED	23/02/22
B	DA AMENDMENTS	09/02/22
A	ISSUE FOR DA	30/11/21

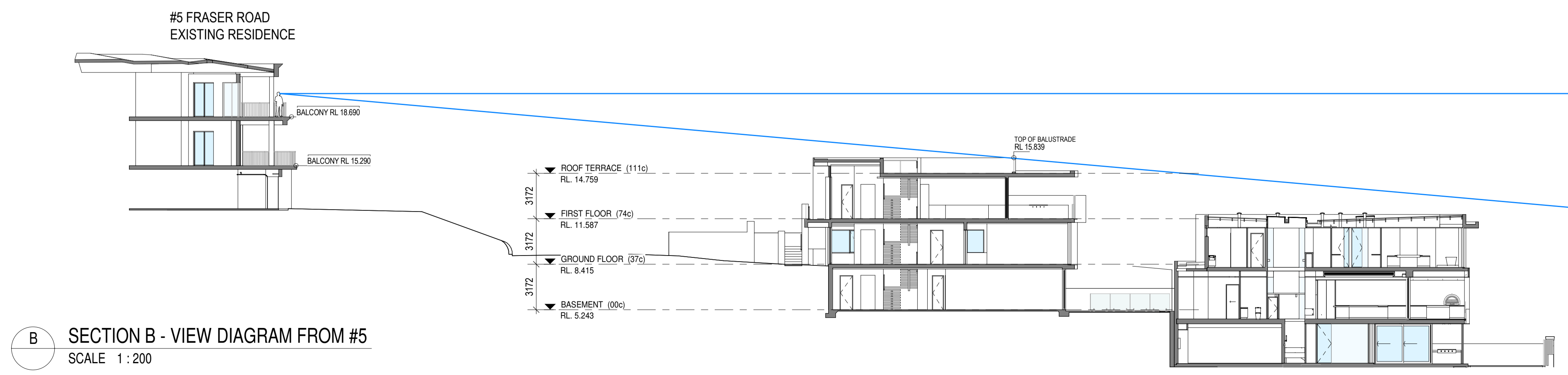


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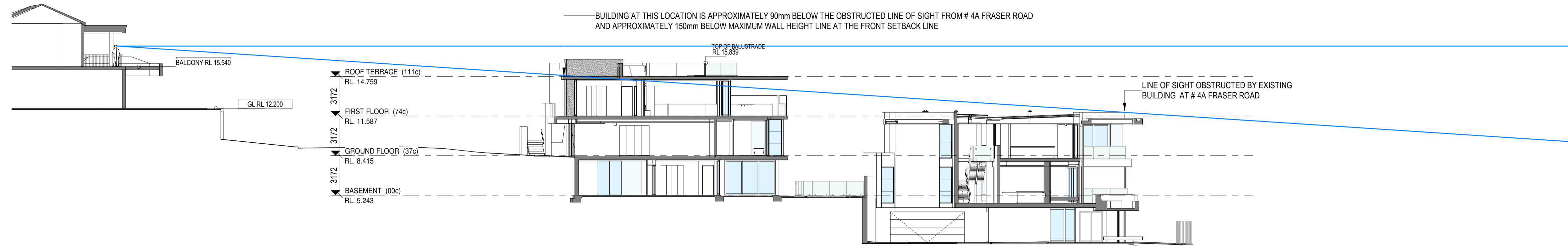
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JOB No.	302
REV No.	D
DRAWN	Author
SCALE	As indicated @ A1
DRG No.	A4.01



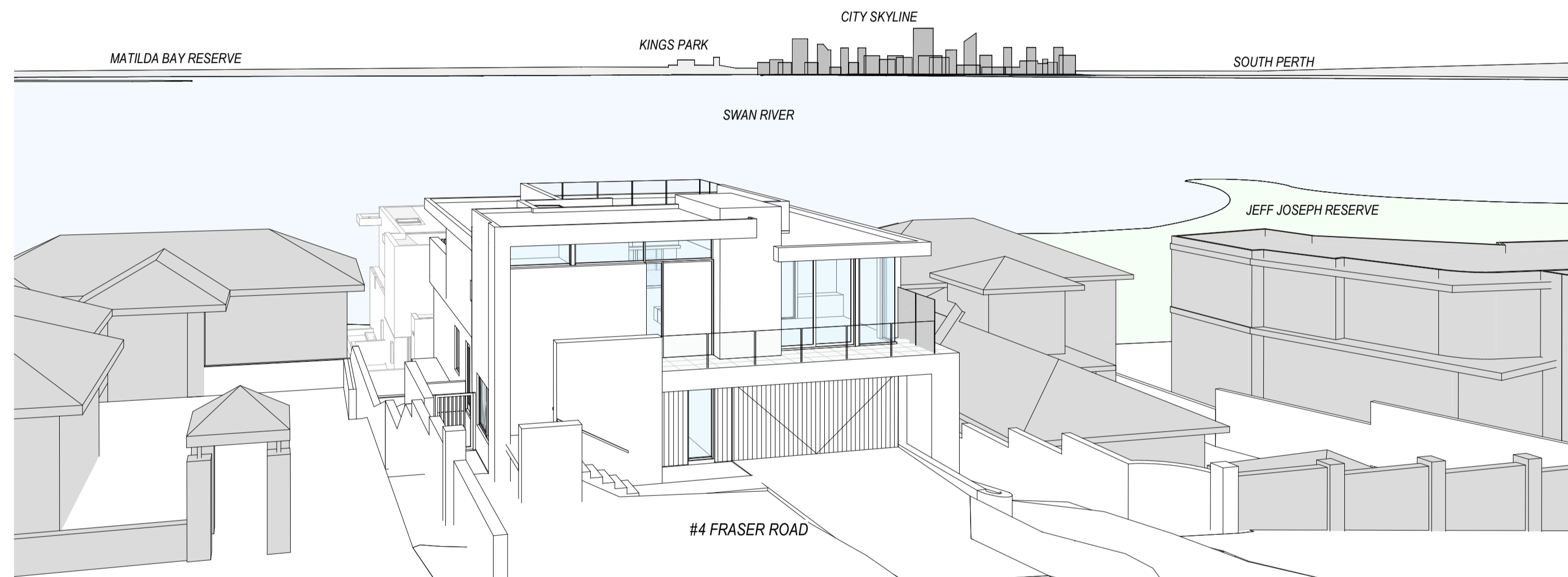
1 SITE ANALYSIS PLAN
A3.01 SCALE 1:200



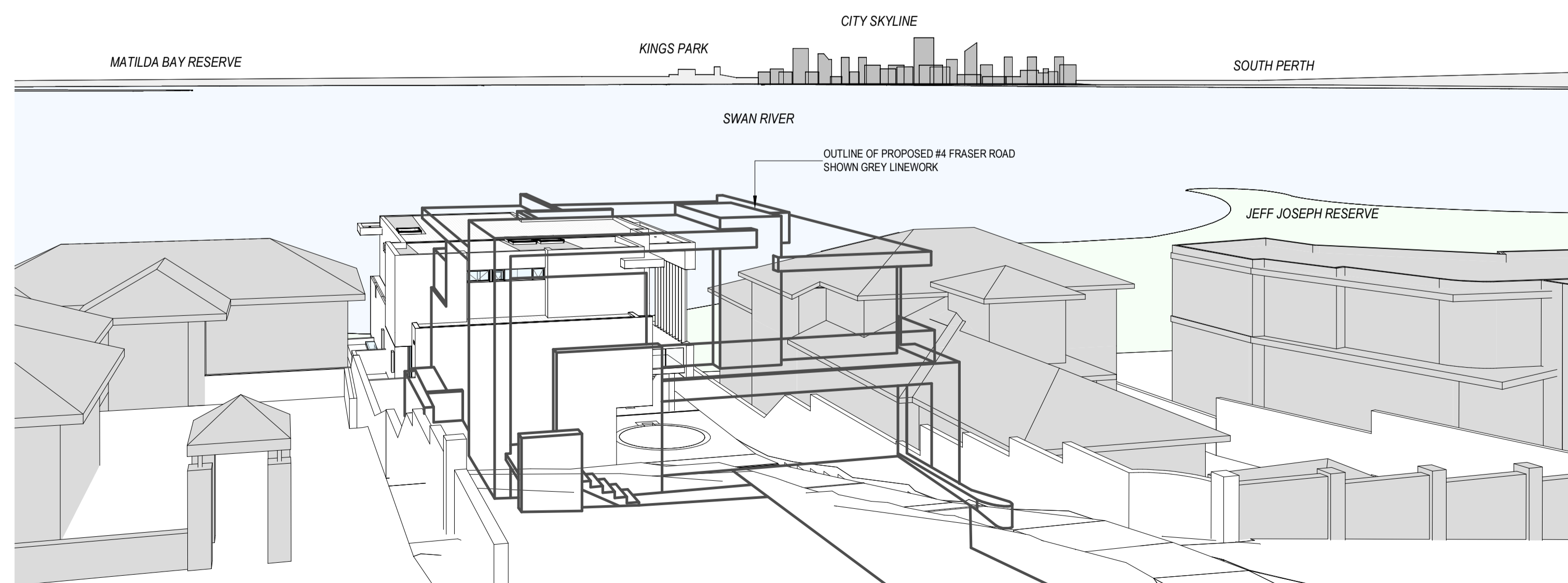
#3 FRASER ROAD
EXISTING RESIDENCE



C SECTION C - VIEW DIAGRAM FROM #3 - NOT WITHIN THE LINE OF SIGHT OF THE SIGNIFICANT VIEW ZONE
SCALE 1 : 200



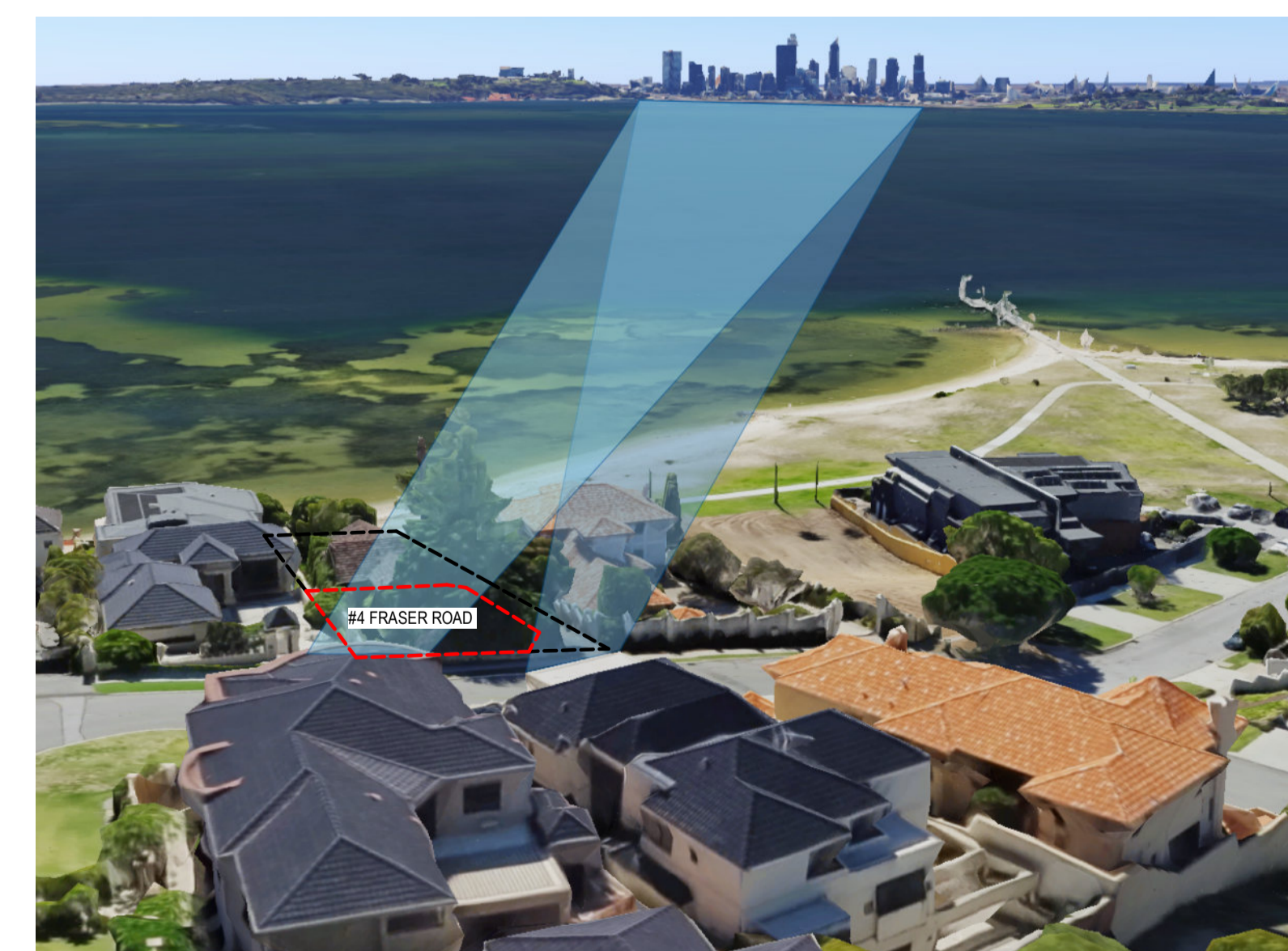
VIEW FROM #5 FRASER ROAD BALCONY - WITH PROPOSED BUILDING ON #4 FRASER ROAD



VIEW FROM #5 FRASER ROAD BALCONY - VACANT SITE ON #4 FRASER ROAD



VIEWS OF SIGNIFICANCE FROM #3 & #5 FRASER ROAD



VIEWS OF SIGNIFICANCE FROM #3 & #5 FRASER ROAD

04

DEVELOPMENT
APPROVAL
DRAWINGS

Attree Residence
LOT 70 # 4 FRASER ROAD,
APPLECROSS

GENERAL NOTES:

- ALL DIMENSIONS ARE IN METRIC MILLIMETRES
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE OFF DRAWINGS)
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- ALL MATERIAL SHALL BE OF NEW GOOD QUALITY AND CONFORM TO WHAT IS SHOWN ON THE DRAWINGS
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL WORK
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- ALL BRICK COURSE HEIGHTS ARE TO BE TAKEN FROM MAIN FLOOR LEVEL (i.e. 0' COURSE)
- ALL WINDOWS AND DOORS AS PER WINDOWS AND DOORS SCHEDULE
- ALL WINDOWS TO COMPLY WITH B.C.A. PART 3.9.2.5
- ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED AS PER BCA VOLUME TWO PART 3.7.2.2 AND AS3786-2014
- POOL TO AS1926.1-2013
- THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK OF ANY NEW BUILDING WORK
- SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACCOUNT THEMSELVES WITH ALL VISIBLE SITE CONDITIONS AND ACCESS TO THE SITE
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- HANDRAILS TO COMPLY WITH BCA VOLUME TWO PART 3.9.2.4

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SITE ANALYSIS

JOB No.	302	REV No.	D
DRAWN	Author	DRG No.	A4.02
SCALE	As indicated @ A1		

DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPECROSS

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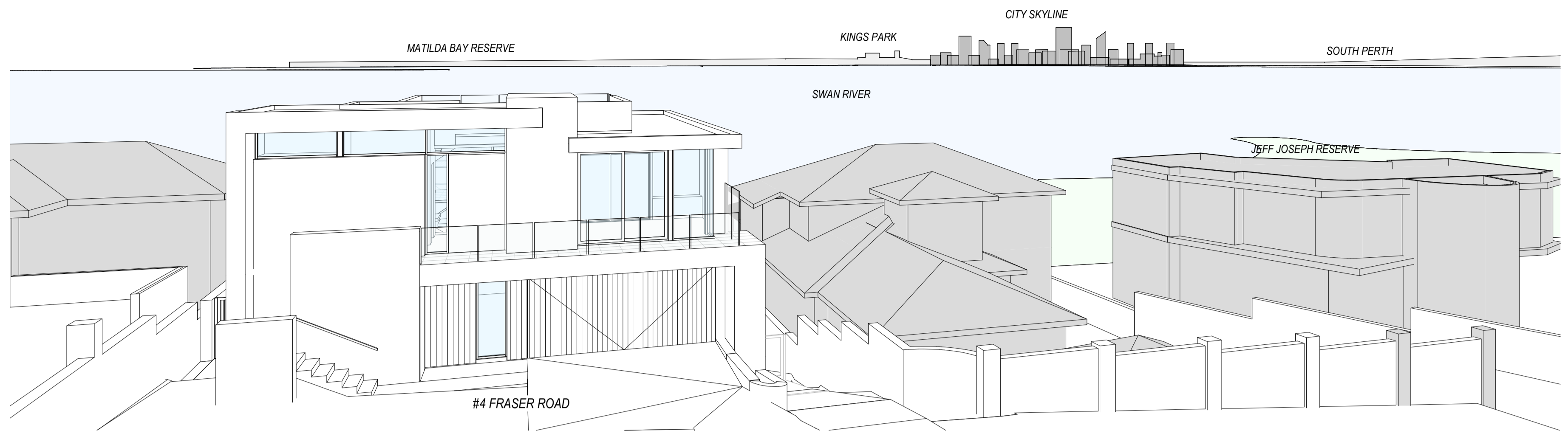
REV	AMENDMENTS	DATE
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B	DA AMENDMENTS	09/02/22
A	ISSUE FOR DA	30/11/21



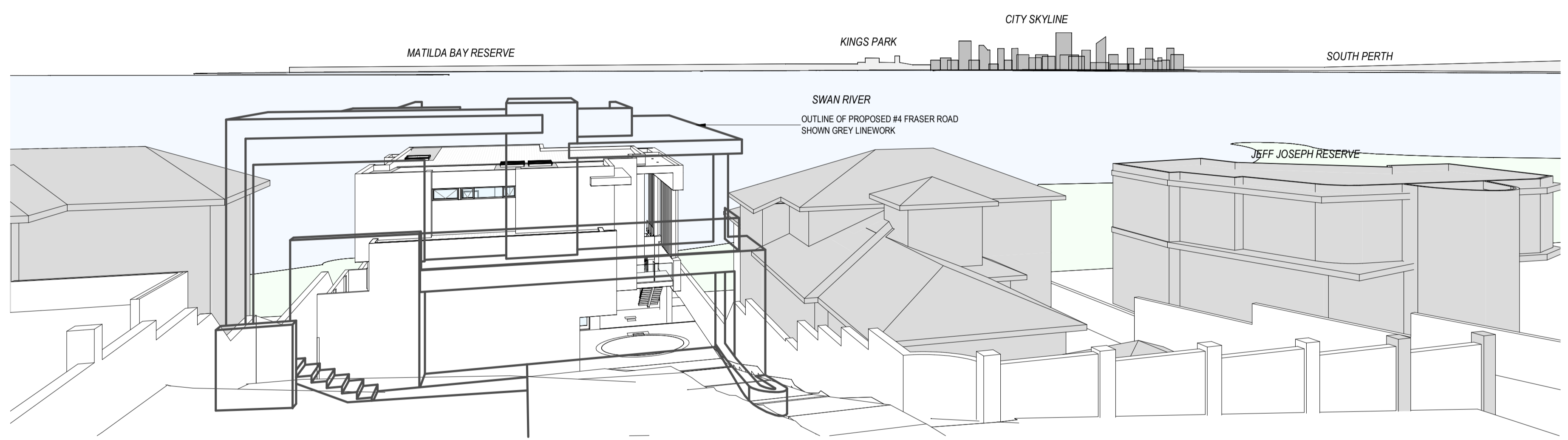
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SITE ANALYSIS

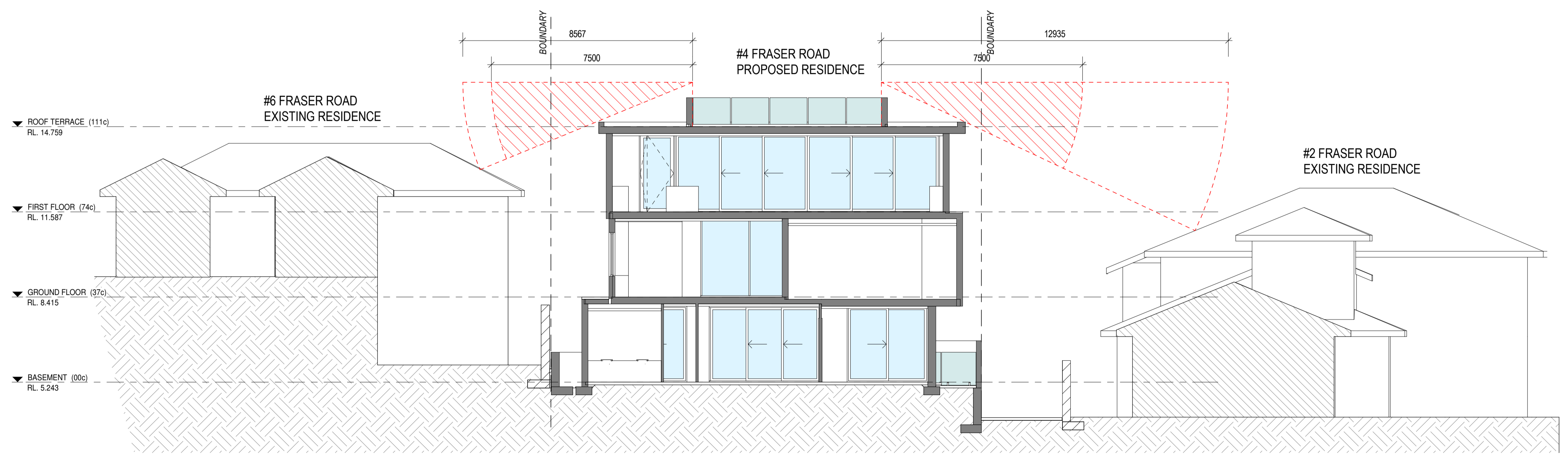
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DRAWN:	Author	DRG No:	A4.03
SCALE:	1:100 @ A1		



VIEW FROM #3 FRASER ROAD UPPER BALCONY - WITH PROPOSED BUILDING ON #4 FRASER ROAD



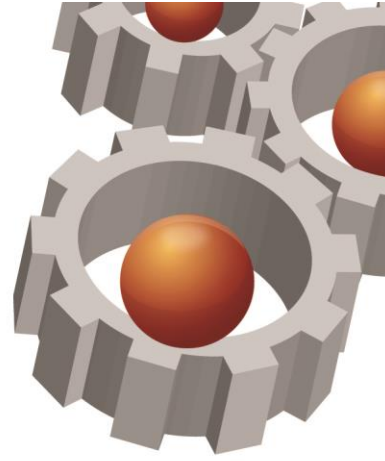
VIEW FROM #3 FRASER ROAD UPPER BALCONY - VACANT SITE ON #4 FRASER ROAD



5 SECTION - PRIVACY SETBACKS
SCALE 1:100



DYNAMIC PLANNING
AND DEVELOPMENTS



ATTACHMENT 2

Deemed to Comply Comparison

| Suite 15/29 Collier Road Morley WA 6062 | P.O. Box 688 Inglewood WA 6932 † (08) 9275 4433 ‡ (08) 9275 4455

DYNAMIC CREATIVE PROACTIVE INNOVATIVE PASSIONATE

admin@dynamicplanning.net.au

www.dynamicplanning.net.au

DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPECROSS

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REV	AMENDMENTS	DATE
E	DTC BUILDING COMPARISON	04/05/22



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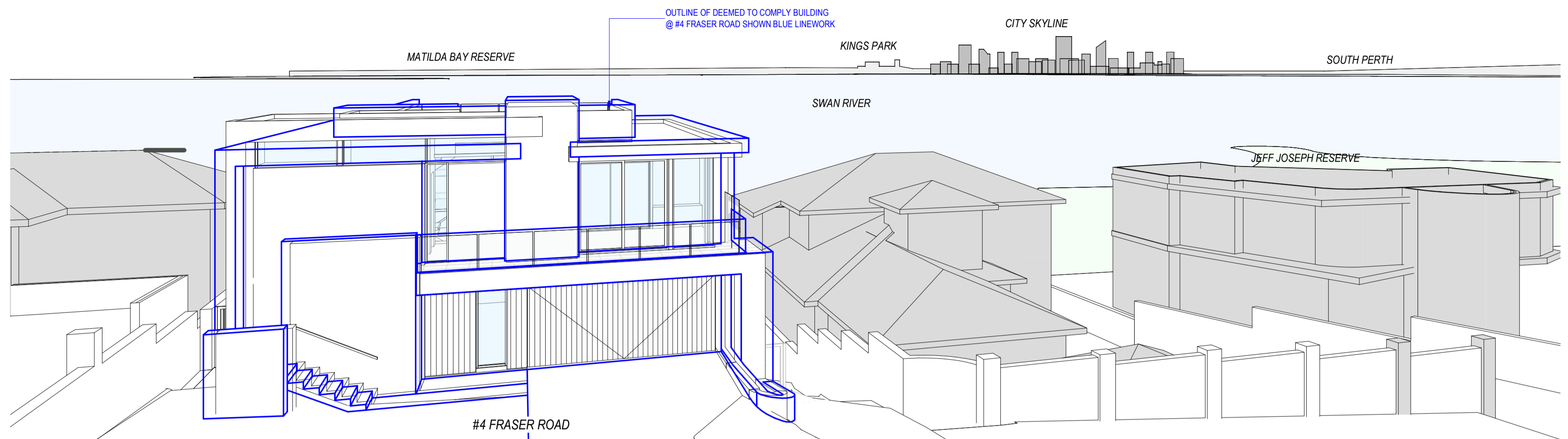
Title
SITE ANALYSIS - 'DEEMED TO COMPLY'

JOB No: **302** REV No: **E**

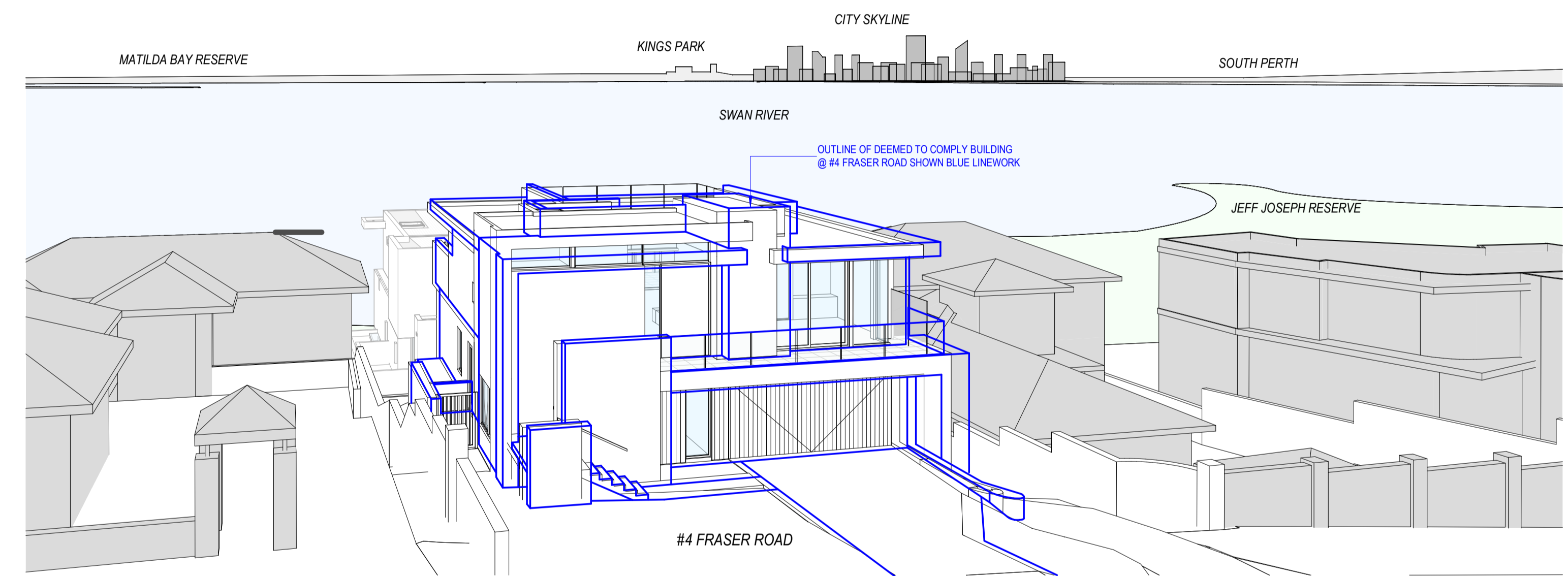
DRAWN
Author

SCALE
1:100 @ A1 DRG No: **A4.04**

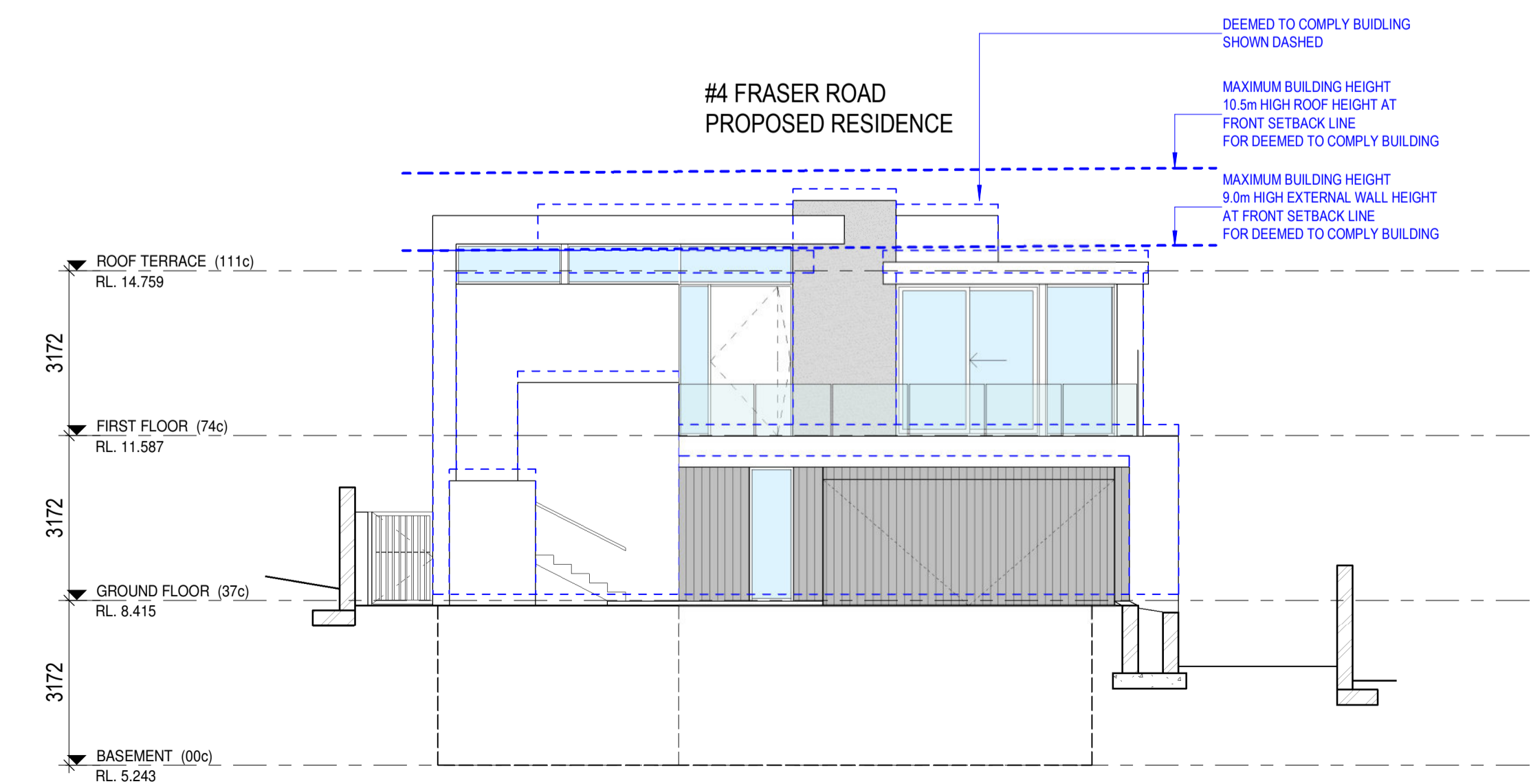
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VIEW FROM #3 FRASER ROAD UPPER BALCONY



VIEW FROM #5 FRASER ROAD BALCONY

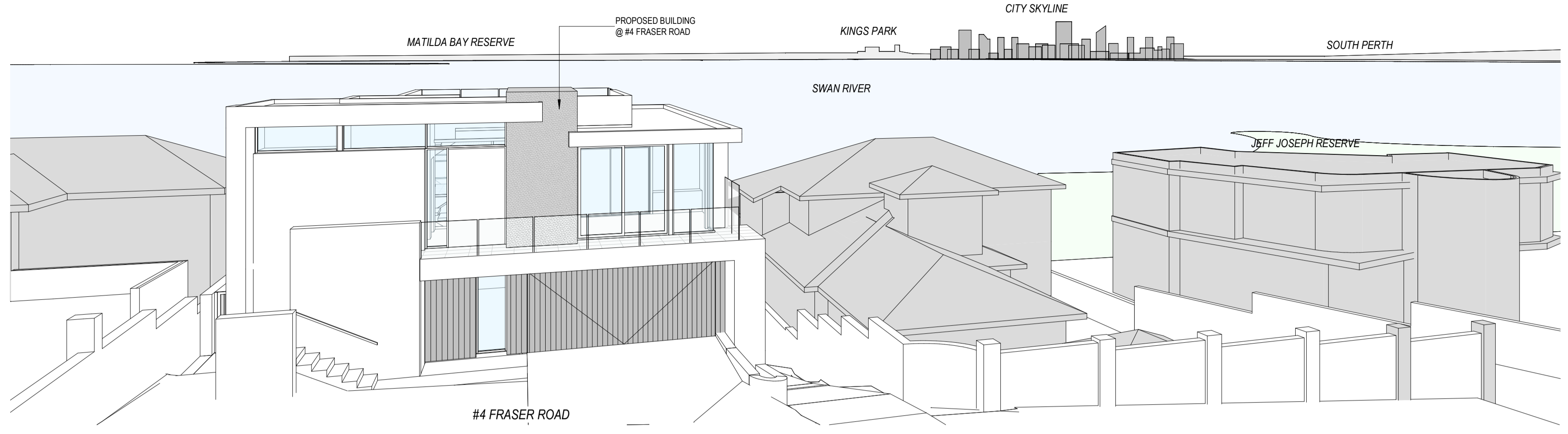


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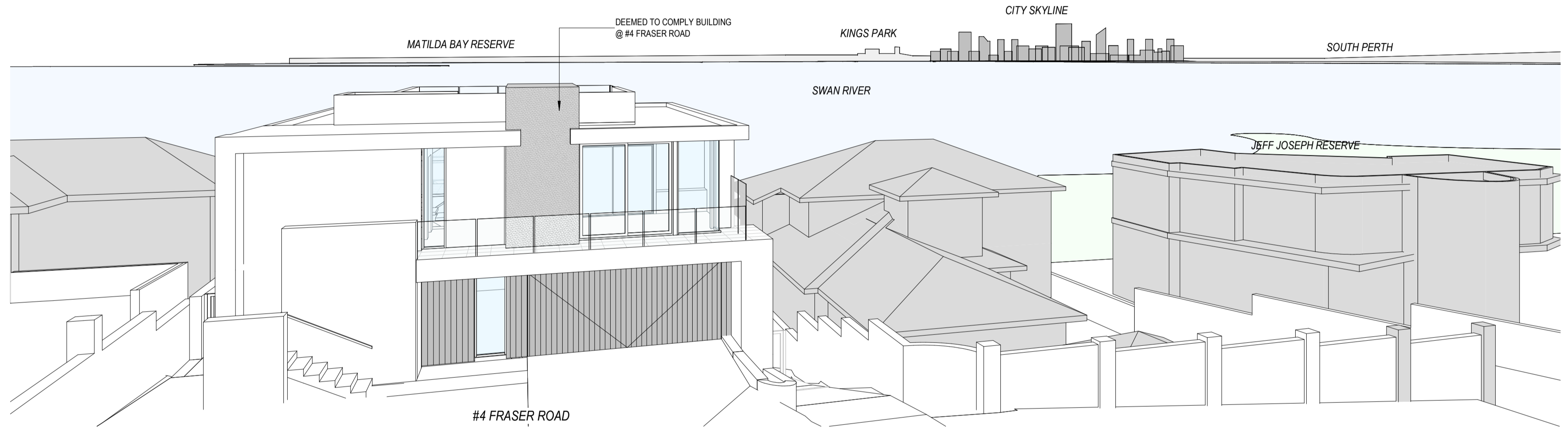
FRONT ELEVATION - WITH DTC BUILDING OUTLINE
SCALE 1:100

DEVELOPMENT APPROVAL DRAWINGS

Atree Residence
LOT 70 #4 FRASER ROAD, APPECROSS



VIEW FROM #3 FRASER ROAD UPPER BALCONY - WITH PROPOSED BUILDING ON #4 FRASER ROAD



VIEW FROM #3 FRASER ROAD UPPER BALCONY - WITH DTC BUILDING ON #4 FRASER ROAD

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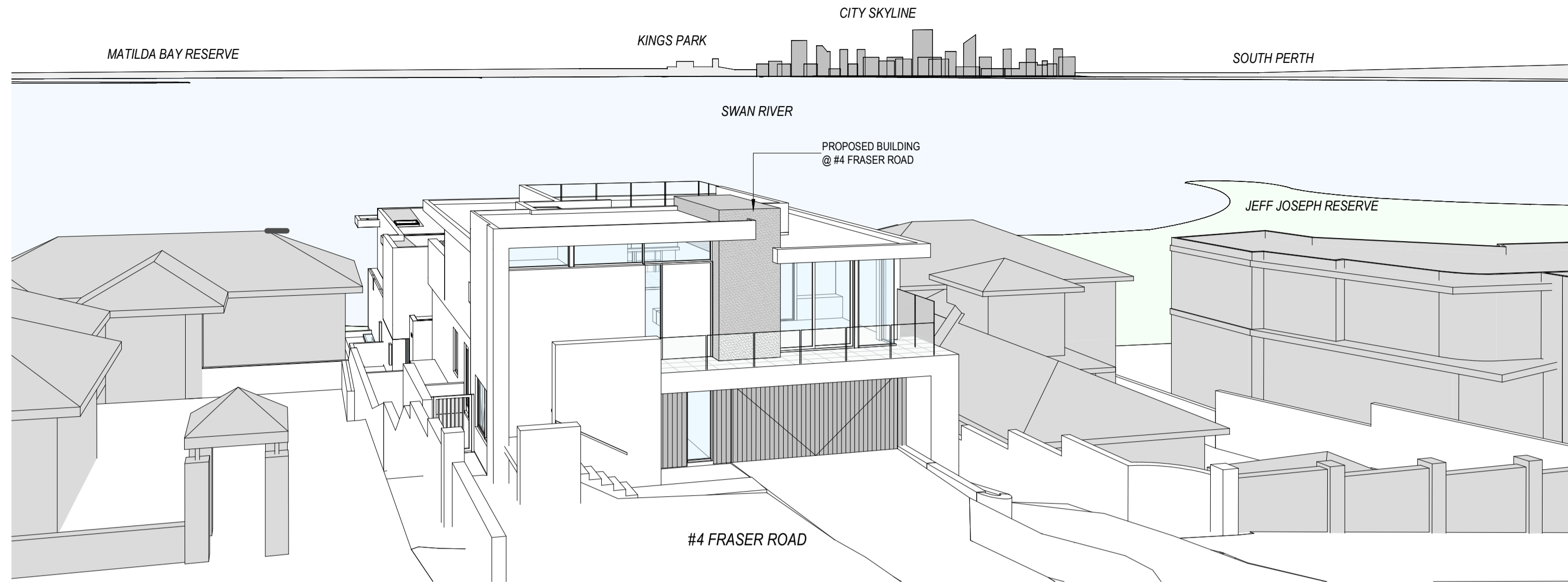
REV	AMENDMENTS	DATE
E	DTC BUILDING COMPARISON	04/05/22



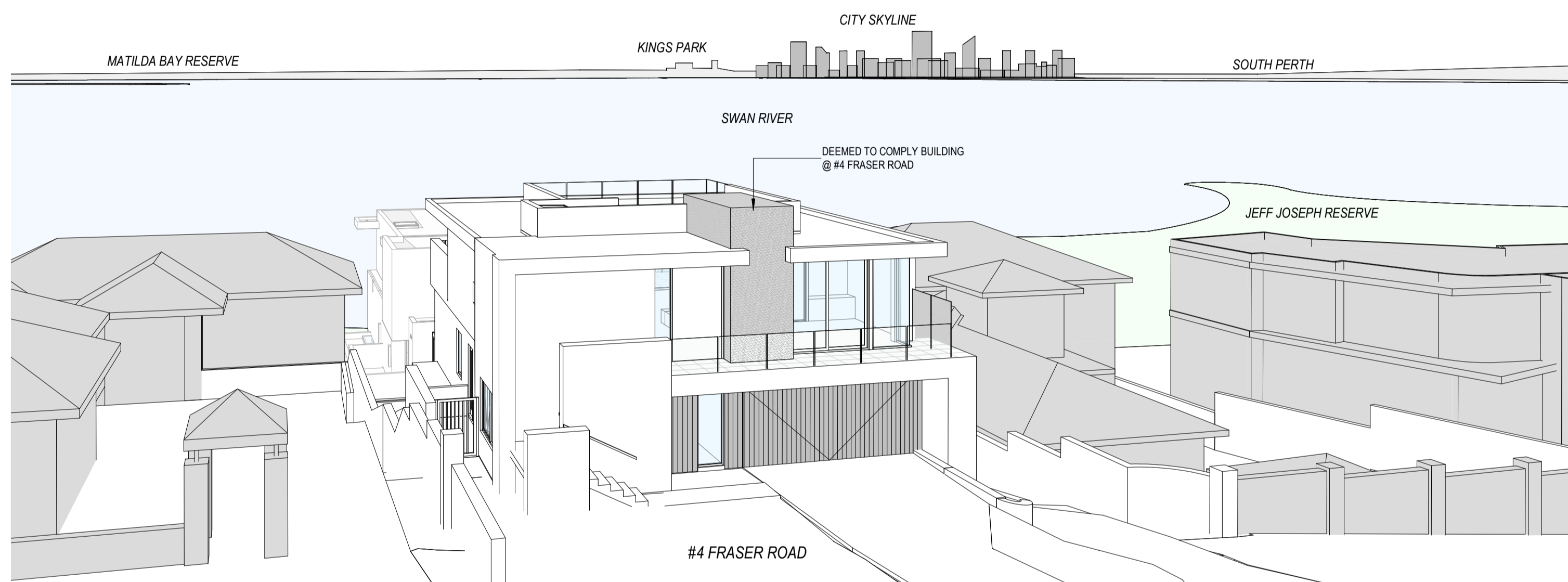
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Title SITE ANALYSIS - 'DEEMED TO COMPLY'	
JOB No. 302	REV No. E
DRAWN Author	
SCALE @ A1	DRG No. A4.05



VIEW FROM #5 FRASER ROAD BALCONY - WITH PROPOSED BUILDING ON #4 FRASER ROAD



VIEW FROM #5 FRASER ROAD BALCONY - WITH DTC BUILDING ON #4 FRASER ROAD

04

DEVELOPMENT APPROVAL DRAWINGS

Attree Residence
LOT 70 #4 FRASER ROAD, APPECROSS

GENERAL NOTES:

- ALL DIMENSIONS ARE IN METRIC MILLIMETRES
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE OFF DRAWINGS)
- LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
- THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE B.C.A.S AND LOCAL AUTHORITY REQUIREMENTS
- ALL MATERIAL SHALL BE OF NEW, GOOD QUALITY AND CONFORM TO WHAT IS SHOWN ON THE DRAWINGS
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL WORK
- ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY BUILDER
- ALL BRICK COURSE HEIGHTS ARE TO BE TAKEN FROM MAIN FLOOR LEVEL, i.e. 10' COURSE
- ALL WINDOWS AND DOORS AS PER WINDOWS AND DOORS SCHEDULE
- ALL WINDOWS TO COMPLY WITH B.C.A. PART 3.9.2.5
- ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED AS PER BCA VOLUME TWO PART 3.7.2.2 AND AS3786-2014
- FLOOR TO AS1562.1-2013
- THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK OF ANY NEW BUILDING WORK
- SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACCQUANT THEMSELVES WITH ALL VISIBLE SITE CONDITIONS AND ACCESS TO THE SITE
- EXCISE ERRORS & OMISSIONS (EXCEPTED) INADVERTENT CLERICAL ERRORS IN INFORMATION OR INCOMPLETE INFORMATION ON THESE DOCUMENTS MAY BE AMENDED ON SITE
- PROVIDE MECHANICAL VENTILATION TO ALL W.C.S
- PROVIDE INSULATION TO ENTIRE RESIDENCE AS PER ENERGY CALCUS
- LIFT OFF HINGES TO WCS LESS THAN 1200 FROM DOOR
- MASONRY WEATHERPROOFING TO COMPLY WITH BCA VOLUME TWO PART 3.3.4.6 & AS 3700 OR AS 4773
- EXTERNAL ABOVE GROUND MEMBRANES TO COMPLY WITH THE BCA VOLUME TWO PART 3.8.3 & AS 4684 PARTS 1 & 2
- START CONSTRUCTION TO COMPLY WITH THE BCA VOLUME TWO PART 3.9.1.2, 3.9.1.3, 3.9.1.5 AND TABLE 3.9.1.1. TRENDS TO BE SLIP-RESISTANT AS PER AS 4586
- HANDRAILS TO COMPLY WITH BCA VOLUME TWO PART 3.9.2.4

BRICKWORK DETAILS

- ALL GENERAL BRICKWORK TO BE 90mm MAXIBRICK AND 90mm LONGREACH BRICKWORK AS REQUIRED, UNLESS OTHERWISE STATED (REFER BRICKWORK LEGEND)
- CAVITY BRICKWORK THICKNESS AS SHOWN ON FLOOR PLAN DIMENSIONING

BRICKLAYERS NOTE

- ALL DIMENSIONS ARE MEASURED FROM BRICKWORK TO BRICKWORK ONLY. NO ALLOWANCE FOR FLOATSET COAT OR CRYPHALL PLASTER

PLUMBER NOTE

- ALL STORMWATER DRAINAGE TO BE CONNECTED TO SOAKWELLS

ROOF PLUMBING NOTE

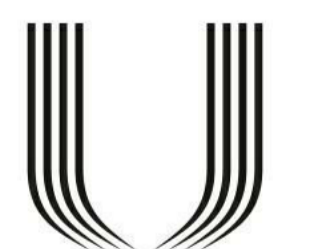
- PROVIDE OVERFLOW PROVISION FOR ALL BOX GUTTERS
- DOWNPIPE SIZES ARE INDICATIVE ONLY. BUILDER AND ROOF PLUMBER TO DETERMINE EXACT SIZES ACCORDING TO AUSTRALIAN STANDARDS AND NOTIFY OF CHANGE TO DRAWING
- TIMBER ROOF CONSTRUCTION TO ENDS DWGS AND AS1684
- ENSURE ALL SHEET ROOFING COMPLIES WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR LOW PITCHED ROOFS UNDER PIP (e.g. LYSAGHT KLIP-LOC 406 DESIGN & INSTALLATION GUIDE)

ENERGY EFFICIENCY NOTES:

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SCALE	@ A1	DRG No.	A4.06