

The URBIS logo consists of the word "URBIS" in a bold, white, sans-serif font, enclosed within a white square frame that is partially open on the right side. The logo is positioned in the upper right corner of the page.

URBIS

The background of the entire page is an aerial photograph of a modern architectural development. The central focus is a tall, cylindrical building with a glass facade and a white grid-like structure. It is surrounded by lush green trees and other buildings. In the foreground, there is a large, multi-story building with a red brick facade and a flat roof with solar panels. The sky is clear and blue, and the overall scene is bright and sunny.

AMENITY IMPACT STATEMENT

10-14 Forbes Road and 40A,
B & C Kishorn Road, Applecross

25 SEPTEMBER 2019
P0010101
DRAFT V2.5
PREPARED FOR APPLECROSS LAND HOLDINGS PTY LTD

URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

Director	Kris Nolan
Consultant	Adam Wood
Assistant Planner	Declan Creighan
Graphic Designer	Kelwin Wong
Project Code	P0010101
Report Number	Final

© Urbis Pty Ltd
ABN 50 105 256 228

All Rights Reserved. No material may be reproduced without prior permission.

You must read the important disclaimer appearing within the body of this report.

urbis.com.au

TABLE OF CONTENTS

Introduction	2
1. Proposal Details	3
1.1. Design Details.....	3
1.1.1. Design Development and Background	3
1.1.2. Project Characteristics Breakdown	4
2. Assessment	5
2.1. Statutory requirements explanation	5
2.2. Requirements of CBACP Assessment	6
2.3. Desired outcomes assessment.....	17
2.4. Bonus provisions assessment	19
3. Variation justification	25
4. Conclusion.....	26
Disclaimer	27

Appendix A	Architectural Plans
Appendix B	Interface Analysis
Appendix C	Community Benefit Analysis
Appendix D	Setback Calculations
Appendix E	Landscape Calculations

INTRODUCTION

Urbis on behalf of Applecross Land Holdings Pty Ltd, the proponents of Lots 311, 800 & 801 (No. 10,12 & 14) Forbes Road and Lots 82, 803 & 804 (No. 40A, 40B & 40C) Kishorn Road, Applecross ('subject site') have prepared this Amenity Impact Statement (AIS) in consideration of an application for a revised 15-storey mixed-use development.

The AIS provides a subjective analysis of the proposal, following a recent design revision and modification from a previously 20-storey mixed-use building. Whilst it is noted that the majority of the proposal has remained consistent with the original design, further consideration has been provided to the relevant provisions and considerations of relevant planning documents such as the City of Melville Local Planning Scheme No.6 (LPS6), Canning Bridge Activity Centre Plan (CBACP), relevant Local Planning Policies and State Planning Policy 7 – Design of the Built Environment (SPP7).

Of particular emphasis within this AIS is the allowance for additional bonus height provisions which are available at the site through a series of design and community benefit considerations. Further assessment and review of these elements are outlined within this report.

The overall AIS is provided to supplement a broader application package and has been informed by a number of specialist consultant reports, including but not limited to architectural designs, landscaping plans, interface analysis and community benefit analysis.

1. PROPOSAL DETAILS

1.1. DESIGN DETAILS

1.1.1. Design Development and Background

The proposed development seeks to create a vertical extension of the inherit Applecross neighbourhood characteristics of the beautifully tree lined and landscaped locality. The development strives to deliver high quality liveable homes for residents, intertwined with exemplary vertical landscape integration and community facilities, providing for an extremely desirable location for living, working and playing.

The design of the development has been informed by an extensive and rigorous design review process. A number of engagements inclusive of previous Design Review Panel (DRP) meetings, communications with the City of Melville (the City), two Joint Development Assessment Panel (JDAP) meetings and four State Administrative Tribunal (SAT) mediation processes has delivered feedback and advice which has guided the final design outcome. The design has previously been commended by the DRP for its exemplary design outcomes as it achieves the following:

- A design narrative that seeks to embed the project in its cultural and historical local context
- An activated and engaged ground plane along with an inhabited and activated podium both of which enhances the streetscape and is arranged within required setbacks.
- A mix of uses, accessible by the public, in the podium for a co-work, commercial and community space.
- Service and vehicular entries have been minimised and car parking has been concealed underground to allow the ground plane to support and facilitate the pedestrian experience.
- Extensive landscaping at the ground as well as throughout the structure, including vertical landscape has resulted in greenery equivalent to 141% of the site area.
- Well planned and diverse range of apartments with very high levels of cross ventilation.
- Positive sustainable design initiatives including greywater re-use.

Additional to exemplary design, the proposed development provides a high degree of community benefits that have been identified as being of great need within the local surroundings. The design of the proposed development seeks to celebrate the local heritage and character of Applecross, whilst embracing new standards in apartment design. The celebration of the existing and embracing of new standards summarises the approach that the design of this building has taken. It is out position that the reduction in building height does not alter the design excellence being achieved on the site.

1.1.2. Project Characteristics Breakdown

Table 1 – Design Component Analysis & Comparison

Component	Original Proposal	Revised Design	Variation
Building Height	20 Storeys + amenities 76.9m	15 Storeys + amenities 59.958m	-5 Storeys -16.942m (22% reduction)
Dwelling Breakdown	97 apartments Floor Plate: 1047sqm (7 Apartments) Lifts: 3	88 apartments Floor Plate: 1096sqm (8 Apartments) Lifts: 2	-9 apartments Floor Plate: +49sqm (+1 Apartment) Lifts: -1
Community Space Elements	Community Garden: 199sqm Public Space/ Alfresco: 300sqm EoT Facilities: 87sqm Pedestrian Thoroughfare: 291sqm Co-Working: 524sqm Retail, Food and Beverage: 155sqm Commercial: 169sqm Community hall: 188sqm Short Stay: 15 units	Community Garden: 199sqm Public Space/ Alfresco: 300sqm EoT Facilities: 100sqm Pedestrian Thoroughfare: 291sqm Co-Working: 565sqm Retail, Food and Beverage: 155sqm Commercial: 169sqm Community hall: 225sqm Short Stay: 16 units	Community Garden: No change. Public Space/ Alfresco: No change. EoT Facilities: +13sqm Pedestrian Thoroughfare: No change Co-Working: +41sqm Retail, Food and Beverage: No change Commercial: No change Community hall: +37sqm Short Stay: +1 units
Parking Bays	Residential: 135 Short Stay: 7 Commercial: 17 EV charging points: 1 M/C / Scooter: 4 Bicycle: 42 residents, 5 public, 19 commercial	Residential: 122 Short Stay: 7 Commercial: 19 EV charging points: 2 M/C / Scooter: 4 Bicycle: 39 residents, 5 public, 22 commercial	Residential: -13 Short Stay: No change Commercial: +2 EV charging points: +1 M/C / Scooter: No change Bicycle: -3 residential, no change to public, +3 commercial
POS / Landscaped Areas	Landscape Zone: 900.85sqm Planting on Structure: 2,906.49sqm Deep Soil: 91.01sqm Balconies >12sqm: 1,805.02sqm Total: 5,703.37sqm	Landscape Zone: 682.89sqm Planting on Structure: 2,070.06sqm Deep Soil: 91.01sqm Balconies >12sqm: 1,264sqm Total: 4,107.96sqm	Landscape Zone: -217.96sqm Planting on Structure: -836.43sqm Deep Soil: No change Balconies >12sqm: -541.02sqm Total: -1,595.41sqm

2. ASSESSMENT

This section of the report identifies the requirements of the Canning Bridge Activity Centre Plan (CBACP) and assesses how the proposed development complies with the statutory requirements.

2.1. STATUTORY REQUIREMENTS EXPLANATION

As outlined within Division Two of the CBACP several key design components are identified for all developments within the area. These are identified as being:

- Land use
- Site planning and built form
- Public spaces
- Parking and servicing
- Safety and security
- Bonus provisions

Further explanation and justification of the 'requirements' of the CBACP are outlined in Table 1, with particular focus on elements specific to the M10 (Mixed Use 10 Storey) and Q1 (Kintail Quarter) provisions which apply to the site.

As outlined under the 'bonus provisions', *'properties within the M15 or M10 Zone, consideration of greater height than permitted in Element 3 may be approved where the relevant Desired Outcomes of all Elements are met or exceeded and where exemplary design is proposed in the opinion of the Design Advisory Group and where the development includes the provision of a significant benefit to the community'*. As the proposal is located within the M10 zone and is seeking additional height bonuses up to 15 storeys, particular emphasis on this key requirement has been addressed throughout this report.

2.2. REQUIREMENTS OF CBACP ASSESSMENT

Table 2 – Assessment of the Proposal Against the Requirements of the CBACP

Element	Requirements	Proposed	Compliance
Land Use			
Element 1 Land use	<p>Preferred land uses (M10)</p> <p>1.1.1.2 – Ground floor- Restaurant, Small bar, Office, Shop, Tourist Accommodation, Reception Centre, Retail, Educational establishment, Civic Uses.</p> <p>1.1.2.2 – Uses above ground floor- Restaurant, Small Bar, Hotel, Mixed Development, Office, Shop, Tourist Accommodation, Reception Centre, Retail, Multiple Dwelling, Residential Building, Educational Establishment, Civic Uses, Consulting Rooms, Public Car Parking, Convenience Store, Home Occupation, Home Office.</p> <p>1.1.1 – Dwelling Diversity</p> <p>Min. 20%, max 50% - one (1) bedroom or studio dwellings. Min 40% - two (2) bedroom dwellings.</p> <p>1.1.2 – Uses Not Listed</p> <p>Any use not listed in the relevant Clause pertaining to the relevant Quarter is not permitted unless the Council is satisfied that the use is consistent with the relevant Desired Outcomes for that Quarter.</p>	<p>The proposal incorporates a complementary mix of land uses across the site, which are consistent with the preferred land uses as outlined within the CBACP. These include:</p> <p>Residential</p> <p>Restaurant/Café</p> <p>Office</p> <p>Retail / Shop</p> <p>Short Stay Accommodation</p> <p>Civic Uses (Community Hall)</p> <p>The proposal incorporates a total of 88 residential apartments with the below composition:</p> <p>1 bedroom/studio: 20 – 22.72%</p> <p>2 bedrooms: 40 – 45.45%</p> <p>3 bedrooms: 23 – 26.14%</p> <p>4 bedrooms: 5 – 5.68%</p>	Compliant

Element	Requirements	Proposed	Compliance
Site Planning and Built Form			
Element 2 Site Planning and Built Form	<p>Provide continuous urban edge to street.</p> <p>Integrate pedestrian and or vehicle access points to not disrupt street rhythm.</p> <p>Buildings which are greater than 32-meters in height (approximately 10 storeys), shall only be permitted where the land area comprises a minimum of 1,800m².</p> <p>All development to extend across the full street frontage.</p> <p>Encourage active uses at podium level or roof top.</p>	<p>The proposal utilises a mix of ground floor uses such as retail, food and beverage and co-working spaces which provide activation to the streetscape, and into a pedestrian focused environment. The ground floor plane has been designed with increased setbacks and landscaping to reduce building mass and provide for active frontages across the site.</p> <p>Both vehicular and pedestrian access points have been strategically located on site to allow efficient delineation and establish a primary entrance to the site. It is noted that both access points have been located where existing crossovers exist at the site.</p> <p>The total lot size is 2,023sqm and as such discretion for greater height is able to be considered.</p> <p>The proposal utilises a corner site, providing activation to both street frontages. A total street frontage of 151m is provided at the site.</p> <p>A number of active uses have been established on the lower levels up to the podium, including a several community facilities/uses. Additional amenities are also proposed on the roof top.</p>	Compliant
Element 3 Height	<p>For buildings in the M10 Zone, notwithstanding the 10-storey height limit, no building shall exceed 32 meters above NGL.</p> <p>Podiums shall be a minimum of 7 meters above NGL and shall not exceed 13.4 meters above NGL.</p>	<p>The proposed building achieves a total of 15 storeys equating to 59.8m NGL. Notwithstanding, discretion for additional height bonuses at the site are available as per Element 21 and 22 of the CBACP. These elements, and their compliance has been addressed further within this report.</p> <p>The podium height is identified at 10.2m NGL.</p>	<p>Does not comply – Refer to Table 3 for further justification.</p> <p>Compliant</p>

Element	Requirements	Proposed	Compliance
<p style="text-align: center;">Element 4 Street Setbacks</p>	<p>Address street with minimum 2 storeys of podium level</p> <p>All developments including and above the fourth floor to be setback from primary and secondary street minimum 5.0m from boundary</p> <p>All development in the M10 zone in Q1 and Q2 shall have a minimum 1.5m and maximum 3m setback to street boundaries</p> <p>Development that proposes a variation to this setback by way of public spaces and plazas will be considered on its merit, where the development of appropriate public spaces/ plazas is considered to contribute to the quality of the centre at the location</p> <p>Street setback areas shall be activated and/ or landscaped.</p>	<p>The podium is proposed at 2 storeys.</p> <p>As shown in the attached setback comparative, minor areas of non-compliance have been identified along the northern, western and southern boundaries. The total encroachment area has been equated to 182sqm (across all levels above the podium). Notwithstanding, through the design of the building, areas of additional setback have been created to assist in offsetting the encroachment. Overall the proposed design achieves 2,080sqm of area (above the podium level) which is setback greater than the requirements.</p> <p>The proposal allows for increased setbacks across the site to further enable to reduction in building mass. Accordingly, whilst the minimum 5m setback to primary and secondary frontages is allowed, additional setbacks above this requirement are also provided.</p> <p>Similar to the upper levels, a setback encroachment of 130sqm within a 1.5m setback of street level (Ground to Level 3) has been identified as shown within the setback calculations. Notwithstanding a total of 735sqm of additional setback has been provided, which is also inclusive of vegetated and pedestrian oriented areas.</p> <p>The ground level incorporates a range of active uses as well as providing for a landscaped public thoroughfare to allow to greater site activation and legibility.</p>	<p>Compliant</p> <p>Street boundary setbacks do not comply – Refer to Table 3 for further justification.</p>

Element	Requirements	Proposed	Compliance
Element 5 Side & rear setbacks	<p>Any new podium level development shall be built up to side boundaries, ROW and/or rear boundary.</p> <p>Address pedestrian access way through active frontages and glazing.</p> <p>Tower elements setback min. 4, from side or rear so as to provide 8m separation between tower elements.</p> <p>Open sided balconies and roof terraces permitted to extend into side setback areas.</p> <p>Provision of privacy, solar access and overshadowing do not apply.</p>	<p>The proposal has a 0m setback to both the northern and eastern boundaries up to the podium level (Level 2).</p> <p>The ground level incorporates a range of active uses as well as providing for a landscaped public thoroughfare to allow to greater site activation and legibility.</p> <p>Tower elements have been set back at a minimum of 4m at the site, with areas allowing for greater setback through architectural design of the building.</p> <p>As shown within the setback calculations, minor protrusions have been identified, however are limited only to balconies and roof terrace areas. The proposed encroachment is considered minimal and adds to the articulation of the building. It is noted that the encroachment areas are primarily limited to the eastern boundary with minor portions on the northern and southern interfaces.</p>	Compliant
Element 6 Linking Pathways	N/A	N/A	N/A

Element	Requirements	Proposed	Compliance
Element 7 Canning Highway	N/A	N/A	N/A
Element 8 Landmark Buildings	N/A	N/A	N/A

Element	Requirements	Proposed	Compliance
Element 9 Facades	<p>Development shall be sympathetic to the surrounding environment.</p> <p>Incorporate substantial areas of glazing on street frontages with a minimum of 50%.</p> <p>Windows and balconies are to be incorporated above ground floor.</p> <p>Responding to vertical and horizontal fenestration of adjoining developments.</p> <p>Designed to discourage vandalism.</p> <p>Pedestrian links within development sites to have a visual interest & activity (retail and food/ beverage).</p> <p>Ground floor levels are to be more more/ less than 500mm of NGL.</p>	<p>To support the application an interface analysis has been conducted which assesses the proposal against any visual impact, design excellence and height transition. The report concludes that the building has been appropriately designed to be sympathetic to the surrounding environment, and sensibly manages the interface and transition to the adjacent R4, M10 and M15 zones.</p> <p>Glazing is provided along the majority of both street frontages to the south and west of the site.</p> <p>Windows and balconies are provided above ground floor.</p> <p>An internal pedestrian thoroughfare has been established on the ground level which connects from Forbes Road to Kishorn Road and provides for a food and beverage tenancy to be situated on the created corner. This pedestrian link provides additional activation through the site and also allows for easy access to the central lobby.</p> <p>All ground floor levels are less than 500mm above NGL.</p>	Compliant
Element 10 Open Space and Landscaping	<p>Developments may cover 100% of site area subject to setback requirements of Element 4</p> <p>Landscaping spaces to be provided within setbacks or open space areas that are provided.</p> <p>75% landscaping to be provided in the form of rooftop, vertical, podium and/ or communal spaces. Balconies >12sqm are included in this calculation.</p> <p>Landscaping in the form of hard and soft landscaping can be utilised. Water sensitive designs to be implemented.</p> <p>Fencing <1.2m will reinforce separation between public/ private realm.</p>	<p>The proposal complies with the required setbacks outlined within Element 4, and through architectural articulation results in a building which has a unique curved design allowing solar passive design. The result is a development which is less than 100% site area coverage.</p> <p>As outlined within the Landscape Plan prepared by CAPA Landscape Design, the proposal promotes a high level of landscaping across the site, both at a ground level and vertically cascading landscaping over the building. A total of 4,107.96sqm of landscaped area is provided across the site incorporating ground level, and vertical gardens (including balconies) inclusive of 199sqm of community garden space. This results in a total 141% landscaping across the site.</p> <p>No fencing is proposed at-grade due to corner site location.</p>	Compliant

Element	Requirements	Proposed	Compliance	
Element 11 Sustainability	All non-residential development shall provide end-of-trip facilities comprising one change room per storey of each story of the building which comprises non-residential land uses.	The proposal incorporates several non-residential uses at the site, which are provided across 3 storeys. Accordingly, the following end of trip facilities are provided.		
	All non-residential development shall provide bays for the exclusive use of charging electric cars at the rate of one bay in every 25 bays	Required	Proposed	
	All buildings shall be designed to enable access to natural light and cross ventilation.	2 Change Rooms	General public and commercial facilities	
	Kintail and Ogilvie Quarters (that is the Quarters within the City of Melville) shall achieve a 4-star design rating under Green Building Council of Australia.	9 Bicycle Bays	27 bicycle bays	
		1 Locker per bicycle bay	27 lockers	
		1 shower	6 showers	
		<p>A total of 2 electric vehicle charging bays are provided at site.</p> <p>The contoured and sculpted built form of the building allows significant volume of the building to be removed. This reduced bulk optimises view corridors and sunlight access to residences, short term accommodation as well as neighbouring properties.</p> <p>A Sustainability Report has been prepared as part of the application and identifies that the proposal meets a 5-star green star rating, and the extent of ESD integration proposed will firmly establish the proposal at the forefront of the Perth sustainable mixed-use residential sector.</p>		

Element	Requirements	Proposed	Compliance
Element 12 Acoustics	N/A	N/A	N/A
Element 13 Adaptability	Buildings shall be designed to be adaptable to a variety of uses where the initial use is not a preferred use or would not fully achieve the desired outcomes of a particular site. Development plans submitted with the application shall provide details of the adaptability of the development and the proposed and future use of the development.	All uses proposed are considered to be 'preferred uses' as outlined in Element 1. As part of the proposal, uses such as the co-working space are able to be easily and readily adapted to market demands for use of office, gallery or similar.	Compliant
Public Spaces			
Element 14 Street Edges	<p>Development adjacent to street edges shall ensure that adequate access is provided for pedestrian traffic. Alfresco dining areas shall provide unimpeded through access under awning/colonnades.</p> <p>Advertising signage shall be restrained and not superfluous. Signs above footpaths shall have a minimum clearance of 2.7 meters to the verge level.</p>	<p>An internal pedestrian thoroughfare has been established on the ground level which connects from Forbes Road to Kishorn Road and provides for a food and beverage tenancy to be situated on the created corner. This pedestrian link provides additional activation through the site and also allows for easy access to the central lobby.</p> <p>Signage is to be controlled as to comply with the requirements of the CBACP and any other relevant requirements set out by the City. No signage is currently considered in the current proposal.</p>	Compliant

Element	Requirements	Proposed	Compliance
Element 15 Level Changes	<p>Non-sacrificial anti-graffiti coating treatment to discourage potential graffiti.</p> <p>Landscaping in front of retaining, street furniture and articulation of walls to avoid blank walls</p> <p>Provide universal access. Innovative design features for ramps are encouraged to make universal access an integral part of design.</p>	<p>High-quality materials, planting and active uses at the ground floor mean that there are minimal blank walls within the site, and also deter any potential graffiti.</p> <p>Whilst the site is relatively flat in nature, the proposal has been designed in compliance with universal access standards to ensure safe and equitable access for all residents and visitors.</p>	Compliant
Element 16 Fencing	<p>Fencing shall be of a high quality on both sides.</p>	<p>No fencing is proposed along Forbes or Kishorn Road frontages.</p>	Compliant
Element 17 Public Art	<p>1.0% of the total capital cost of development to a CBACP wide public art fund. The total cost liability for contribution to the public art fund shall be capped at \$500,000.</p>	<p>Provision of public art contributions is currently being considered further, with an appropriate artist to be engaged following further detailed design stages.</p>	Compliant

Element	Requirements	Proposed	Compliance
Parking & Servicing			
Element 18 Parking	<p>Residential (car): <i>Min. 0.75 bay/ max 1.0 bays per studio or 1 bed</i> Required: min 15 - max 20 bays <i>Min. 1.0 bay/ max 1.5 bays per 2 or 3 bed</i> Required: min 63 – max 94.5 (95) <i>Min. 1.25 bay/ max 2.0 bay per 4+ bed</i> Required: min 6.25 (6) – max 10 TOTAL: min 84 – max 125 Resident visitor (car) Required: nil Resident (bicycle bays): <i>1.0 bay per dwelling</i> Required: 88 Commercial (car): <i>1.0 bay per 50sqm (min)/ 25 sqm (max) NLA (917sqm)</i> Required: min 18.34 (18) – max 36.68 (37) Commercial (scooter/ motorbike): <i>1.0 bay per 5 car bays</i> Required: min 3.6 (4) – max 7.4 (7) Commercial (bicycle bays): <i>1.0 bay per 100sqm NLA (917sqm)</i> Required: 9.17 (9)</p>	<p>A total of 150 car bays are provided on-site, with an additional 4 motorcycle bays, and 124 bicycle storage bays. These are provided as per the following:</p> <p>Residential (car): Required: 84 - 125 Provided: 122</p> <p>Residential visitor (car): Required: nil Provided: nil</p> <p>Commercial (car): Required: 18 – 37 Provided: 19</p> <p>Motorcycle/Scooter: Required: 4 Provided: 4</p> <p>Commercial Bicycle: Required: 9 Provided: 22</p> <p>Residential Bicycle: Required: 88 Provided: 99 (Including 60 stores equal to or >5sqm with provision for bike storage)</p> <p>Additional Bays: Electric Vehicle: 2 Short Stay: 7</p> <p>The above considered an excess of parking at the site, above the minimum requirements. In accordance with the Traffic Assessment provided with the original application, and the revised memo, the proposed new development will result in a reduced traffic capacity, and as a result any impact has been reduced at both the site and surrounding road network.</p>	Compliant

Element	Requirements	Proposed	Compliance
<p style="text-align: center;">Element 19</p> <p style="text-align: center;">Servicing & Functionality</p>	<p>Management of waste wholly with the development site, including the ability for service vehicles to circulate within the development.</p> <p>No on-street waste collection areas are permitted</p> <p>Provide a Movement Summary (written Statement)- design intent behind the development of the site in relation to pedestrian access points, access to parking and cycling, pedestrian and cyclist pathways loading areas and waste management.</p> <p>All residential developments- enclosed, lockable storage area, min dimension of 1.5m with an internal area of at least 4sqm, for each grouped or multiple dwelling(s).</p>	<p>A waste management plan has been prepared and submitted with the application. As part of the revised design, a bin chute has been discretely located centrally within the core of the building to provide a central waste collection point. The discharge point for the bin room accordingly has been shifted further south.</p> <p>As outlined within the waste management plan, sufficient storage areas have been provided to service the waste of the proposal.</p> <p>All waste is to be collected from the loading bay located within the development.</p> <p>A movement summary has been provided within a Design Analysis provided with the application.</p> <p>A total of 88 stores are proposed (i.e. 1 per multiple dwelling). 60 of the stores have been designed equal to or >5sqm to allow for additional bicycle storage.</p>	<p>Compliant</p>
Safety and Security			
<p style="text-align: center;">Element 20</p> <p style="text-align: center;">Safety</p>	<p>Access to and through a development shall be safe and efficient.</p> <p>Entrances shall be positioned so that all pedestrian moment is adequately lit and directly visible from a public space.</p> <p>Access to and from carparking areas and building entrances shall be adequately sign-posted with provision of good lighting to enable safe out of hours use.</p>	<p>The site has been designed to enable safe movement throughout the site for both residential and non-residential uses, with entry points clearly legible.</p> <p>Vehicular access will be provided off Kishorn Road and provides shared access for both residential and commercial vehicles.</p>	<p>Compliant</p>

2.3. DESIRED OUTCOMES ASSESSMENT

Table 3 – Assessment of the proposal against the ‘desired outcomes’ of the CBACP

Element	Desired Outcome	Proposed/ justification	Compliance
Site Planning and Built Form			
Element 3 Height	<p>Consistent with desired scale and built form of centre.</p> <p>Ensure interface between zones is managed.</p> <p>Provide variation in scale, bulk and form.</p> <p>Ensure setbacks to buildings contribute to a distinct street character that is sensitive to pedestrian scale.</p> <p>Podiums to provide an opportunity for creating a diversity of scale and form at lower level, whilst taller elements comprise rooftop terraces and gardens at varying levels.</p> <p>Alternative means to reduce bulk and scale such as green walls and façade articulation encouraged.</p> <p>Not adversely affect vibrancy and activity required by creating unnecessary breaks in active frontages.</p>	<p>The subject site is located at a crossroad of interfacing zones, with further M10 to the north and east, M15 to the south, and H4 to the west. Accordingly, the design of the building is required to respect all three interfaces utilising sympathetic design and architectural elements to soften any perceived impacts. To ensure the proposed design has remained sympathetic to the interfacing zones, an interface analysis assessment has been undertaken. The report finds that the architectural design and elements of the building significantly reduce any perception of increased height. With the inclusion of both vertical and horizontal landscaping reducing the bulk and scale of the building.</p> <p>The increased setbacks across the site, as well as the non-linear nature of the podium landscaping provides depth and articulation of horizontal planes and establishes a new visual ground plane, reducing the overall verticality of the building.</p>	Compliant

Element	Desired Outcome	Proposed/ justification	Compliance
<p style="text-align: center;">Element 4 Street Setbacks</p>	<p>To ensure that the setback to buildings contributes to a distinct street character and that the form of multi-level development is sensitive to pedestrian scale.</p> <p>Podiums will provide an opportunity for creating a diversity of scale and form at lower levels, whilst taller elements are encouraged with setbacks comprising rooftop terraces and gardens at varying levels throughout development.</p> <p>Alternative means to reduce bulk and scale such as green walls and façade articulation are also encouraged.</p> <p>New buildings that are setback from the street boundary should not adversely affect the vibrancy and activity required to support the expected outcomes of the CBACP by creating unnecessary break in active frontages as per Figure 7.</p>	<p>As per the plans provided, only minor setback variations are proposed at the site as a result of the building re-design. Notwithstanding, the site has been designed to incorporate areas of additional setback to offset any impact that these variations may have.</p> <p>On a net scale, it is identified that there is a total of 312sqm of setback encroachment, which has been balanced by 2,815sqm of increased setback area.</p> <p>It is identified that the minor encroachments are identified as being primarily balcony areas, landscaped areas or public areas such as the external stairwells, which are considered appropriate in accordance with Element 5.</p> <p>Community facilities have been located at podium level 1, including a community garden space; along with private building amenities including a lap pool, play space, dining/lounge area and gym located on the rooftop terrace.</p> <p>Overall the setback variations and balance, in conjunction with substantial greening of the building significantly reduce the overall bulk and scale of the building whilst being sympathetic to neighbouring properties.</p>	<p>Compliant</p>

2.4. BONUS PROVISIONS ASSESSMENT

In accordance with the bonus provisions set out within the CBACP, properties located within the M15 or M10 zones are afforded consideration of greater height than permitted under Element 3, and may be approved where the relevant desired outcomes of all elements are met or exceeded, and where exemplary design is proposed. Additional consideration is granted to the provision of significant community benefit within the development.

Bonus provisions are set out under Element 21 and 22 of the CBACP which have been further assessed in the tables below:

Table 4 – Bonus Provisions Assessment (Element 21)

Requirement	Proposal	Compliance
Element 21- Development Bonus Based on Design Considerations		
21.1 - Proposal is exemplary in design in the opinion of the Design Advisory Group	<p>As stated within the 1 August 2018 Design Review Panel minutes, the previously proposed 20-storey building it was stated that “<i>the design quality with the subject development sets a new benchmark for quality design, certainly in Perth and WA, but most likely in Australia</i>”.</p> <p>The revised design, whilst being reduced in height, has adopted a consistent approach to all of the design elements and principles and would remain an exemplar development.</p>	Compliant
21.2 – For development in the M15 Zone, the site shall have a minimum area of 2,600sqm.	N/A	N/A
21.3 - For development in the M10 Zone, the site shall have a minimum area of 2,000sqm.	The total site area is 2,023 sqm.	Compliant
21.4.1 - The proposed development has been designed with regard for solar access for adjacent properties taking into account outdoor living area, major openings to habitable rooms, solar collectors and balconies.	<p>The proposed development has been uniquely designed and achieves almost 100% cross-ventilation, allowing natural light and ventilation through corridors and as well as allowing for solar access to adjoining properties.</p> <p>With a reduction in building height, there is also a considered reduction in any overshadowing from the site in comparison to the previous design.</p>	Compliant

Requirement	Proposal	Compliance
21.4.2 - The proposed development meets 5 Start Green Star design rating under the Green Building Council of Australia in Quarter 1 and 2 (the Quarters in the City of Melville).	As per the sustainability report provided with the application, the proposed site meets a 5-star green star rating.	Compliant
21.4.3 – A traffic statement is submitted showing that the additional floorspace allowed will not unduly impact on the surrounding centre.	In accordance with the Traffic Assessment provided with the original application, and the revised memo, the proposed new development will result in a reduced traffic capacity, and as a result any impact has been reduced at both the site and surrounding road network.	Compliant
21.4.4 - The proposed development includes the provision of infrastructure which supports the area wide resource efficiency, such as plant and equipment required to reduce the demand for either building or area wide service infrastructure.	<p>The proposal incorporates a range of supporting infrastructure in conjunction with its sustainable approach to design. Elements include:</p> <p>Grey water reuse system to reduce water consumption for all communal landscape areas to the podium.</p> <p>Installation of PV cells on rooftop to reduce power demands.</p> <p>Public end of trip facilities to promote alternative modes of transport to and from the site.</p> <p>Sustainable design utilising passive solar heating and ventilation to reduce energy, heating and cooling demands.</p>	Compliant
21.4.5 - Demonstrates a mitigation of urban het island effects through the provision and maintenance of landscaping which includes the planning of mature shade trees.	<p>Mature tree and feature plant selections will be specified, along with dense plantings as to provide a significant landscape environment.</p> <p>Further information has been provided within the Landscape Plan provided with the application.</p>	Compliant

As per the above, the proposal has adopted all relevant design considerations at the site.

Table 5 – Bonus Provisions Assessment (Element 22)

Requirement	Proposal	Compliance
Element 22- Development Bonuses Based on Community Benefit Contributions		
<p>22.1.1 - Design comprising high quality active street frontages, furniture and landscaping which contributes to the character of the centre and are kept and maintained.</p>	<p>The proposal utilises its position on the corner of Forbes and Kishorn Road to emphasise activation to the street corner, providing an active food and beverage tenancy with alfresco dining.</p> <p>The two spiralled public stairways provide easy access from the ground level to level 1, providing access to 199sqm of community garden, as well as additional commercial, co-working and community hall spaces.</p> <p>Additional landscaping is to be provided along both Forbes and Kishorn Road frontages, which further complements the building design, as well as the jacaranda tree-lined streets.</p>	Compliant
<p>22.1.2 - Provision of landscaped spaces and/or other facilities accessible to the public such as rooftop and/ or podium level gardens and/ or incidental recreation spaces and/ or equipment and entertainment facilities such as a rooftop cinema.</p>	<p>The ground level of the proposal has been extensively landscaped (refer to Landscape Plan), as well as utilising active tenancies to create an easily accessible and activated ground floor. Additional community facilities have been provided on level 1 of the development including commercial, co-share and a community hall space as well as a community garden. All spaces will be accessible by the public, with two spiral staircases along the south and western sides of the development, or alternatively via an internal lift.</p> <p>Whilst additional amenities such as a gym, pool and playground are located on the rooftop level, it is understood that access is only provided to residents and would not be accessible by general public.</p>	Compliant

Requirement	Proposal	Compliance
22.1.3 - Provision of public facilities such as toilets, showers and sheltered bike storage.	Provision of public end-of-trip facilities provided on the ground floor which are separate to, and in addition to those facilities provided for commercial tenancy staff and visitors. The public end-of-trip facilities includes a secure bike store, shower and locker facilities.	Compliant
22.1.4 - Affordable housing (ceded to the Department of Housing or Similar).	No affordable housing is proposed as part of the development.	Not Provided
22.1.5 - Improvements to pedestrian networks or the ceding, free of costs, of pedestrian linkages which contribute to the overall character and connectivity of the centre.	<p>The proposed development allows for a pedestrian thoroughfare along the south-western corner of the site, providing additional access to the retail, food and beverage, co-working and residential lobby spaces.</p> <p>In addition to the above pedestrian improvements, approximately 2.8m of land along Forbes Road (approx. 126sqm or 6.2% of the site area) is noted to be ceded as per the requirements of Planning Control Area 1.7372.</p>	Compliant
22.1.6 – Provision of view corridors and/or mid-winder sunlight into adjacent properties, particularly where public spaces are provided.	The contoured and sculpted built form of the building allows for a significant volume of the building to be removed. This reduced bulk optimises view corridors and sunlight access to neighbouring properties.	Compliant

Requirement	Proposal	Compliance
<p>22.1.7 - Provision of community, communal and/or commercial meeting facilities.</p>	<p>The proposal includes several community facilities including:</p> <ul style="list-style-type: none"> • Community Garden – 199sqm • Alfresco Dining Space – 300sqm • End of Trip Facilities – 100sqm • Pedestrian Thoroughfare – 291 sqm • Commercial Tenancies – 169sqm • Co-Working Space – 565sqm • Retail Tenancies – 73sqm • Food & Beverage Tenancies – 82sqm • Community Hall – 225sqm • Short-Stay Accommodation – 1,041sqm <p>Following the revised design, a total of 3,045sqm of community benefit area/spaces have been provided across the site.</p> <p>To support the need for the community facilities, a community benefit report has been prepared in collaboration with the City of Melville. The report provides a forecast weighting for the various facilities up to 2021 and 2026. Based on these forecast weighting, the proposal provides several items which are considered to be of moderate, high or very high demand for the area.</p> <p>Accordingly, the provision of the community facilities is considered to be sufficiently justified to allow considerable discretion to the allowable height limit at the site. Particularly as these services are shared across two levels.</p>	<p>Compliant</p>

Requirement	Proposal	Compliance
22.1.8 - The development comprises a hotel.	<p>The development contains 16 short-stay accommodation options comprising of:</p> <p>Studio Apartment: 7</p> <p>1-bedroom: 5</p> <p>2-bedroom: 4</p> <p>The short-stay accommodation will incorporate similar amenities as would be provided in line with a Hotel, being that it will include its own entrance, lift and parking bays.</p>	Compliant
22.1.9 - The development comprises an aged care facility.	An aged care facility is not proposed as part of the development.	Not Provided
22.1.10 – Where the development is located adjacent to Canning Highway and where road widening is required; the applicant proposes to cede land free of charge to the State of Western Australia for the purposes of road widening. In such a case, the area ceded will be included in the total area calculation for the purpose of Clause 2.2 and 2.2 and/or Clause 21.2 and 21.3.	N/A	N/A
22.1.11 - The provision of car parking for public use beyond the users of the building, were such bays are ceded to the relevant Local Government free of charge or where such bays are unbundled from private ownership and are permanently made available to any user of the CBACP area by deed or arrangement with the Local Government. In Q1 and Q2, Element is only applicable where car parking is capped in total accordance with Cl. 18.3 and 18.4.	All parking at the site is intended for the use of residents and tenants of the building and no additional car parking will be provided or ceded beyond this.	Not Provided

As per the above, the proposal has accommodated for a total of 7 of the 11 community benefit provisions at the site.

3. VARIATION JUSTIFICATION

Variation of requirement/ policy elements 3 and 4 is sought for the proposal. Justification for these variations is provided through the provision of extensive amenity contributions that go above and beyond what is required as outlined within Table 3 of this report. In this regard, it is considered that the variations are acceptable at the site, along with the proposed consideration of increased height bonuses as outlined within elements 21 and 22.

The below table further outlines how the proposed development far exceeds the requirements set out under the CBACP and has maintained its alignment to providing for a leading class development within Perth.

Table 6 – Amenity Provision Justification for Variations

Green Plot Ratio	Community Plot Ratio	Civic Generosity Index	Ecosystem Contribution	Self-Sufficiency Index
The number of landscaped surfaces compared to a development’s site area.	The amount of community space allocated within a development’s site area.	The extent to which a development encourages and facilitated the public life of a city.	The degree to which a development supplements a city’s ecosystem.	A development’s capacity to provide its own energy, food and water.
The Green Plot Ratio is proposed at 141%, meaning there is more garden in the development as if the entire site was left empty. Therefore, the development will increase the green quality of Applecross, as the previous bungalow sites were approximately 50% green space.	The Community Plot Ratio proposed is 152%, which likewise means more than the entire site given over to social and recreational uses. This will create a very high amenity for the residents, neighbours and visitors to the area.	The Civic Generosity index scores 5 out of 5, as the proposal has met all five requirements of: Ground level shelter, services and amenities. Ground level accessibility and activity. Visual pleasure provided by horizontal and vertical landscaping. Public access to spaces and facilities within the building. Spatial engagement and connection with an urban network.	The Ecosystem Contribution Index rates highly at between 60-80%, as it provides vertically and horizontally interconnected habitats, which includes foraging territories. Provision is made for non-flying animals, as well as birds, insects, and the landscape will be designed to support and feed many species throughout the year.	The Self Sufficiency Index requires more detailed calculation than available at this stage of the development, but the strategies to achieve highly in this category have been put in place. A large canopy of PV panels, the natural ventilation and daylighting, the green areas, vegetable and fruit garden will make the project an exemplar in reduction of demand for food, energy and water. The proposal is committed to a minimum of 5 star Green Star Rating.
141%	152%	5/5	60-80%	TBC

4. CONCLUSION

The design of the development has been informed by an extensive and rigorous design review process. A number of engagements inclusive of previous Design Review Panel (DRP) meetings, communications with the City of Melville (the City), two Joint Development Assessment Panel (JDAP) hearings and a number of State Administrative Tribunal (SAT) mediation processes has delivered feedback and advice which has guided the final design outcome.

In consideration of the above provisions as set out within the CBACP, the proposal is of exceptional standard, and has appropriately considered the surrounding locality, its interface to adjoining zones, as well as the provision of several community facilities within its design.

Whilst the overall development has remained consistent with the originally proposed design, the revised proposal considers additional community benefit across the site, whilst reducing the overall height. Whilst the overall height has been reduced, the total height still requires discretion to be applied in accordance with the bonus height provisions of Element 21 and 22 of the CBACP.

In consideration of exemplar design (all relevant considerations met) and community benefit (7 of 11 considerations met) being provided at the site, which has far exceeded the requirements of the CBACP, the discretion of an additional height should be supported at the site.

DISCLAIMER

This report is dated 25 September 2019 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Applecross Land Holdings Pty Ltd (**Instructing Party**) for the purpose of Amenity Report (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

APPENDIX A

ARCHITECTURAL PLANS

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

CARLTON SURVEYS
Licensed Surveyors
SUITE 4, 160 BURSWOOD ROAD,
BURSWOOD, W.A., 6100.
TEL 9361 5358 FAX 9361 3457
E-mail : carlton@carlton-surveys.com.au

CONTOUR AND FEATURE
SURVEY OF LOTS 311 &
800 - 804 INCLUSIVE
#10-14 FORBES ROAD &
#40A-40C KISHORN RD,
APPLECROSS

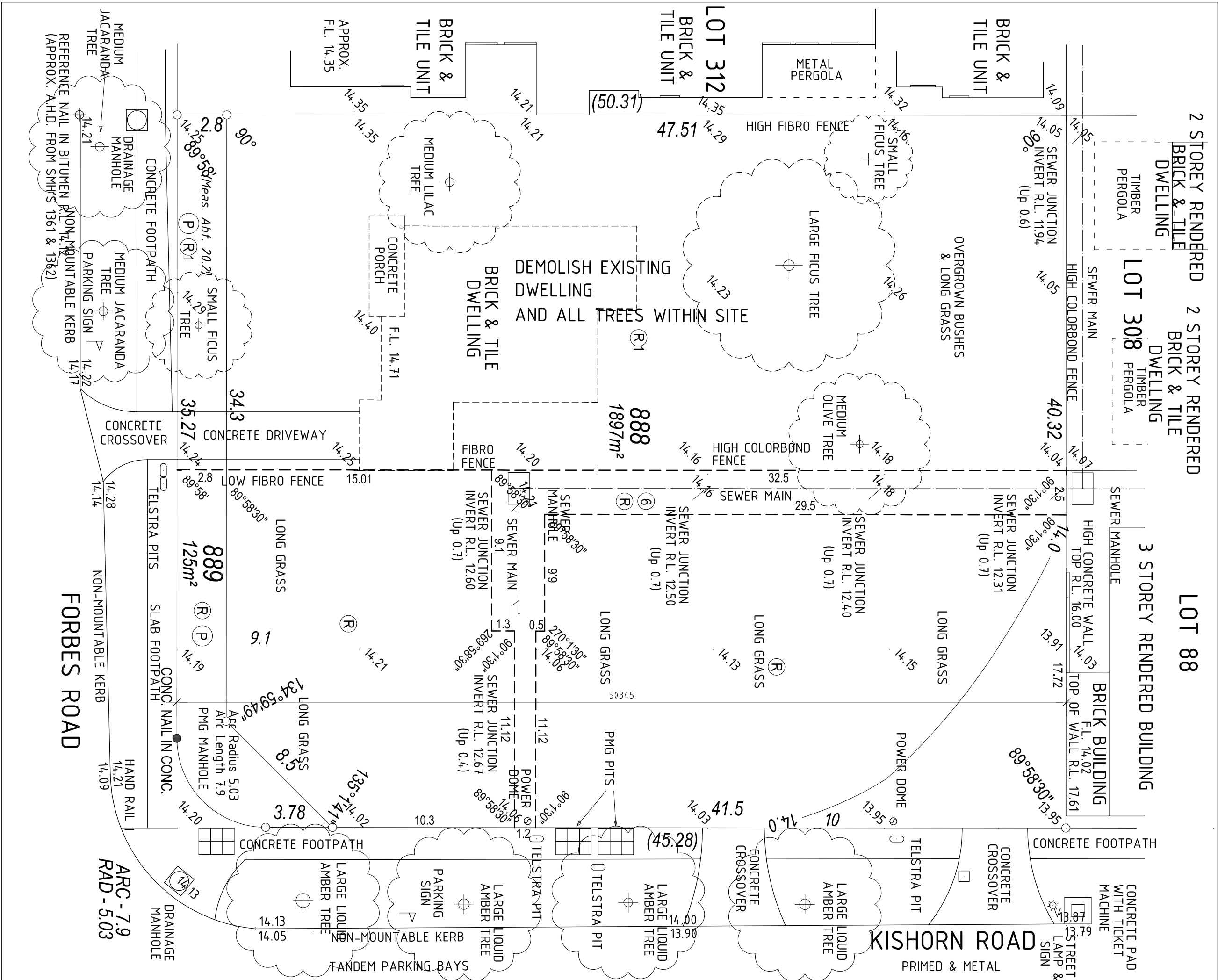
CLIENT
APEX VIEW PTY LTD
PROJECT
FORBES RESIDENCES
PROJECT ADDRESS
10-14 FORBES RD
APPLECROSS
MJA PROJECT NUMBER

18003
TRUE NORTH PROJECT NORTH

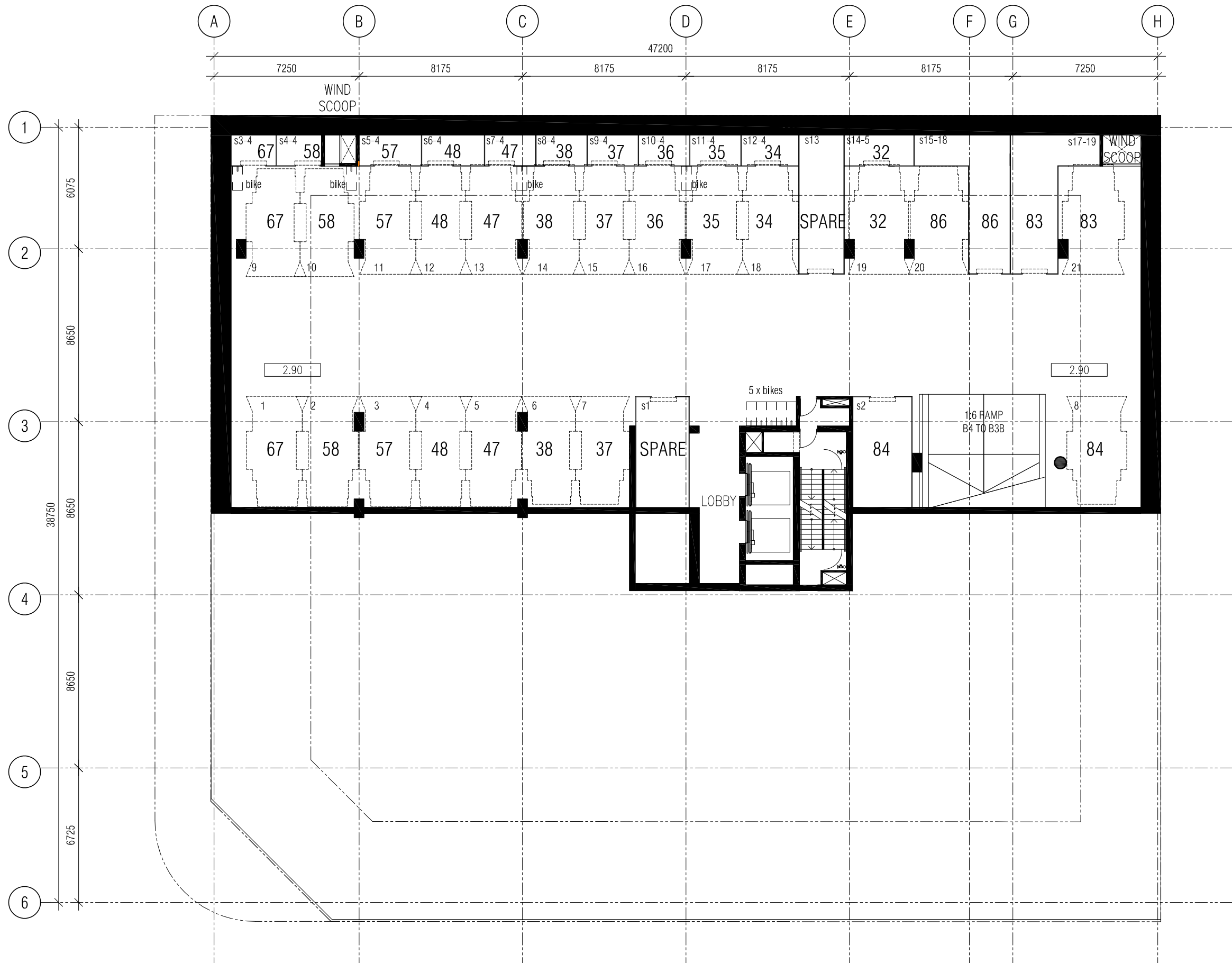
SCALE
1:200 @ A3
STATUS

ISSUED FOR DA
DRAWING
EXISTING SITE SURVEY

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.01	MEC	MEC	C



REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC





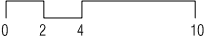
CLIENT
APEX VIEW PTY LTD

PROJECT
FORBES RESIDENCES

PROJECT ADDRESS
**10-14 FORBES RD
APPLECROSS**

MJA PROJECT NUMBER
18003

TRUE NORTH  PROJECT NORTH 

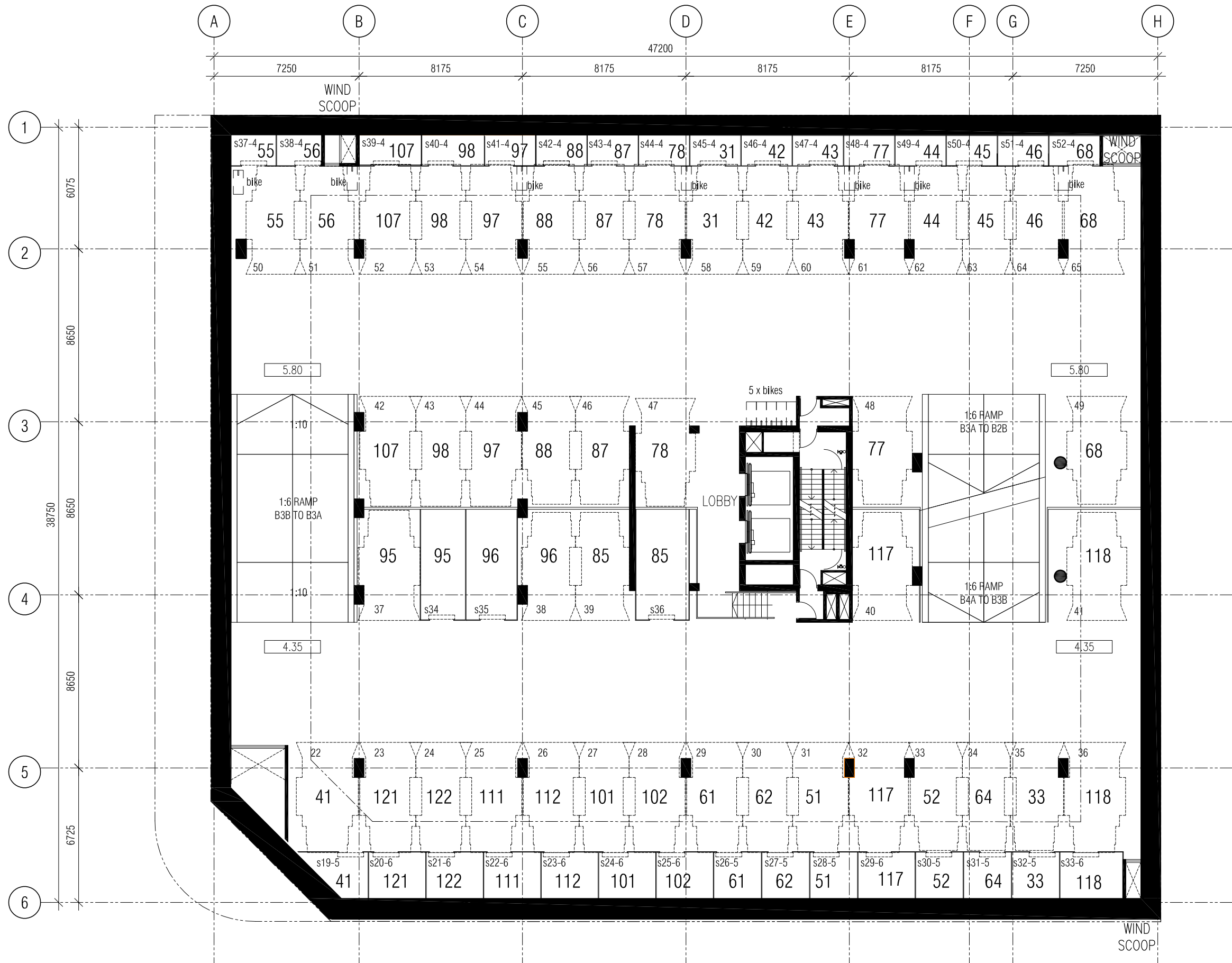
SCALE
1:200 @ A3 

STATUS
ISSUED FOR DA

DRAWING
BASEMENT 4

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.02	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT
 APEX VIEW PTY LTD

PROJECT
 FORBES RESIDENCES

PROJECT ADDRESS
 10-14 FORBES RD
 APPLECROSS

MJA PROJECT NUMBER
 18003

TRUE NORTH PROJECT NORTH

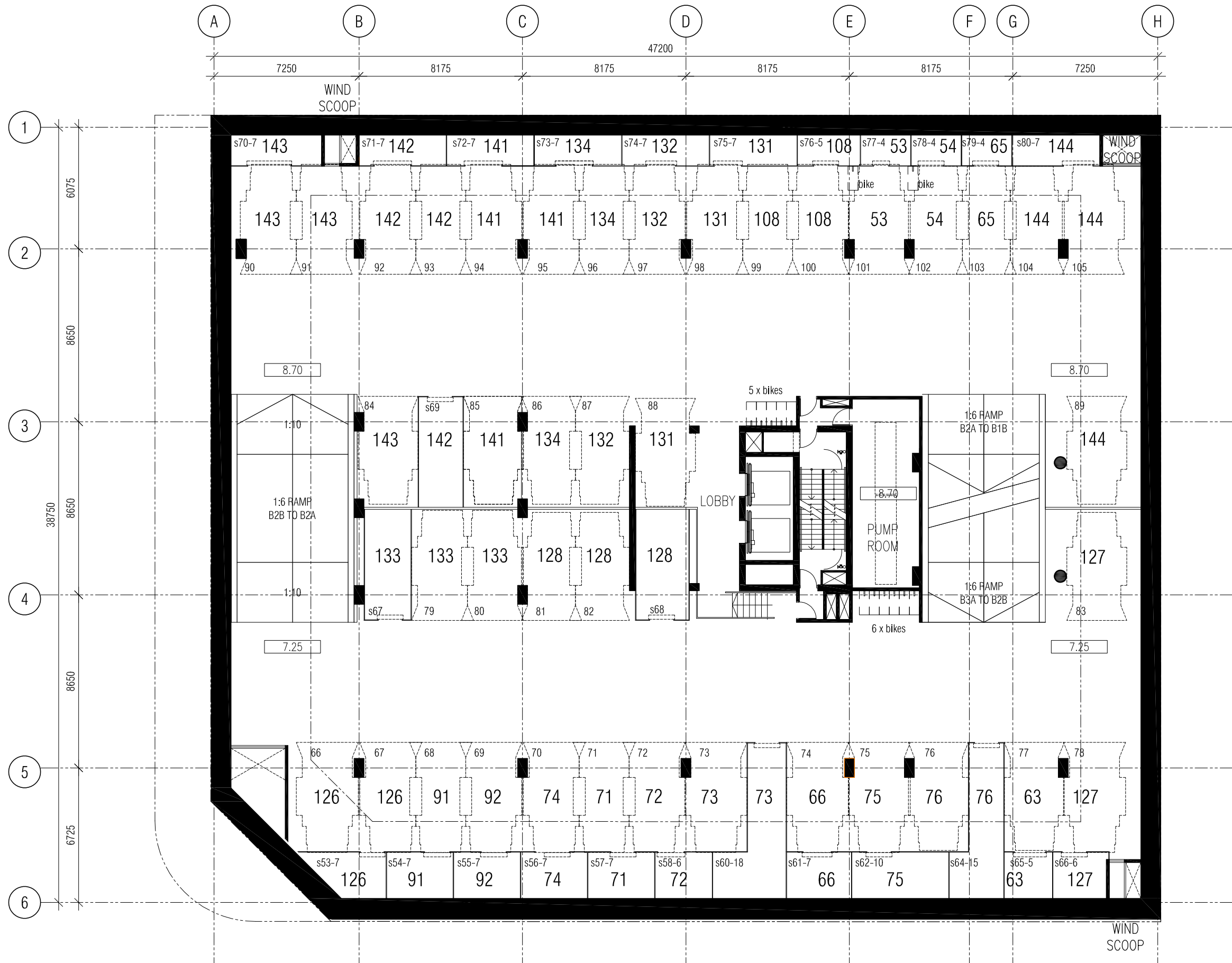
SCALE
 1:200 @ A3

STATUS
 ISSUED FOR DA

DRAWING
 BASEMENT 3

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.03	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT
 APEX VIEW PTY LTD

PROJECT
 FORBES RESIDENCES

PROJECT ADDRESS
 10-14 FORBES RD
 APPECROSS

MJA PROJECT NUMBER
 18003

TRUE NORTH PROJECT NORTH

SCALE
 1:200 @ A3

STATUS
 ISSUED FOR DA

DRAWING
 BASEMENT 2

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.04	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

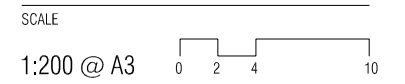
NOTE:

TOTAL RESI. CAR BAYS	122
TOTAL SHORT STAY CAR BAYS	07
TOTAL CO-WORK CAR BAYS	17
TOTAL F & B BAYS	02
EV RESI CHARGING BAY	01
EV COMM CHARGING BAY	01

TOTAL CAR BAYS 150

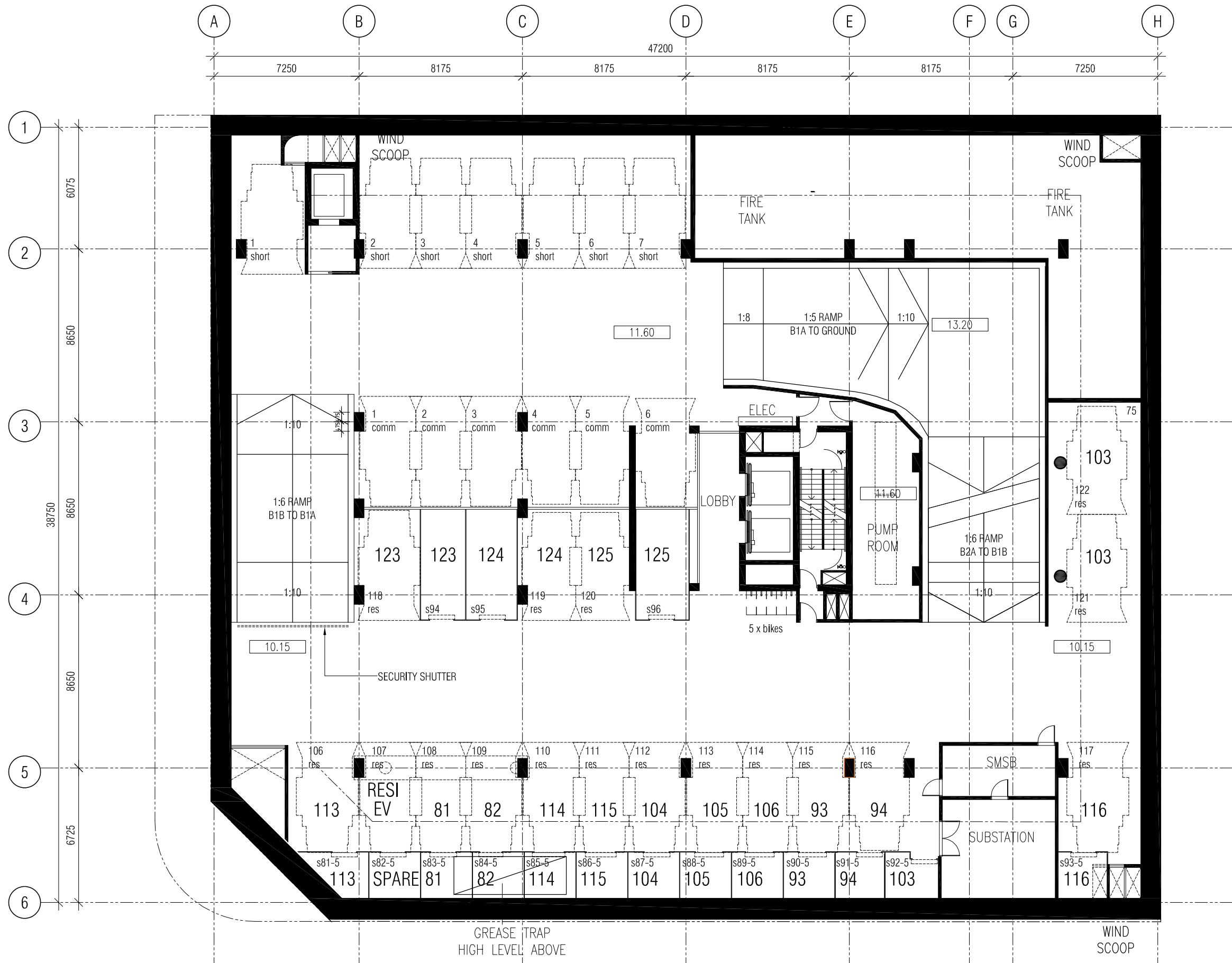
* CAR BAYS TO BE CAPABLE OF UTILISING INDIVIDUAL STACKER SYSTEM

CLIENT
 APEX VIEW PTY LTD
 PROJECT
 FORBES RESIDENCES
 PROJECT ADDRESS
 10-14 FORBES RD
 APPLECROSS
 MJA PROJECT NUMBER
 18003

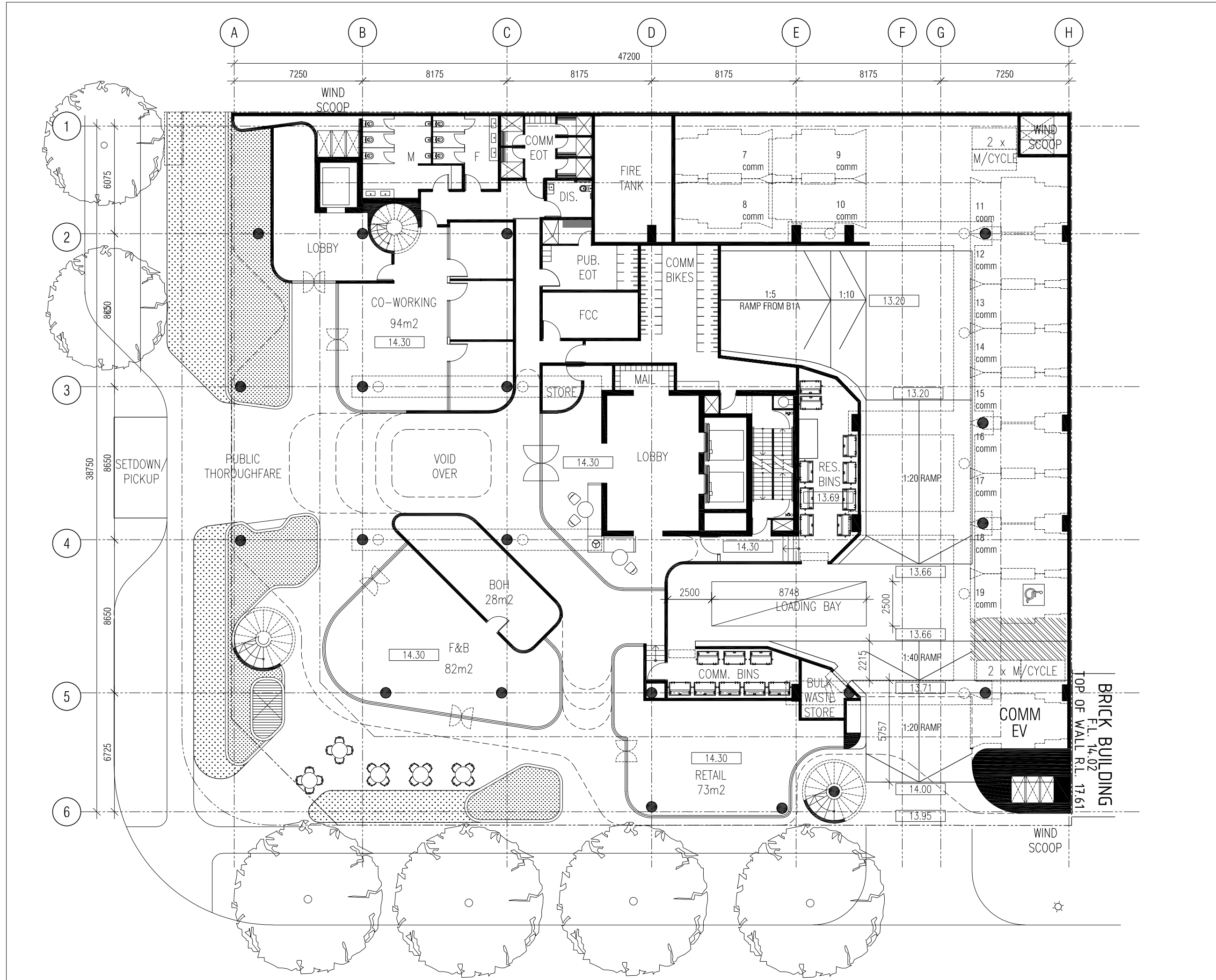


STATUS
 ISSUED FOR DA
 DRAWING
 BASEMENT 1

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.05	MEC	MEC	C



REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT
 APEX VIEW PTY LTD

PROJECT
 FORBES RESIDENCES

PROJECT ADDRESS
 10-14 FORBES RD
 APPLECROSS

MJA PROJECT NUMBER
 18003

TRUE NORTH PROJECT NORTH

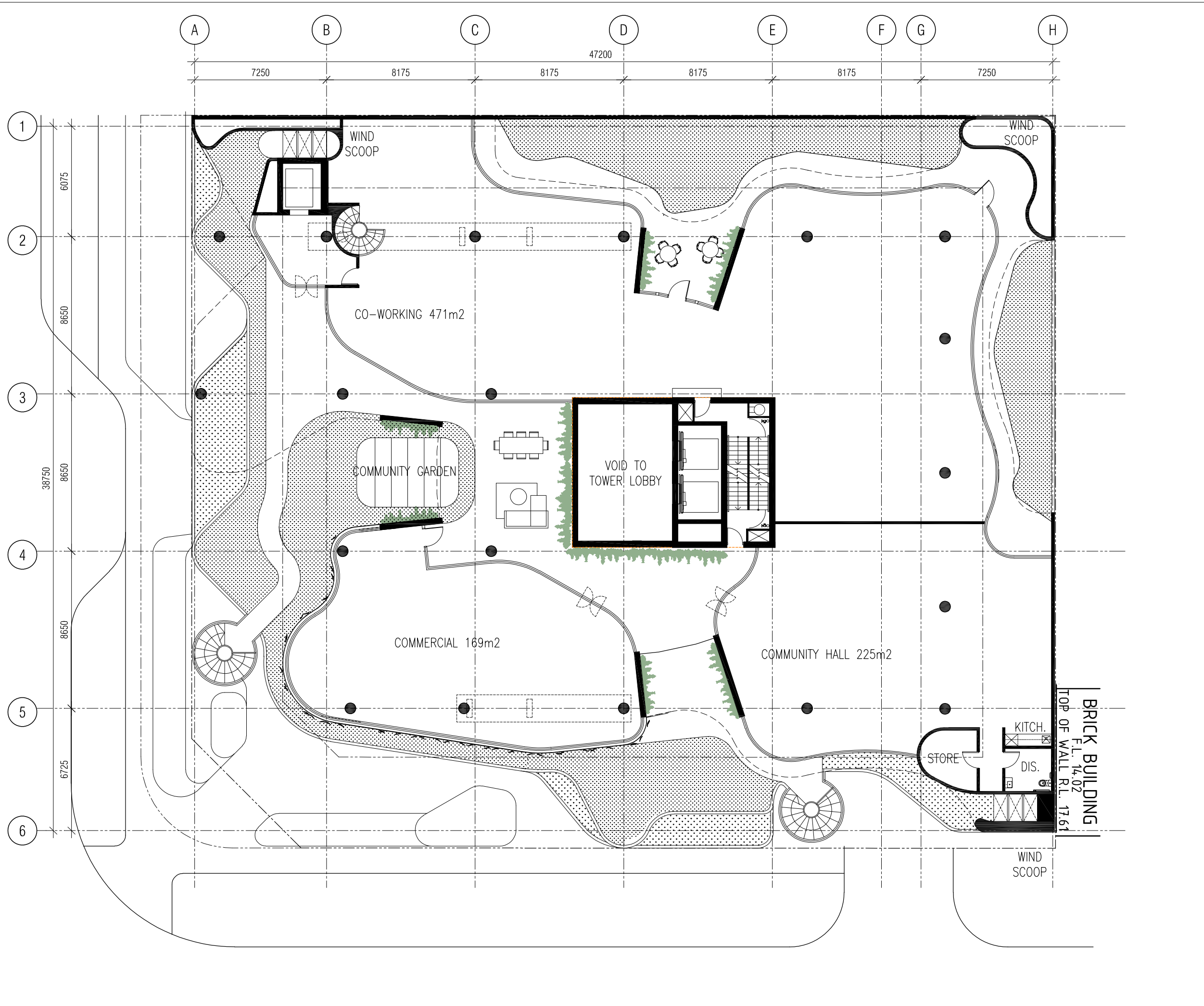
SCALE
 1:200 @ A3

STATUS
 ISSUED FOR DA

DRAWING
 GROUND/SITE PLAN

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.06	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	11.02.19	DIS WC TO COMM. HALL AREA	MEC
4	19.02.19	COMM. HALL AREA 225m2 CO WORK AREA 436m2	MEC
5	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC






CLIENT
 APEX VIEW PTY LTD

PROJECT
 FORBES RESIDENCES

PROJECT ADDRESS
 10-14 FORBES RD
 APPLECROSS

MJA PROJECT NUMBER
 18003

TRUE NORTH  PROJECT NORTH 

SCALE
 1:200 @ A3 

STATUS
 ISSUED FOR DA

DRAWING
 LEVEL 1

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.07	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	20.02.19	2 x DIS. ACCESSIBLE ADDED	MEC
4	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

APPLECROSS

MJA PROJECT NUMBER

18003



SCALE



STATUS

ISSUED FOR DA

DRAWING

LEVEL 2

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.08	MEC	MEC	C

WOHA

X


MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net
© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

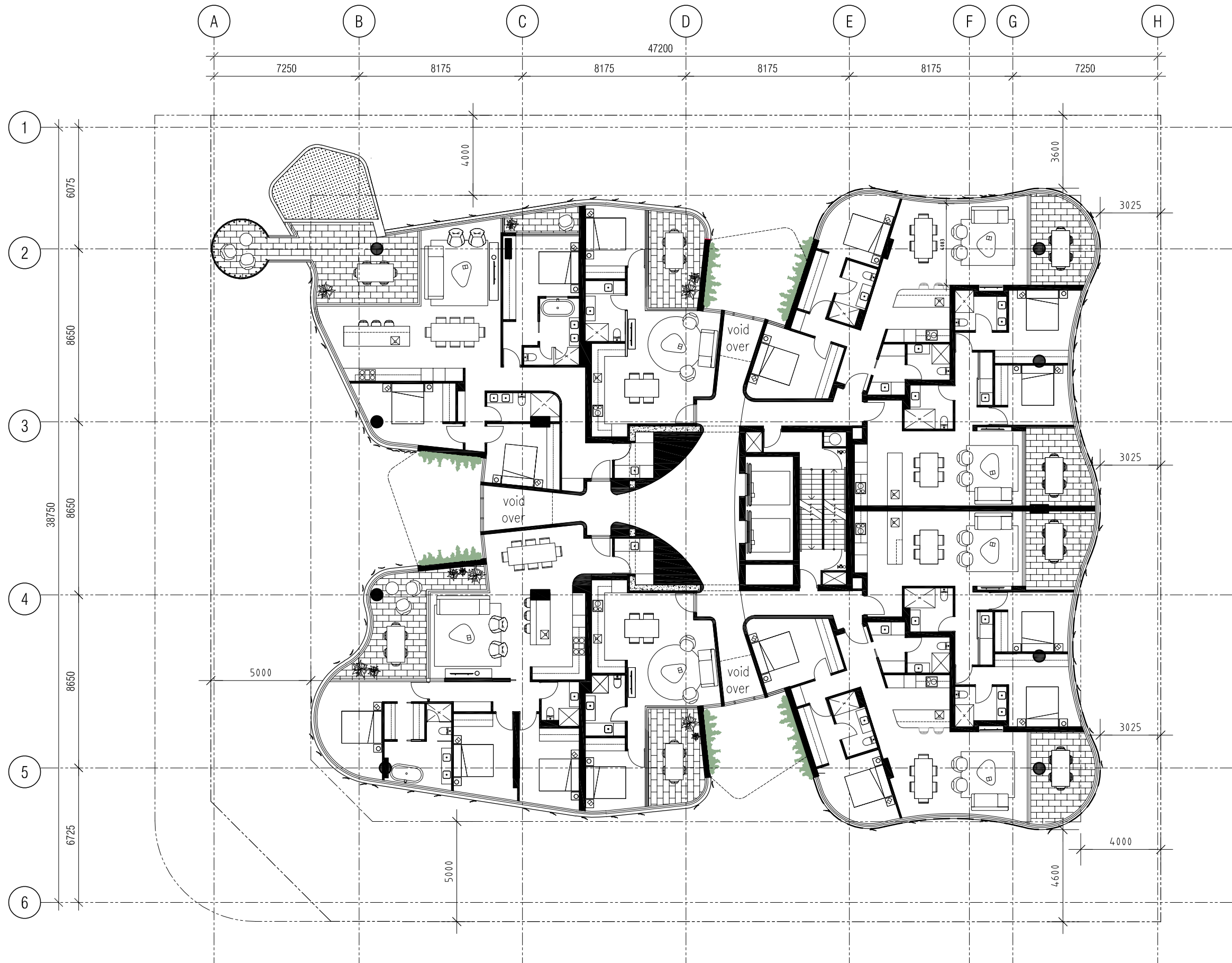
CLIENT
APEX VIEW PTY LTD
PROJECT
FORBES RESIDENCES
PROJECT ADDRESS
10-14 FORBES RD
APPLECROSS
MJA PROJECT NUMBER
18003



SCALE
1:200 @ A3 

STATUS
ISSUED FOR DA
DRAWING
LEVEL 3

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.09	MEC	MEC	C



WOHA

X

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net
© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

APPLECROSS

MJA PROJECT NUMBER

18003



SCALE

1:200 @ A3 

STATUS

ISSUED FOR DA

DRAWING

LEVELS 4 & 10

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.10	MEC	MEC	C



REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

APPLECROSS

MJA PROJECT NUMBER

18003



SCALE

1:200 @ A3 0 2 4 10

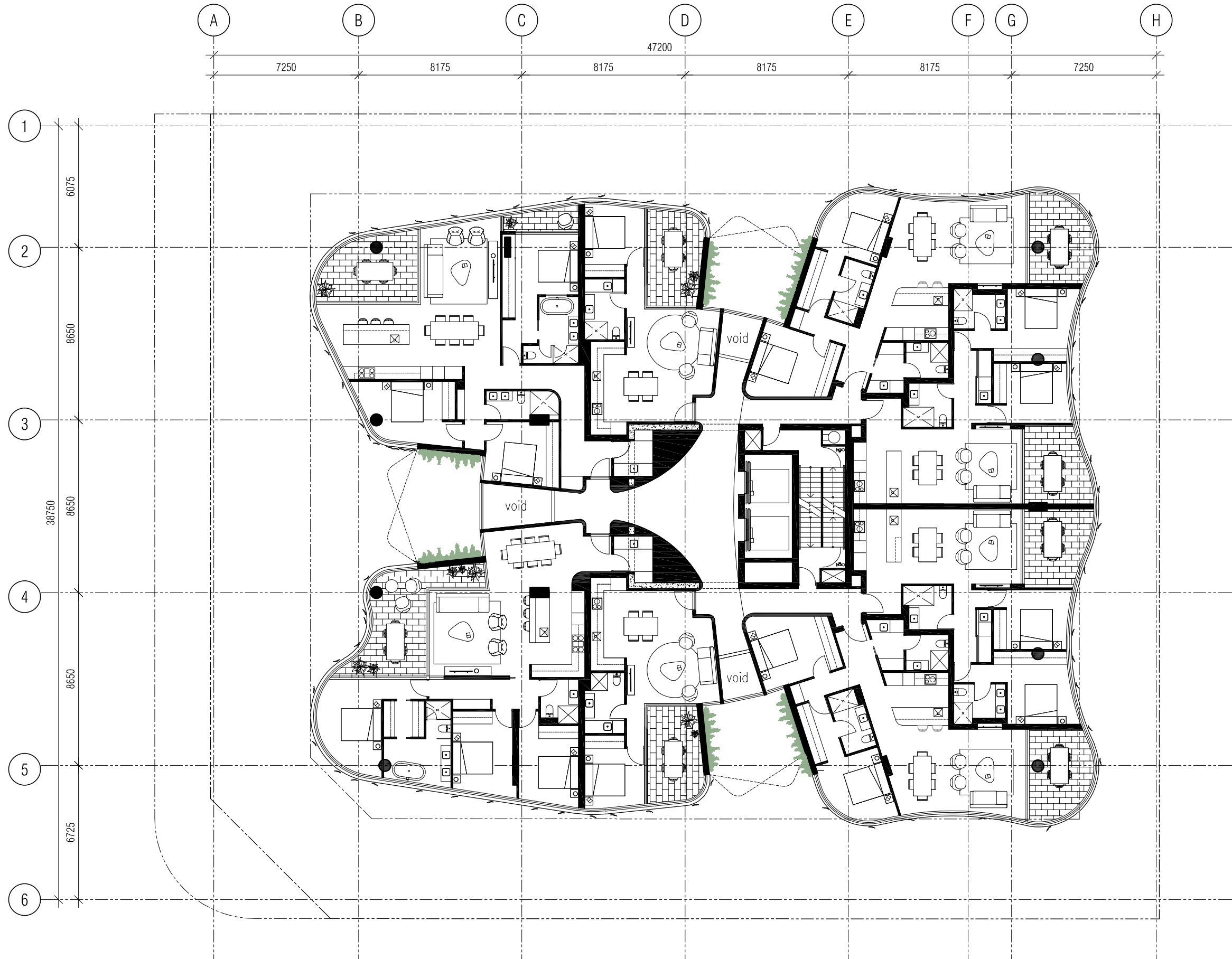
STATUS

ISSUED FOR DA

DRAWING

LEVELS 5, 6, 8, 9, 11, 12

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.11	MEC	MEC	C



REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD
 APPECROSS

MJA PROJECT NUMBER

18003



SCALE

1:200 @ A3

STATUS

ISSUED FOR DA

DRAWING

LEVEL 7

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.12	MEC	MEC	C



WOHA

X

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net
© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	16.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

APPLECROSS

MJA PROJECT NUMBER

18003

TRUE NORTH  PROJECT NORTH 

SCALE

1:200 @ A3 

STATUS

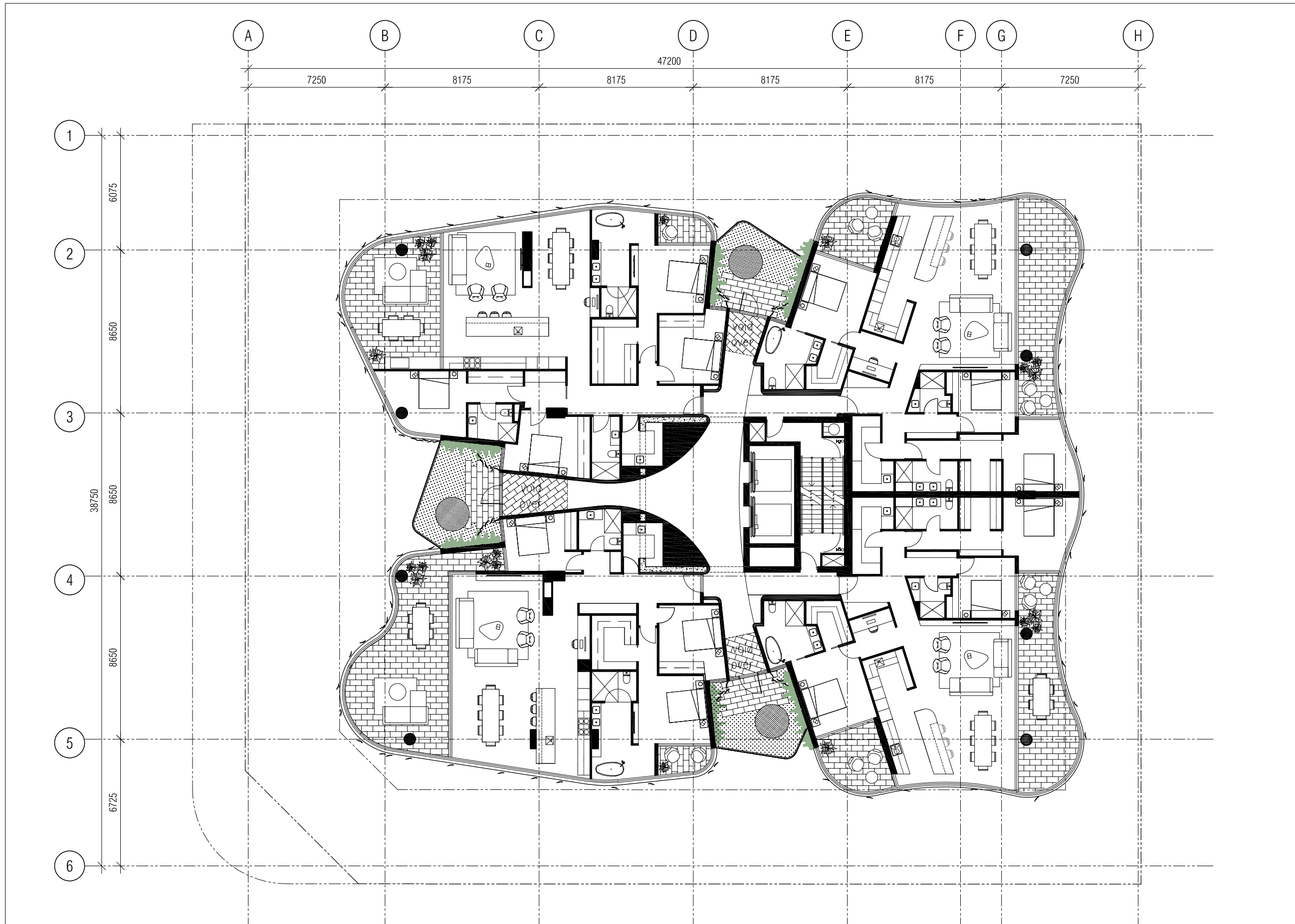
ISSUED FOR DA

DRAWING

LEVEL 13

DRAWING NO. DRAFTER CHECKED REV.

DA.13 MEC MEC C



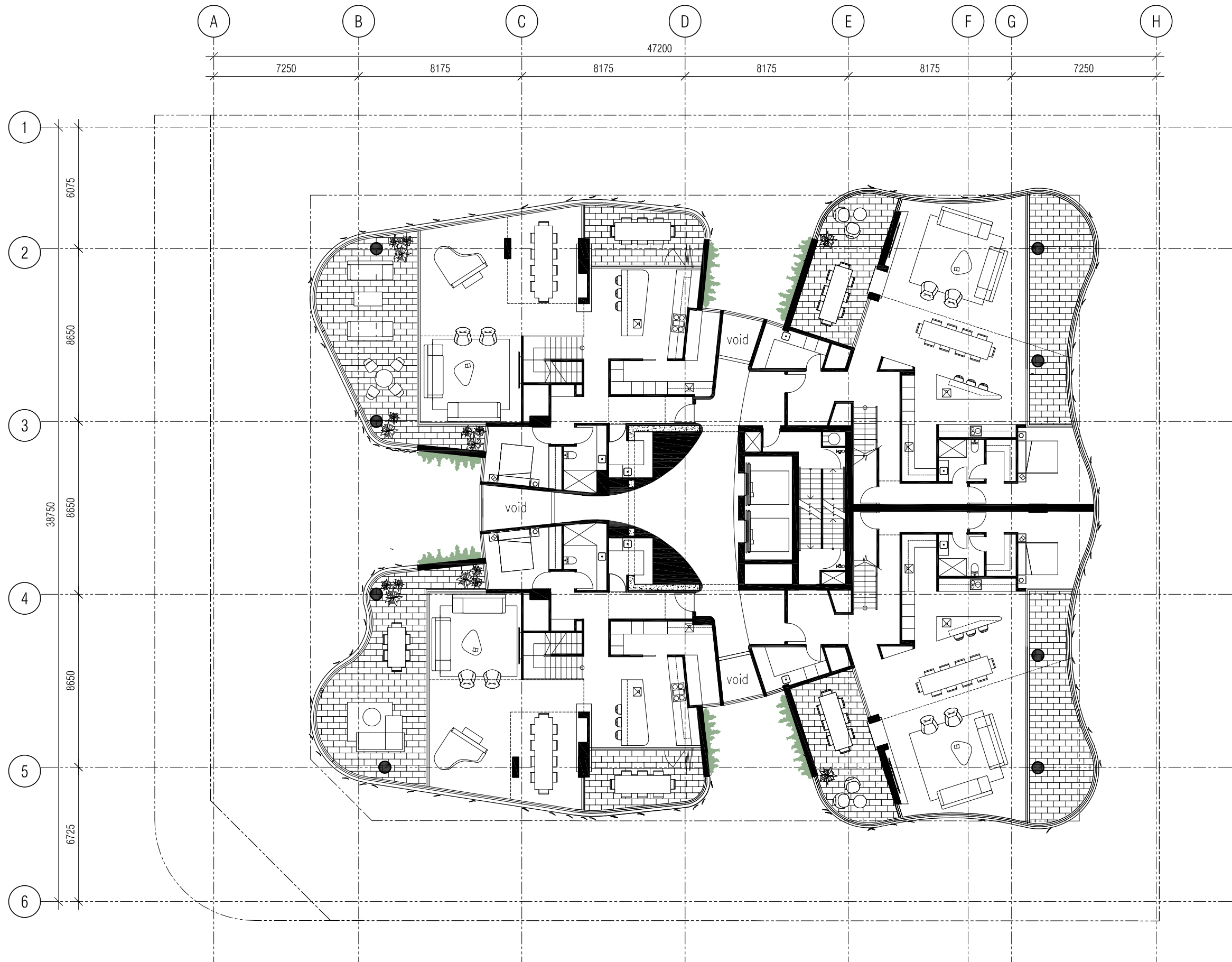
WOHA

X

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net
© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD
APPLECROSS

MJA PROJECT NUMBER

18003

TRUE NORTH



PROJECT NORTH



SCALE

1:200 @ A3



STATUS

ISSUED FOR DA

DRAWING

LEVEL 14

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.14	MEC	MEC	C

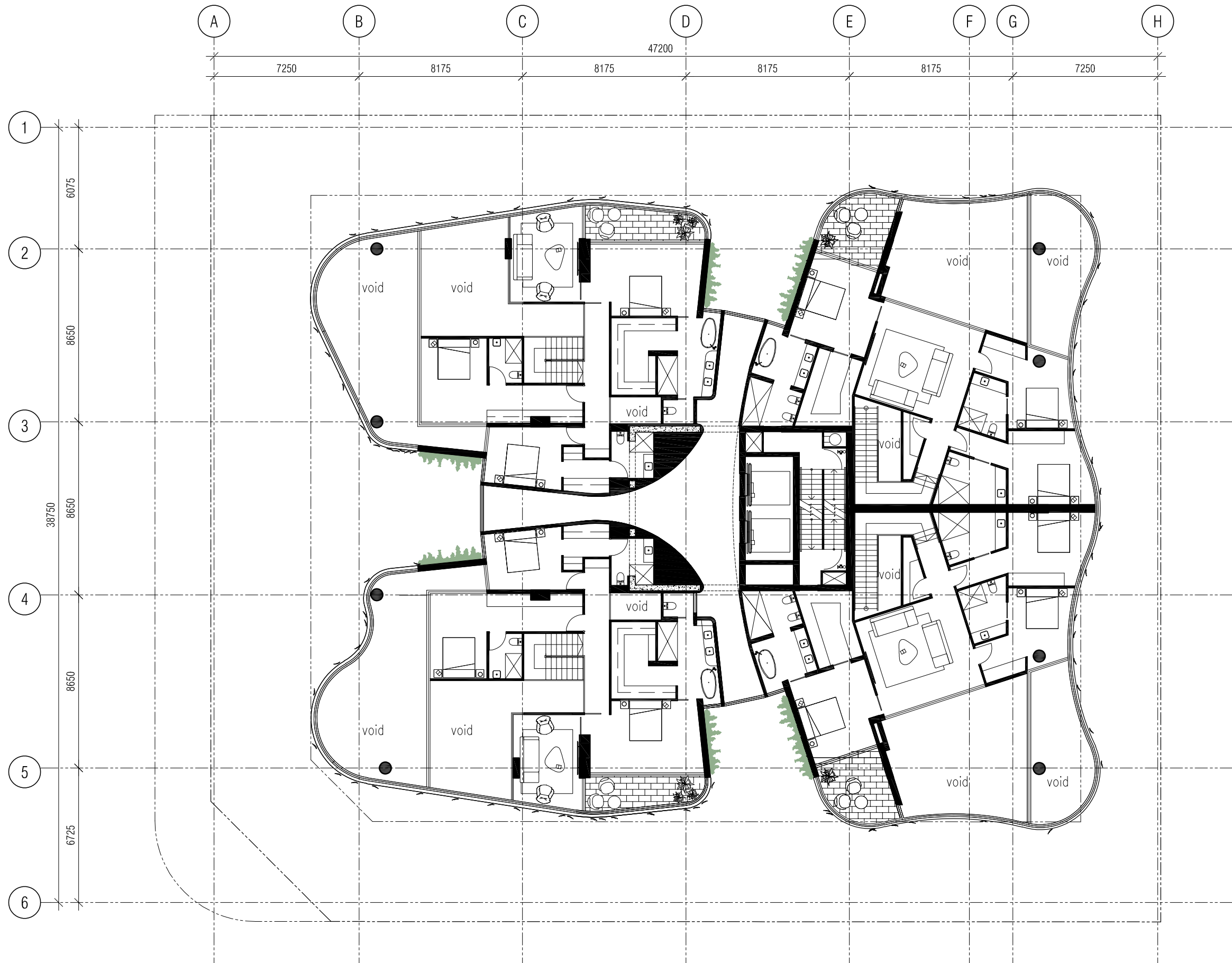
WOHA

X

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net
© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD
APPLECROSS

MJA PROJECT NUMBER

18003



SCALE



STATUS

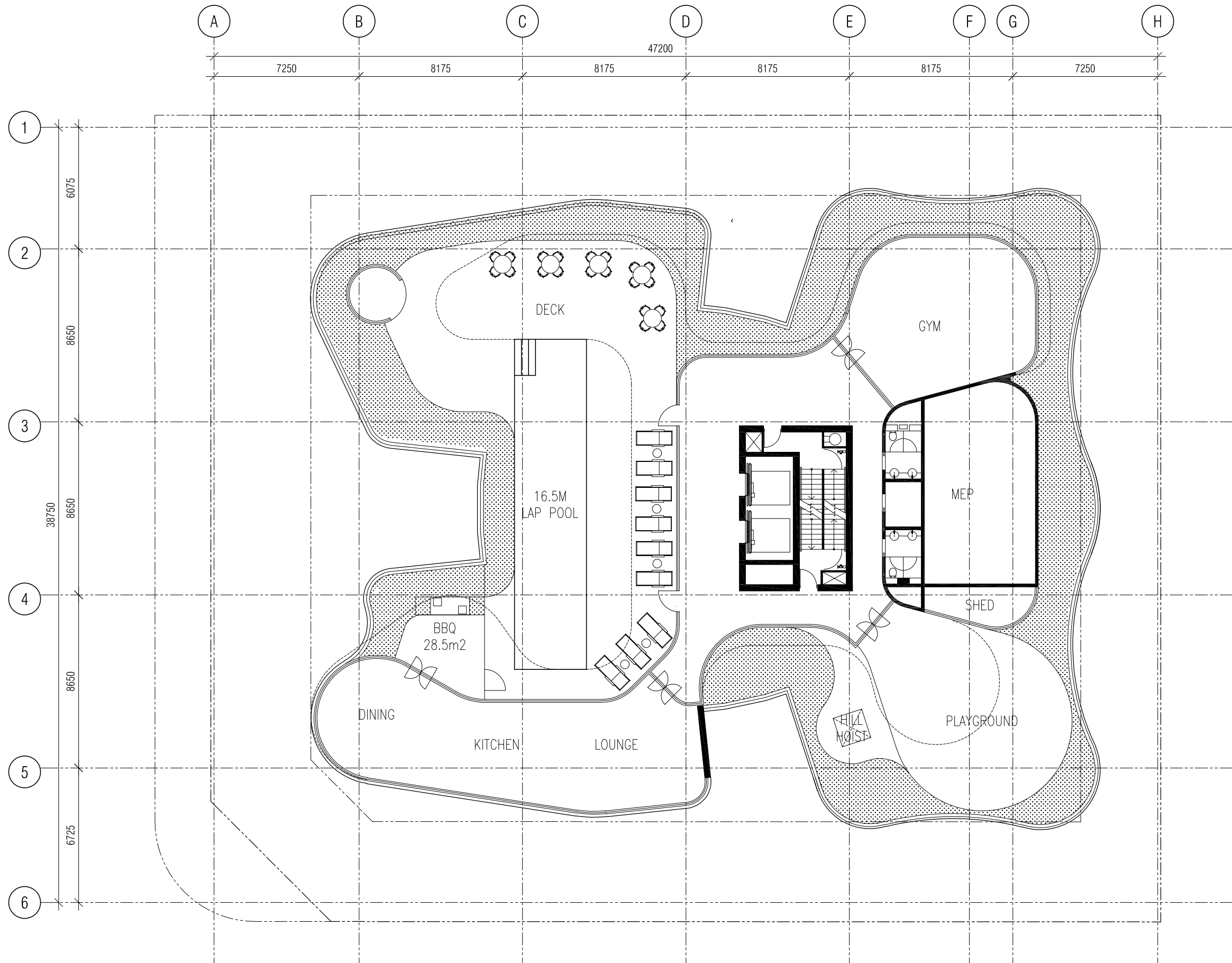
ISSUED FOR DA

DRAWING

LEVEL 14 Mezz

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.15	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC



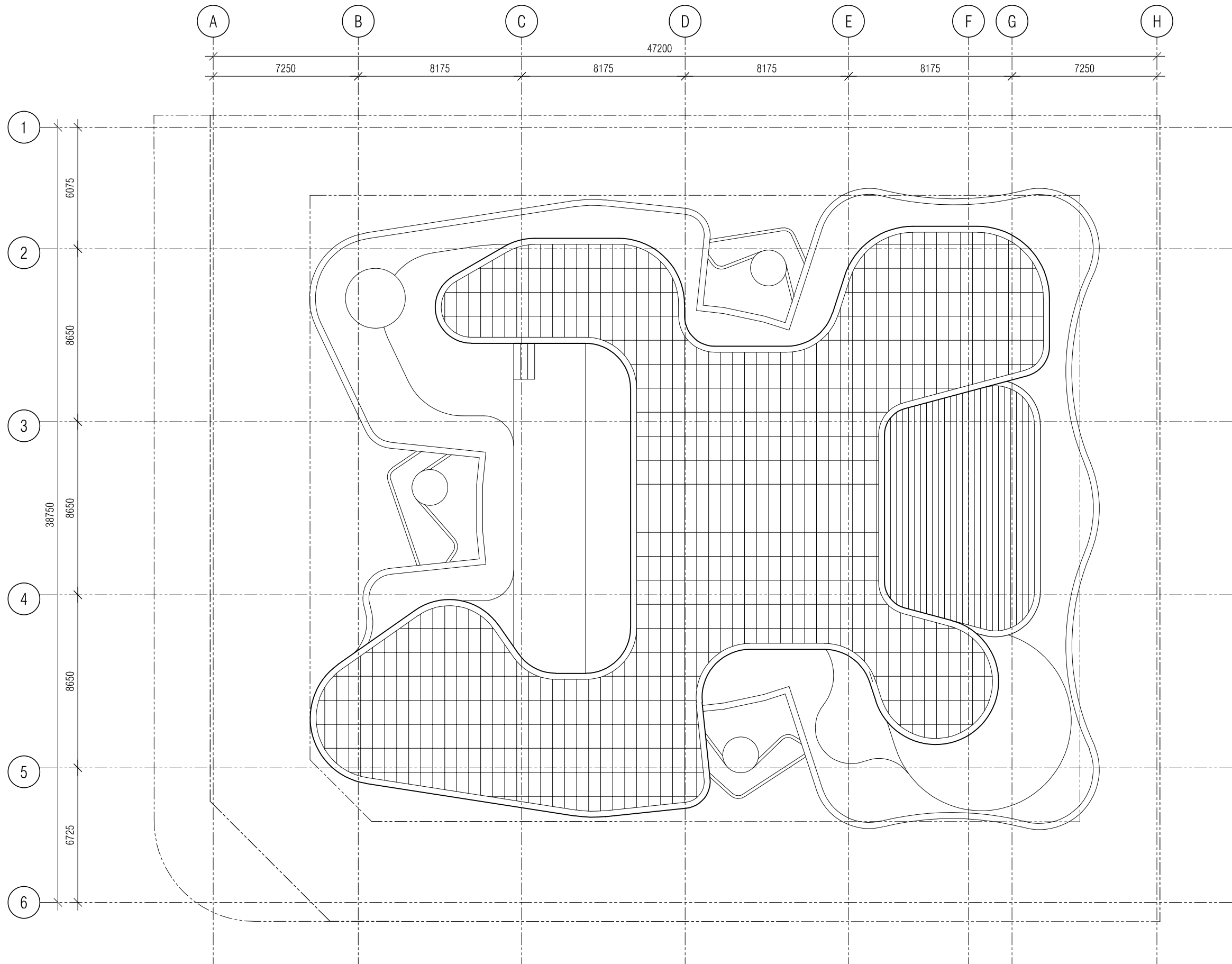
CLIENT
 APEX VIEW PTY LTD
 PROJECT
 FORBES RESIDENCES
 PROJECT ADDRESS
 10-14 FORBES RD
 APPLECROSS
 MJA PROJECT NUMBER
 18003



STATUS
 ISSUED FOR DA
 DRAWING
 LEVEL 15 - AMMENITIES

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.16	MEC	MEC	C

REV.	DATE	AMENDMENT	INIT.
1	18.11.18	DA ISSUE	MEC
2	29.01.19	REVISED DA ISSUE	MEC
3	21.02.19	PRIVACY SCREENING ADDED	MEC
A	09.09.19	CONSULTANT REVIEW ISSUE	MEC
B	18.09.19	DRP ISSUE	MEC
C	25.09.19	DA ISSUE	MEC





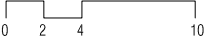
CLIENT
APEX VIEW PTY LTD

PROJECT
FORBES RESIDENCES

PROJECT ADDRESS
10-14 FORBES RD
APPLECROSS

MJA PROJECT NUMBER
18003

TRUE NORTH  PROJECT NORTH 

SCALE
1:200 @ A3 

STATUS
ISSUED FOR DA

DRAWING
ROOF PLAN

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.17	MEC	MEC	C

WOHA

X

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net

© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18/09/19	DRP ISSUE	MEC
2	25/09/19	DA ISSUE	MEC



South Elevation



West Elevation

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

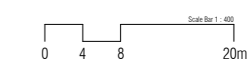
APPLECROSS

MJA PROJECT NUMBER

18003

SCALE @ A3

1 : 400



STATUS

ISSUED FOR DA

DRAWING

WEST + SOUTH ELEVATIONS

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.18	CP	MEC	2

WOHA

x

MJA studio

LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net

© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18/09/19	DRP ISSUE	MEC
2	25/09/19	DA ISSUE	MEC



North Elevation



East Elevation

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

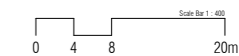
APPLECROSS

MJA PROJECT NUMBER

18003

SCALE @ A3

1 : 400



STATUS

ISSUED FOR DA

DRAWING

EAST + NORTH ELEVATIONS

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.19	CP	MEC	2

WOHA

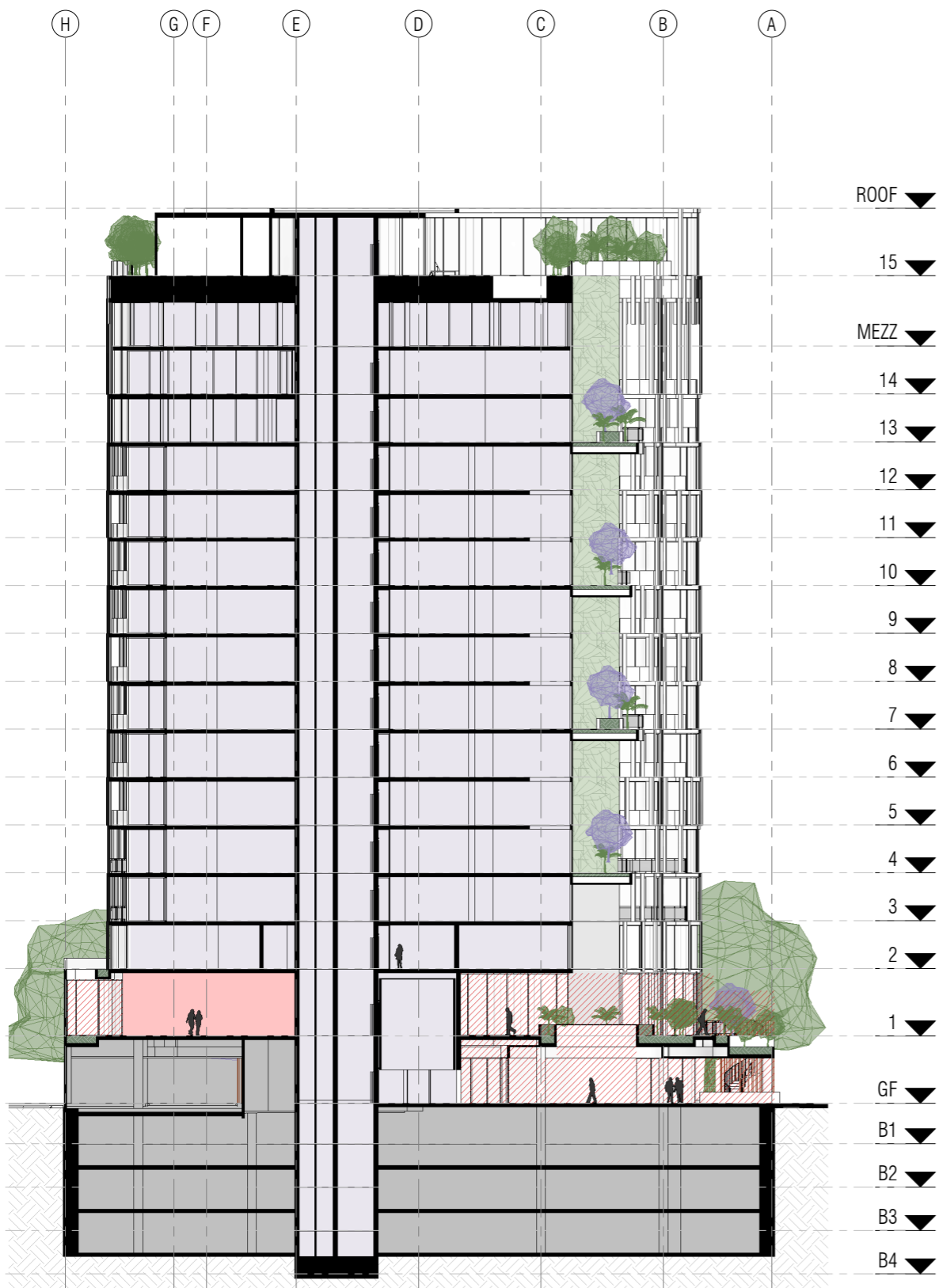
x

MJA studio

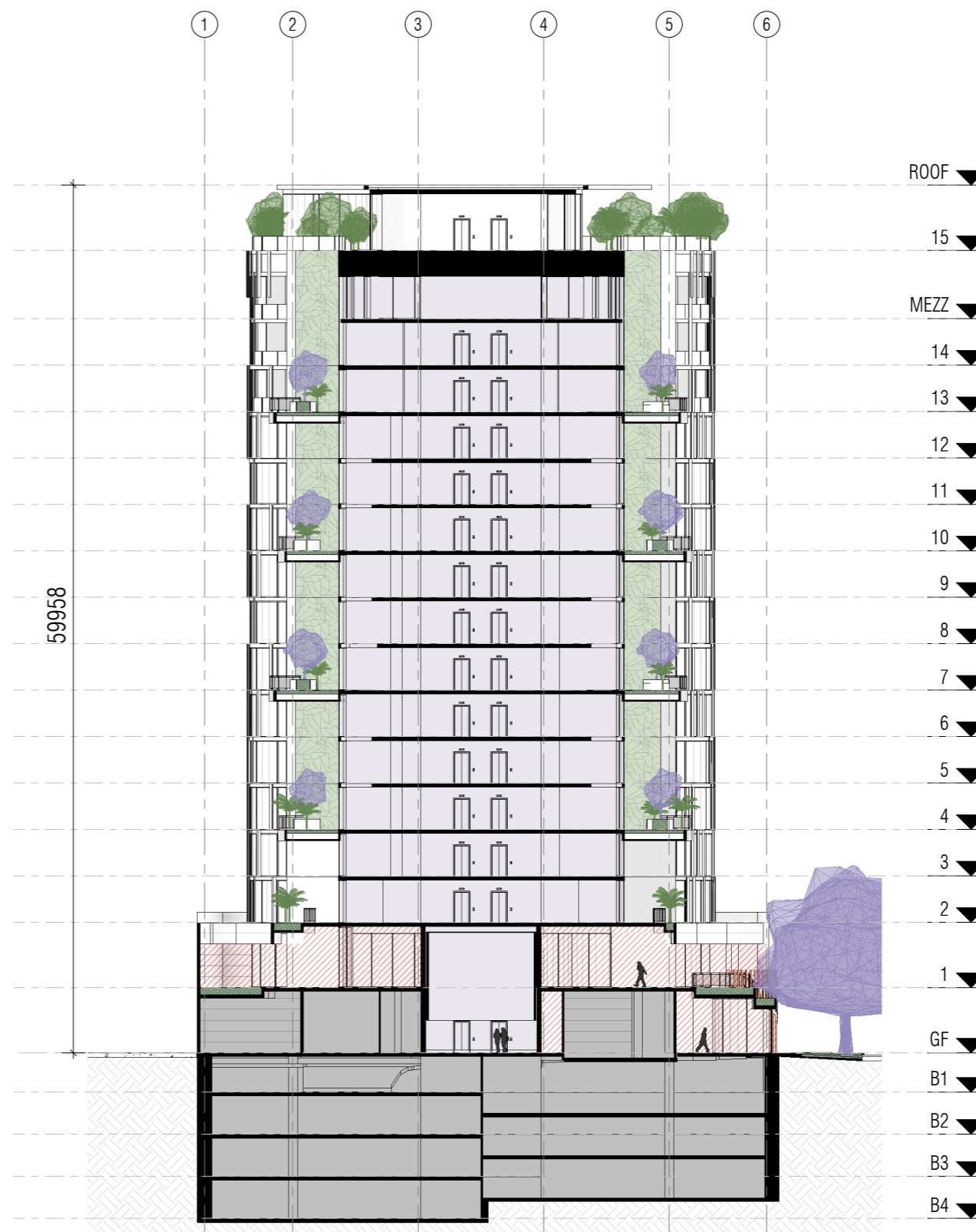
LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008
T (08) 9388 0333 www.mjastudio.net | admin@mjastudio.net

© WOHA Pte Ltd 2018. All rights reserved.

REV.	DATE	AMENDMENT	INIT.
1	18/09/19	DRP ISSUE	MEC
2	25/09/19	DA ISSUE	MEC



Section 1



Section 2

CLIENT

APEX VIEW PTY LTD

PROJECT

FORBES RESIDENCES

PROJECT ADDRESS

10-14 FORBES RD

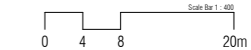
APPLECROSS

MJA PROJECT NUMBER

18003

SCALE @ A3

1 : 400



STATUS

ISSUED FOR DA


DRAWING

SECTIONS

DRAWING NO.	DRAFTER	CHECKED	REV.
DA.20	CP	MEC	2

APPENDIX B

INTERFACE ANALYSIS

The logo for URBIS, consisting of the word "URBIS" in a bold, white, sans-serif font, enclosed within a white square frame that is slightly offset to the right and top.The background of the cover is a photograph of a modern, multi-story building with large glass windows and balconies. The building is partially obscured by lush green trees in the foreground. The scene is brightly lit, suggesting a sunny day. The overall aesthetic is clean and contemporary.

FORBES RESIDENCES INTERFACE ANALYSIS

SEPTEMBER 2019

CONTENTS

1.0	THE SITE	3
2.0	METHODOLOGY	4
3.0	PLANNING CONTEXT	5
4.0	VISUAL IMPACT	6
5.0	BENEFITS OF DESIGN EXCELLENCE	8
6.0	HEIGHT TRANSITION	9
6.1	LOCAL EXAMPLES	10
7.0	CONCLUSION	13

© Urbis 2019

This publication is subject to copyright. Except as permitted under the *Copyright Act 1968*, no part of it may in any form or by any means (electronic, mechanical, photocopying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without prior written permission. Enquiries should be addressed to the publishers.

1.0 THE SITE

The Forbes Residences Project is located at the corner of Forbes and Kishorn Roads in Applecross. The site is located within the M10 zone of the Canning Bridge Activity Centre Plan and interfaces with the M15 zone to the south and the H4 zone to the west. Kishorn Road is a local distributor road connecting much of the Canning Bridge Precinct to the Canning Bridge Train Station and Forbes Road performs a local access street function. Both streets are well vegetated with heavy canopy coverage; like much of the Applecross locality.



2.0 METHODOLOGY

In reviewing the approach to the Forbes Residences we have identified a range of considerations that we believe are relevant to the application for additional height and interface with surrounding lower height zones. Putting aside the need for additional residential housing in well serviced and accessible locations and the desire to meeting infill targets, the approach undertaken focuses primarily on the design interface and ensuring that the proposed additional height is appropriate given its context.

Specifically, this assessment has considered:

- Visual Impact;
- Design Excellence; and
- Height Transition.

In examining the Forbes Residences project and it's interface impact, we have also examined a number of relevant Perth case studies, where similar height interfaces have developed or are developing successfully.



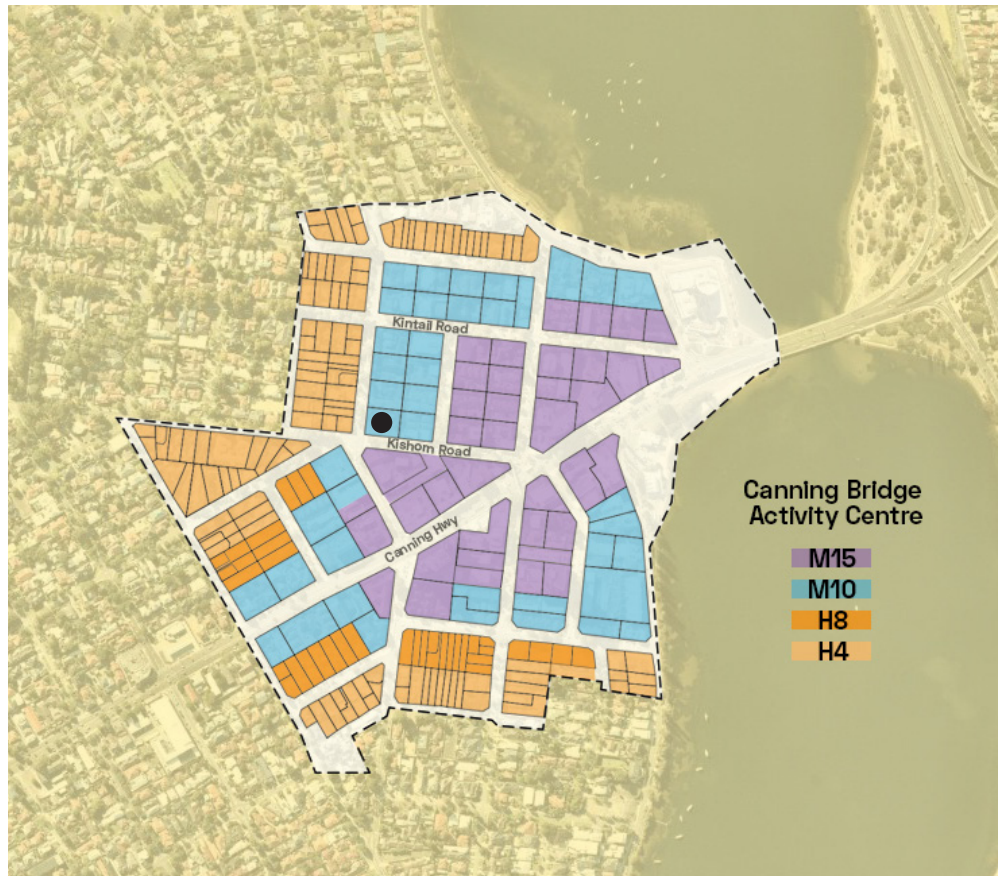
3.0 PLANNING CONTEXT

The Canning Bridge Activity Centre Plan (CBACP) is the framework which was developed to facilitate the transition of the precinct from a suburban and car based environment, into a more efficient, intensive and urban activity centre leveraging from the high amenity, transport infrastructure and proximity to the City, facilitating an additional 20,000 people in 10,000 dwellings and 6,000 jobs.

This Activity Centre plan has been prepared to provide a guide to development of the CBACP area, an area recognised as an 'activity centre' under the Western Australian Planning Commission's State Planning Policy 4.2: Activity Centres for Perth and Peel. The study area comprised the area generally considered a convenient walkable distance from the Canning Bridge bus and rail interchange which is located at the junction of the Canning Highway and Kwinana Freeway.

The CBACP represents a bold and visionary transformation within the precinct over both City of Melville and City of South Perth, with the guiding principle articulated in clause 3.1 as follows:

"The Canning Bridge area will evolve to become a unique, vibrant, creative community centres of the integrated transport node of the Canning Bridge rail station. The area will be recognised by its unique location, its integrated mix of office, retail, residential, recreational and cultural uses that create areas of excitement, the promotion of its local heritage and as a pedestrian friendly enclave that integrates with the regional transport networks while enhancing the natural attractions of the Swan and Canning Rivers. "



The subject site is located within the City of Melville portion (Kintail and Ogilvie Quarters) with a number of significant developments are approved, under construction or completed. These developments range in scale, height and design including Sabina (30 Levels), Cirque on Ogilvie (20 Levels) and The Precinct (22 Levels). The location (on the corner of Kishorn and Forbes) lies between the core mixed use precinct and residential sites with a four storey height limit. There is no height limit imposed under the planning framework, however there is guidance on the ability to provide for height above 10 storeys based on the delivery of community benefit and design excellence.

In accordance with good planning practice, consideration of the site, its context and the future intended function and environment is key. Ultimately we consider the significant contributions made by this development provide suitable justification (in comparative and real terms) for the proposed scale.

4.0 VISUAL IMPACT

There is accepted wisdom on the impact of building height from a street level perspective, that once a building extends above 6 storeys the visual impact becomes less imposing. According to Alois Regel's aesthetic model, the way our eyes read our environment has a near, middle and far perspective. This theory notes that as objects move from the near scale into the middle scale our eyes reduce structures to shading and contrast. In the far perspective, simple colours and forms are the most important. From an architectural sense a streetscape is viewed primarily at the near to middle scale.

This means that the street level is very important to ensure that appropriate detail, activity and energy is applied. As the perspective moves into the middle scale, to the podium and beyond, detail become less critical and the visual perspective reads more about general massing and bulk. The difference at this point between a 6 storey and 20 storey structure becomes less relevant visually as we perceive it as a general mass. Our brains create visual shortcuts that provide a kind of spatial understanding of scale without needing to define a structure as being a specific height, just near, middle or far.

The visual impact of a structure from street level is less about height in meters and more about how we visually perceive it in terms of massing and scale.

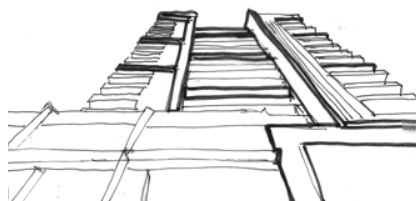
There are a number of ways to further reduce this visual impact through the use of podiums and through the introduction of vertical and horizontal elements in the building that provide structure and relief. The purpose of a podium level is to provide an edge that fits in with the human scale at the street edge. A podium is typically at the 2-6 storey range. This establishes a pedestrian scale

to the building that is readable at the street level and sits within between the 'near' and middle visual range. A high level of detail and activation is required here.

A podium approach introduces the ability to setback a tower from the street edge. Because of the setback the visual impact of the tower structure is significantly decreased. Instead of reading a 10-20 storey building, the missing middle section that is obscured by the podium bypasses our visual understanding and creates a shortcut that reads the tower as a lower scaled general mass. Through this podium mechanism we can reduce the visual impact of a structure from the street level.

This podium approach to reduce visual scale has been a preferred approach to retain the pedestrian scale at the street level. This approach has been adopted locally by organisations such as LandCorp and the MRA and across local governments such as the City of South Perth, Scarborough, and Victoria Park.

Figure 1 Example of 1 Harper Terrace, South Perth – View from the street – minimising impact of tower.



A podium with tower setback can help to maintain the pedestrian scale and offset building heights above 2-6 storeys.

Another effective way to break massing of the structure is to provide vertical and horizontal articulation. By moving away from a solid mass and introducing some push and pull to the structure the visual impact of this articulated edge is reduced. Including depth and shadow within the structure helps to minimise the visual impact of the height of the structure as it provides relief.

In summary, the actual height of a building differs from the perceived height of a building. **The height differential between a 10, 15 or 20 storey building is less critical than ensuring that the detail in our near perspective at the street level is done well.** When combined with a podium approach the overall massing and scale of a building can be further reduced from a visual perspective.

- Articulation of the horizontal and vertical façade collapses floors in to segments and reduces visual impact.
- Use of Podium visually reduces the number of floors
- View of tower compresses from the street level.



Forbes1 - Proposed building



Forbes2 - Compliant yet unarticulated 10 storey building

2 Top
Middle
Bottom



APPLICABILITY TO FORBES RESIDENCE

The introduction of strong horizontal bands at set intervals (every 3 storeys in this case) reduces the Forbes structure into segments. From a cursory glance, we visually collapse the structure into manageable pieces and read these as single layers, so a 16 storey building broken into five sections is less imposing. 1

The revised drawings emphasise the top of the tower by expressing the 14th floor with an expanded ceiling height and the rooftop amenities. 2 This helps to break the building into separate pieces where we read a top, middle and bottom. In this case, the highest levels consists of 2 floors that will read as the 'top'.

The bottom consists of a 'cascading podium' that provides a solid grounding for the building and extends into the 2nd and 3rd floors. The remainder of the tower reads as the middle. 3

The introduction of vegetation at the podium level also assists to break up the horizontal lines of the structure and can re-establish a new visual ground plane. The non-linear nature of a vegetated edge visually provides depth and articulation to the horizontal plane. This can now be read as a secondary ground plane. Vegetation on top of this podium edge will also help to further break up the built form of the tower and provide further visual relief against the structure. 4

Finally, the placement of built form can assist in minimising the visual impact of a structure. In the context of Forbes, the proposed structure itself is located on the inside corner of Kishorn and Forbes Roads, meaning that there are no direct visual corridors on the north-south orientation. The building will sit off the edge of Kishorn Road, which has an extensive canopy that even in autumn and winter, provides a natural visual screen from street level.

The building is offset from view corridors and will exist primarily in peripheral views from the public realm.

1 Reducing structure mass into manageable pieces visually.



4 Non-linear landscaping provides depth and articulation of horizontal planes to emphasise visual hierarchy of podium.

5.0 BENEFITS OF DESIGN EXCELLENCE

Evidence indicates that the application of a height incentive on a structure that is agreed to have met the definition of design excellence can have ongoing benefits for the site, the broader community and set a tone for future development in a precinct.

Design Excellence in Western Australia has been established by the Office of Government Architect (OGA) to define a level of building quality. This concept is based on successful guidelines from the eastern states. The principle in relational to built form and scale notes that good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character.

The Office of Government Architect (OGA's) senior architecture officer Carmel Van Ruth noted in her 2017 article titled *Good Design Is the Foundation of Infill* that development

incentives for good design attract developers focussed on better built outcomes for the apartment market.

“Development incentives for good design are not only encouraging better developers, they are incrementally shaping expectations as our apartment market matures.”

This suggests that new development in the vicinity of the Forbes site will respond to the new context established and to the design quality of an established project. There is a better chance that future projects adjacent to the site will respond appropriately with a higher quality design output. An additional benefit of the development incentive being granted for additional height includes a higher potential to establish a design quality standard and create a better design outcome in projects in the vicinity.

Good design is the foundation of infill



Bottleyard in Northbridge was designed by MJA Studio for Handle Property Group. Picture: Dion Robinson

STREET WISE Carmel Van Ruth

Perth has witnessed an increase in high-density urban infill proposals as developers respond to a growing market appetite for housing choices in established areas. These larger developments – typically mixed-use or multi-residential – have a significant impact on the public realm, adjacent development and the surrounding community. It is important that these developments are well designed. Multi-residential developments accommodate a diverse range of changing occupants and must work well for longer than single houses as multiple ownership limits the ability to alter or redevelop. More than half of Perth's metropolitan local governments have appointed multidisciplinary Design Review Panels to offer independent expert advice on the design quality of proposals. Good design can deliver dwellings that offer good levels of amenity, are flexible in their use, cost effective to operate

Design Review Part one of two.

and maintain, and appropriate for their location. For developers, a well-managed design review offers flexibility to depart from the R-Codes and local policies to deliver improved, site-specific outcomes. Where senior planners can participate in design reviews, solutions can be brokered collaboratively, enabling a smoother approvals phase after endorsement. Where development incentives are offered for good design, some developers are seeking out designers who have previously earned support for exemplary projects and are granting them latitude to develop innovative solutions to deliver improved amenity. Once the positive built outcomes are realised, these developers are encouraging these approaches in other jurisdictions where the incentives don't apply – market interest and reputational benefits of good design are enough. Development incentives for good design are not only encouraging better developers, they are incrementally

shaping expectations as our apartment market matures. Skilled architects are needed for infill development. These projects are complex endeavours demanding a thoroughly considered design response. Architects are educated – and then practise – in a culture of design review, and generally welcome the iterative process. Design teams benefit by gaining independent advice and early validation of design approach. For local governments, having a design review signals a commitment to ensuring new developments make a positive contribution. Panel members can bring knowledge of context, community, history and future direction. Panels can identify recurring design issues and recommend improvements to policy. Improved design outcomes can ease community concern about infill development. In the next part of this column, we will examine how to support design review panels and assess Design WA draft policies. ■ Carmel Van Ruth is a senior architecture officer in the Office of the Government Architect.

Extract from *The West Australian*, November 1, 2017

APPLICABILITY TO FORBES RESIDENCE

Over a 6 month duration on 3 occasions WOHA and MJA Studio presented the proposal to the City of Melville Design Review Panel.

The Forums enabled consultation with Panel members and saw their inputs for improvement being adopted by WOHA and MJA Studio with a continued strengthening of support that lead to the project achieving exemplary design.

The Panel noted the project achieved an exemplary outcome through a series of design initiatives and approaches listed, but not limited to:

- A design narrative that seeks to embed the project in its cultural, historical and local context.
- An activated and engaged ground plane along with an inhabited and activated podium both of which enhance the streetscape and are arranged within required setbacks.
- A mix of uses, accessible by the public, in the podium for a co-work, commercial and community space.
- Well planned and diverse range of apartments with very high levels of cross ventilation.

- Service and vehicular entries have been minimised and car parking has been concealed underground to allow the ground plane to support and facilitate the pedestrian experience.
- Extensive landscaping at ground as well as throughout the structure, including vertical landscape has resulted in greenery equivalent to 203% of the site area.
- Provision of roof top garden and playground.
- Positive sustainable design initiatives including grey water re-use for irrigation of soft landscaping.

The project developer, Mustera Property Group valued the DRP's statement of commendation in their unabated and visionary translation of the Canning Bridge Activity Centre Plan beyond a baseline development standard.

WOHA and MJA Studio valued the recognition of DRP members who viewed this project significant in raising the bar to development standards within the Kintail Quarter and being a progenitor for future development within the Activity Centre and future development within the State.

6.0 HEIGHT TRANSITION

The gradation between zones is important to ensure that the transition isn't too abrupt and uncomfortable for the person on the street. However, it's worth noting that precincts tend to evolve depending on their context. Zones

that transition between heights are not an unusual phenomenon in a city. There is always a point where heights of buildings move between scales to accommodate a different range of housing opportunities, dwelling types and land uses. However, the impact

of the transition often has less to do with the designated code on a plan and more to do with the context of the site and the quality of the design.

APPLICABILITY TO FORBES RESIDENCE

The existing context of the subject site has a range of 1 -4 storey residential and commercial buildings. The underlying zoning has been updated to enable major redevelopment and sites along Canning Highway and properties in the vicinity are in the process of evolving; however, there are a number of legacy buildings that have not yet transitioned. Whilst there will be a period of incongruity between structures these will evolve with the property market.

The subject site itself sits in the centre of three zones and has many interfaces to address and respond to. The height allowance in the adjacent M15 zone is delivering on residential

towers up to 30 storeys on the provision of certain elements required by the Canning Bridge Activity Centre Plan (i.e. community benefit). Internally to the M10 zone the height, it is possible that heights to the 15 storeys proposed by Forbes will be achieved. The transition against the R4 zone (i.e. 15 to 4 storeys) is helped by its location on the other western side of Forbes Road providing both a physical and visual separation. The street layout, vegetation and topography have all been utilised to soften this interface and reduce the visual impact. As outlined in the original Development Application, the project does not impact on the R4 zone from an overshadowing perspective and over-looking

requirements of the R-Codes are not applicable within the CBACP.

The transition between these buildings can be addressed through ongoing application of high-quality design/design excellence in architecture; which is likely to occur through the provisions of the CBACP. Further, commonality in built form and material language and the use of vegetation and topography will help to tie the precinct together (a likely outcome in the context of the CBACP and Design Review Panel).



6.1 LOCAL EXAMPLES

Whilst a transition from 30 storeys to 15 storeys to 4 storeys may seem significant, such gradations in scale are not uncommon. We have identified other areas across the Perth that are dealing or have dealt successfully with similar challenges in transition zones. Through this analysis we have identified the following unifying themes that have been applied to Forbes Residence and will apply more broadly to the Canning Bridge Precinct.

Establishing Consistent Form - An example of a transition zone where the height and volume between areas has been done well can be found around Fraser Street in South Perth. In this example there is a marked height difference between the existing structures in the area sitting at around 4 to 6 storeys in the immediate vicinity and a new 38 storey tower at 1 Harper Terrace. However, this structure sits well within its context through the introduction of a 4-storey podium level. The volume of the structure has been deliberately designed to match its context. This creates a direct relationship with the other 4-6 storey structures in the immediate vicinity.

Use of Podium creates a consistent built element that ties new and old buildings together.

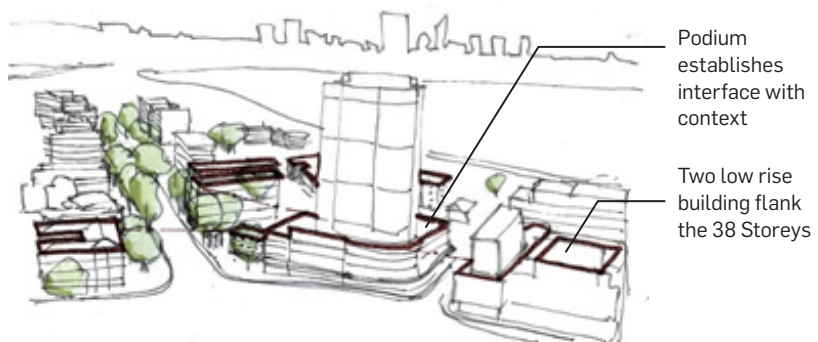


Figure 2 1 Harper Terrace, South Perth; Podium sets the tone for heights.

Nature as Transition- In this Park Street, South Perth example, there is a significant transition between high structures and lower scale buildings. The eclectic mix in this area shows these structures sitting side by side with minimal impact between them. In this case, additional vegetation and planting helps to provide a visual separation between the buildings and makes the transition in height less prominent. The trees in this instance break up the vertical scale and also work to provide elements of transition between the structures.

Street trees and on-site vegetation provides common language and ease transition between sites.

Townhouses, no higher than 3 storeys are adjacent, on both sides, towers over 10 storeys

Buildings at the riverfront are 4 storeys or lower (except 1), immediately adjacent to more than 10 storey towers



Topography as Transition - This example of the Crawley waterfront shows an eclectic mix of buildings of various heights sitting adjacent to each other. Topography in this area helps to provide some separation of the impacts of height. It is anticipated that when these lower scale buildings are redeveloped that these would be of a similar height and scale but in the interim they sit happily among the taller structures.

Variation in topography provides an opportunity to transition between structures of various heights.

Throughout this entire area there are low rise buildings below 4 storeys, scattered between buildings of a height above 10 storeys

Common Design Language –

This Burswood example illustrates an area that was designed from the outset with a transition between towers and small scale residential. Although the height differential is significant between the two typologies there is a strong design relationship between the structures

through the use of materials and the orientation of the structures. Due to the planned nature of the site, when moving through these spaces on the ground the towers do not dominate and don't feel out of place.

Common design language ties structures together regardless of height.



Development surrounding the 5 Burswood towers is all below 5 storeys in height. The tallest of which, is Aurora tower, 21 storeys in height.

7.0 CONCLUSION

The extent of discretion being sought for the Forbes Residences should not be applied to every development within the Canning Bridge Precinct. It is the combination of uses, community benefit, world class architecture and the site's location

within the heart of the Canning Bridge precinct that combined should give confidence to decision makers that the height of the building in its context is appropriate. In conclusion, we submit the following:

VISUAL IMPACT

- The visual impact of the 15 storeys proposed by the Forbes Residences is reduced with the introduction of strong horizontal bands that break the building mass up into a variety of segments. The building is collapsed into 5 visually manageable sections, delivering a far less visually imposing structure than a traditional 15 storey building.
- The non-linear nature of the podium landscaping provides depth and articulation of horizontal planes and establishes a new visual ground plane, reducing overall verticality of the building.
- The Forbes building itself is well setback from the Forbes/Kishorn intersection, meaning there are no direct visual corridors on the north-south orientation. The extensive canopy provided to Kishorn Road will provide a soft visual impediment from street level but still provide suitable visual access.

DESIGN EXCELLENCE

- The Forbes Residences has been lauded as “world class architecture” by City of Melville Design Review Panel members.
- It will establish a new benchmark for mixed use apartment buildings not only in the Canning Bridge Precinct but for Western Australia. The project will only encourage better design within the Canning Bridge Precinct.
- The design incorporates 4,107m² of integrated landscaping which represents a 35% increase on Design WA requirements and a 203% increase on the Canning Bridge Activity Centre requirements. These soft elements (which will largely be publicly accessible) will set a benchmark in vertical greenspace provision on provide environmental, social and community benefits to both residents and the broader Canning Bridge community.

HEIGHT VARIATION

- The Canning Bridge precinct is currently undergoing a transition to a unique, vibrant and creative community centre and will include higher densities and a mix of uses.
- The Canning Bridge Activity Centre plan facilitates greater height differences elsewhere in the precinct. For example the transition between the M15 and H8 zone on Sleet Road south

of the current Norup Wilson Development which equates to a 7 story differential. There is no longer a height differential being proposed between the adjacent zones being contemplated here.

- As established earlier, the actual height is less important than the visual perception of the buildings and appropriateness to context. The context of the site is important in ensuring that there is a consistent form and common design language. As an early project, this context will be informed by the design excellence demonstrated in the Forbes building.
- The Forbes Road streetscape canopy consists of established vegetation that provides visual separation for existing residences to the west. The topography and existing streetscape around the site and the integration of vegetation and the stepping of the horizontal elements within the Forbes building ensures that the building is appropriate to the current conditions and will inform the future context.
- Consistency in design language and materiality through Design Review Panel and CBACP requirements will assist in softening height transitions across the precinct.

This page has been left blank intentionally.

This page has been left blank intentionally.



APPENDIX C

COMMUNITY BENEFIT ANALYSIS



FORBES RESIDENCES: COMMUNITY BENEFIT ADVICE

Prepared for Mustera Property Group
September 2019



CONTENTS

INTRODUCTION	3
REVIEW	4
ASSESSMENT	11
RECOMMENDATIONS	17

Acknowledgements

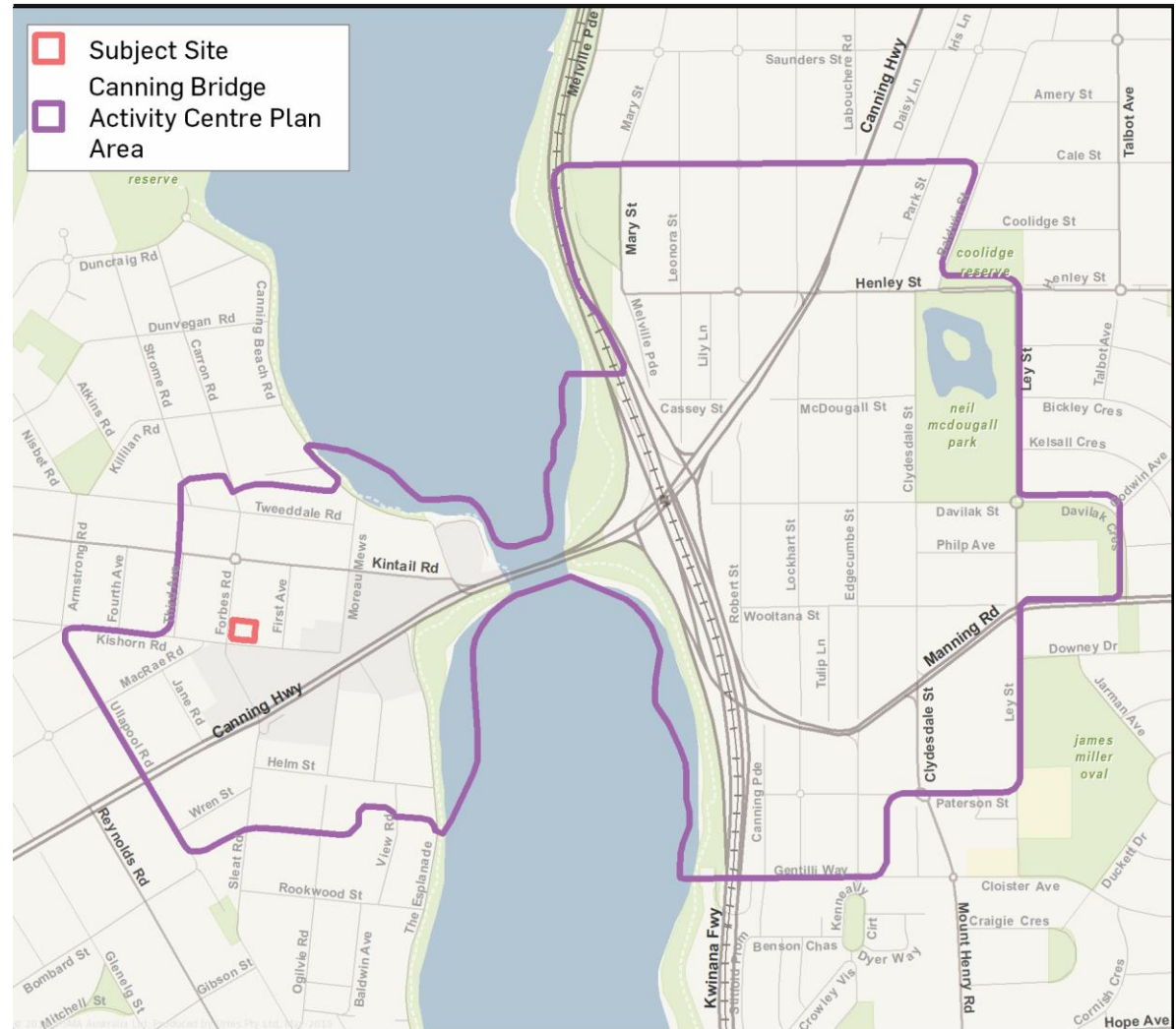
This analysis and advice was supported by input from the following people.

- Leanne Hartill – Manager Neighbourhood Development (City of Melville)
- Martin Spencer – Senior Strategic Urban Planner (City of Melville)
- Peter Prendergast – Manager Statutory Planning (City of Melville)
- Troy Cappelluci – Senior Planning Officer (City of Melville)
- Mark Ciesielski – Director (MJA Studio)
- James Thomson – Director (MJA Studio)

INTRODUCTION

- Urbis was engaged to assist with understanding the current and anticipated need for community places, spaces and services in the Canning Bridge Precinct and the opportunities to accommodate these community needs in the proposed Forbes Residences development.
- In order to inform the advice, this study included the following tasks.
 - **Review** – of the current provision and accessibility of community facilities and services in the area.
 - **Assessment** – of, at a preliminary level, the likely future community facility / service requirements in the Canning Bridge Precinct.
 - **Recommendations** – of any facilities / services which should be accommodated in the development to meet anticipated community needs.
- Urbis engaged with the client and the City of Melville throughout the development of this study. The City of Melville provided important input in regards to what is important to the local community and the capacity of existing community facilities. This included several meetings with the City and the Neighbourhood Development team.

SUBJECT SITE CONTEXT



SECTION ONE

REVIEW

- Whilst neither the City of Melville or City of South Perth have community infrastructure plans which explore the current and expected need for community facilities, a range of existing documents and strategies inform community needs and priorities.
- The review noted the following key findings.
 - The City of Melville wants to deliver community facilities focused around urban spaces linked to new buildings.
 - The City of Melville intends to develop and implement the socially isolated seniors project, Hand to Heart, to facilitate opportunities for older residents to be included.
 - The City of Melville has adopted a policy that aims to consolidate community facilities into multi-use community hubs. A community hub model for the City provides the opportunity to expand and contract community activity / focus around the hub as required and provides more flexibility for service delivery options.

REFERENCE DOCUMENTS

Document	Description
Infrastructure Strategy 2016-2036 (City of Melville)	This document proposes core infrastructure priorities for investment over the next 20 years.
Strategic Community Plan 2016-2026 (City of Melville)	This document identifies the City's vision and aspirations and the community's priorities.
Achieving Community Wellbeing: Our Key Challenges (City of Melville)	This document identifies key challenges and how the City is addressing them through community engagement, appropriate infrastructure, environment and urban development.
Corporate Business Plan 2016-2020 (City of Melville)	This document outlines the strategic direction for the organisation, aligning with community aspirations.
Strategic Community Plan 2017-2027 (City of South Perth)	The plan aims to engage the community, articulate a vision provide a clear understanding of community priorities and long term impact up to 2027.
Corporate Business Plan 2015-2019 (City of South Perth)	This plan identifies the priorities to sustainably and strategically meet the needs of the community.
Canning Bridge Activity Centre Plan	This plan outlines the objectives and goals for the future of the area, guidelines for the style of built form and the implementation framework for infrastructure and land over time.
Neighbourhood Plans (City of Melville)	The plans guide the way the City works with the community. The Neighbourhood Plans aim to build on existing neighbourhoods through place making activities for all ages, local events and activities and other initiatives for a sustainable community.
Age Friendly Melville Plan 2017-2021 (City of Melville)	This plan identifies the future aspirations and needs of ageing residents.
Neighbourhood Development – Community Hub Policy (City of Melville)	This policy applies to community facilities owned or under the control of the City of Melville.

COMMUNITY ENGAGEMENT CONTEXT

- Engagement with the neighbourhood development team at the City of Melville identified the following strategic aims for building a sense of community in the Canning Bridge Precinct.
- Encourage place activation and vibrancy
- Create opportunities for positive connections
- Support connection to place and history
- Strengthen communities through active participation
- Be inclusive and support diverse needs
- Support creative expression
- Building on these aims, the City identified the need to deliver places and spaces in the Canning Bridge Precinct that:
 - Are for **diverse age ranges**;
 - Encourage **community gathering**;
 - Enhance **connectivity and travel smart behavior**;
 - Contribute to **precinct branding and identity**; and
 - **Meet future needs**.
- The above considerations informed and complemented the desktop review of community facility needs.

STRATEGIC COMMUNITY PLAN ASPIRATIONS, CITY OF MELVILLE

YOUR ASPIRATIONS

At the heart of the Community Plan are **SIX COMMUNITY ASPIRATIONS** for our City.

They are:



To continue to be **CLEAN AND GREEN** and with many more trees everywhere.



To build **A SENSE OF COMMUNITY** through organising a range of opportunities for people to get to know one another and do things together at local events and activities throughout the year.



To work towards **SUSTAINABLE AND CONNECTED TRANSPORT** through better public transport, cycling and walking infrastructure and responsive traffic management.



To encourage **HEALTHY LIFESTYLES** which involve group or individual outdoor activities in the neighbourhood.



To achieve **GROWTH AND PROSPERITY** by supporting small local businesses such as cafes in the suburbs.



To feel **SAFE AND SECURE** everywhere and at all times.

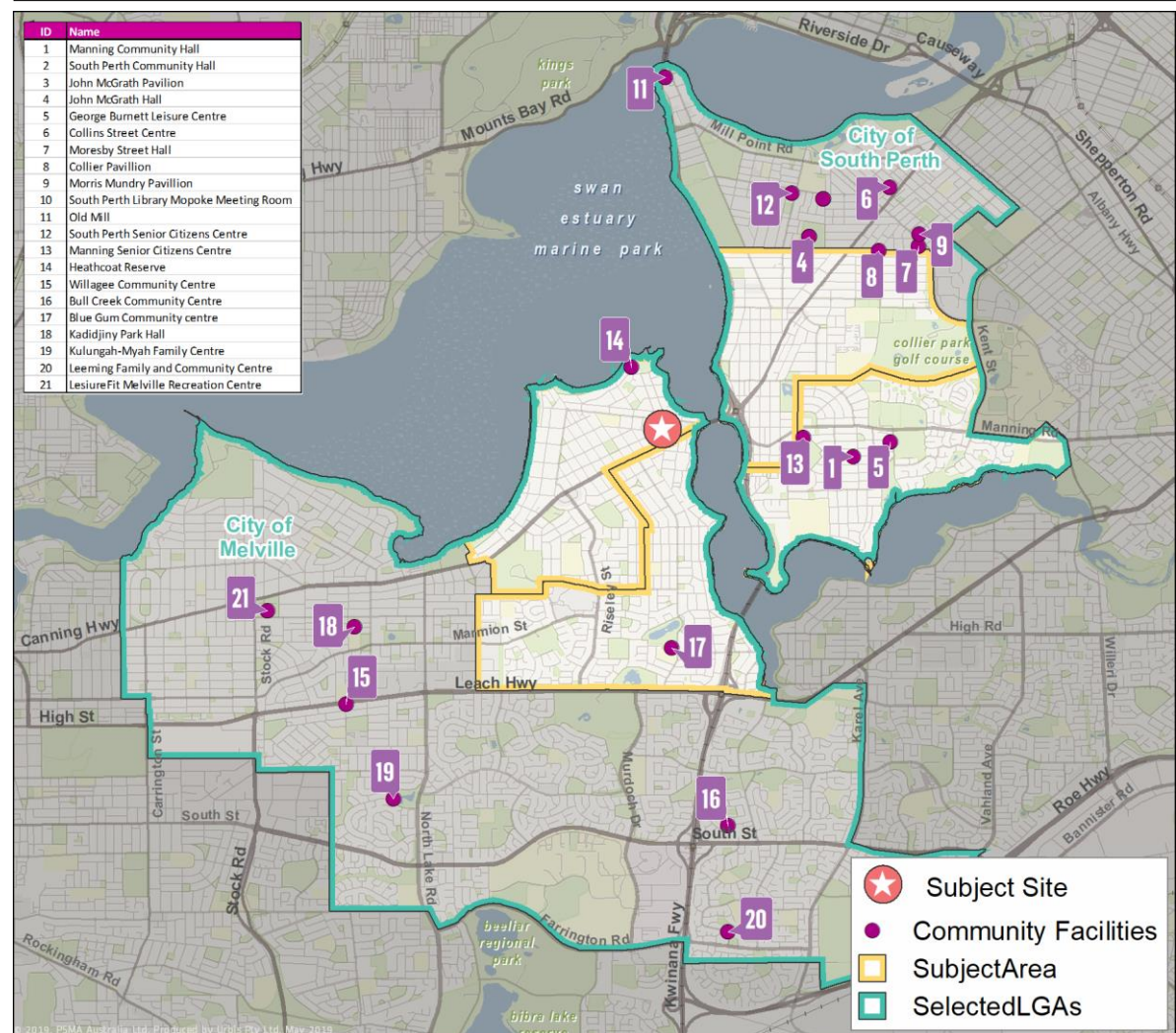
LOCAL GOVERNMENT COMMUNITY FACILITIES

- There is currently a lack of indoor local government owner / managed community facilities servicing residents in the Canning Bridge Precinct and wider residential area.
- The City of Melville operate multi-use community centres in three locations in the local government area: Willagee, Bull Creek and Brentwood (Blue Gum). Public transport access to these facilities is very limited and the most proximate facility is 5km by road.
- The City of South Perth own a number of facilities however the most proximate are located in Manning (approximately 3km by road) and are additionally not easily accessible via public transport.
- In addition to multi-use space, there are a range of local government-owned facilities, of varying quality, that are available for hire (dependent on availability). The Heathcote Cultural Precinct is the only facility nearby which is operated by the City of Melville. These facilities however have a varying ability to cater to a wide range of community services due to factors such as physical constraints (building age and layout) and in-building facilities.

Source: City of Melville

(<<https://www.melvillecity.com.au/things-to-do/community-centres>> & <<https://www.melvillecity.com.au/things-to-do/find-venues-parks-and-reserves>>) & City of South Perth (<<https://southperth.wa.gov.au/community/facilities>>)

LOCATION OF LOCAL GOVERNMENT-OWNED COMMUNITY FACILITIES



LOCAL COMMUNITY FACILITIES

- In addition to local government-owned facilities, this advice considered the current provision of facilities managed 'at an arms length' by the City of Melville or privately run facilities that include community services.
- Whilst there are several facilities which have spaces available for hire, many of these facilities are suitable for only a limited number of community needs and / or are fully-utilised. For instance, the following comments were provided by the City of Melville.
 - The Applecross District Hall known as the Tivoli is fully utilised with prop making, rehearsals and shows throughout the weekdays and weekends.
 - The Waylen Bay Sea Scouts at the Strand Applecross is fully utilised with both permanent and casual bookings – including activities like yoga, children's dance, Zumba, ballroom dancing, karate, youth activities and relaxation therapy.
- Furthermore, the Swan River Rowing Club's for hire facility has limited ability to cater to other community uses due to affordability and available in-building facilities.

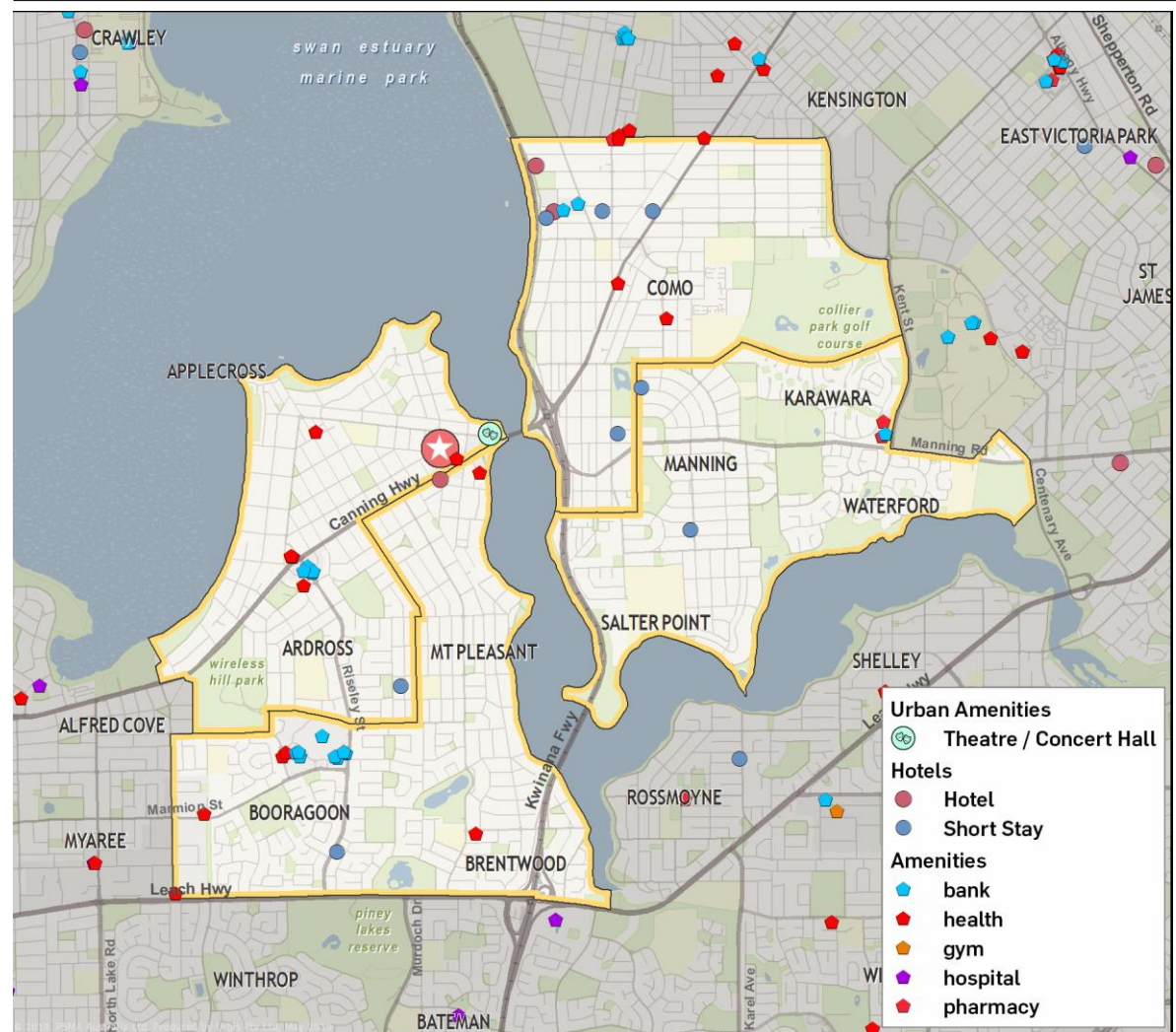
LOCATION OF LOCAL COMMUNITY FACILITIES



URBAN AMENITIES & SERVICES

- To support significant population change, the Canning Bridge Precinct will need to accommodate a variety of amenities and services suitable for current and future residents.
- A review of the types of amenities and services currently available in the wider area revealed the following current and emerging gaps.
 - **Short Stay Accommodation / Hotels:** There are few accommodation options for business, holiday and family / friends visitation. The only offering in the Canning Bridge Precinct is the 3-star Canning Bridge Auto Lodge.
 - **Restaurants:** Food retail is primarily limited to fast-food and take-away options, with few restaurant options supporting a night time economy and street activation.
 - **Health Services:** Outside of general practitioner services, there are few allied health and alternative health / wellness providers in the Canning Bridge Precinct (e.g. yoga / cross fit).
 - **Personal Services:** There are several hair dressers and gyms however there are several uses not in the Canning Bridge Precinct (e.g. spa / massage / beauty services, laundry / cleaning services).

MAP OF URBAN AMENITIES

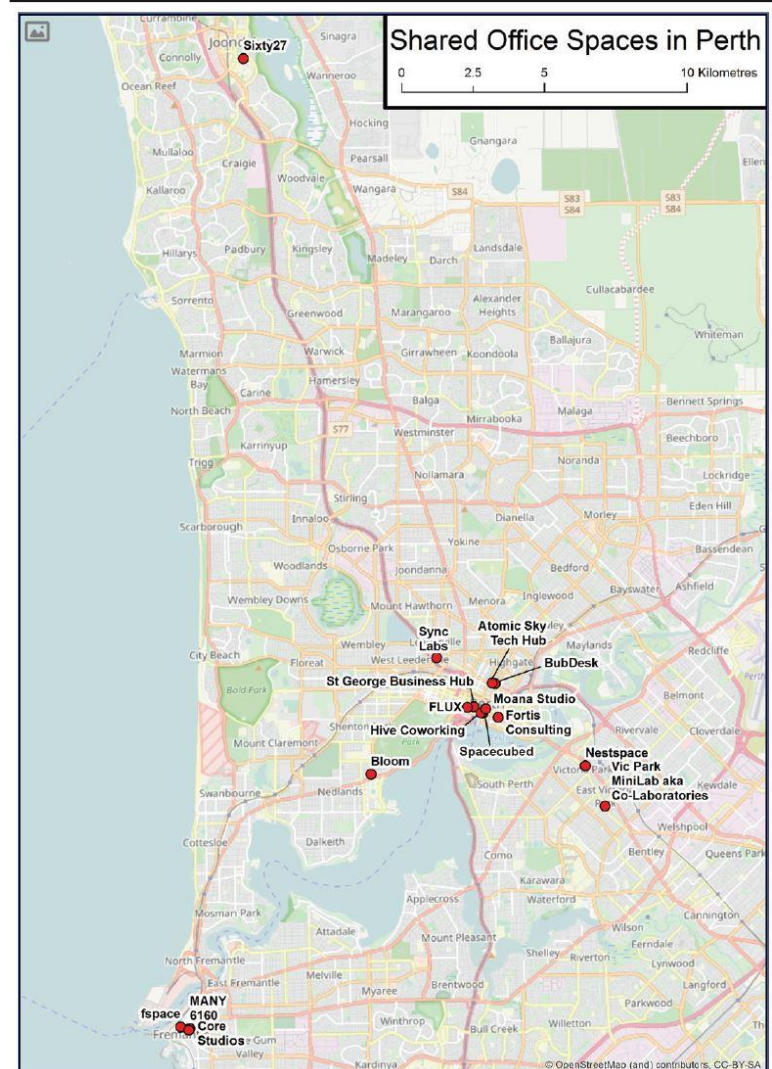


CO-WORKING SPACE

- Workplaces and the future of work are undergoing significant change which is fuelling significant growth in co-working space / hubs. According to Knight Frank, the number of co-working spaces grew 300% between 2013 and 2017 in Australia and this is expected to triple again over the next 10-15 years. Forecasts suggest that about 12% of office space in Australia will be used for flexible workspaces by 2030.
- This growth is being driven by increasing freelance / contractor employment, more professional services employment, increased digital technology adaption, the sharing / gig economy and other trends.
- A review of co-working space opportunities in the Canning Bridge Precinct revealed the following findings.
 - **Limited Options** – there are currently few formal co-working spaces near the Canning Bridge Precinct for start-ups and small businesses despite its existing office-based employment, relatively high level of residents in white collar employment and proximity to Perth.
 - **Perth Under-Represented** – Perth is playing catch-up to other capital cities given its low level of co-working spaces.
 - **Significant Benefits** – co-working spaces can address many of the reported problems of working from home, such as social isolation, lack of collaboration opportunities, equipment availability and workplace atmosphere, and they support economic activity through start-up and small business support services such as networking and training.

Source: BCEC *Unlocking the Potential for Working Closer to Home (2017)*, Office Hub *The Australian Co-Working Market Report (2018)* & Knight Frank *Culture Clash: Flexible workspace, coworking & the future (2017)*

LOCATION OF CO-WORKING SPACES, PERTH (AS OF 2017)



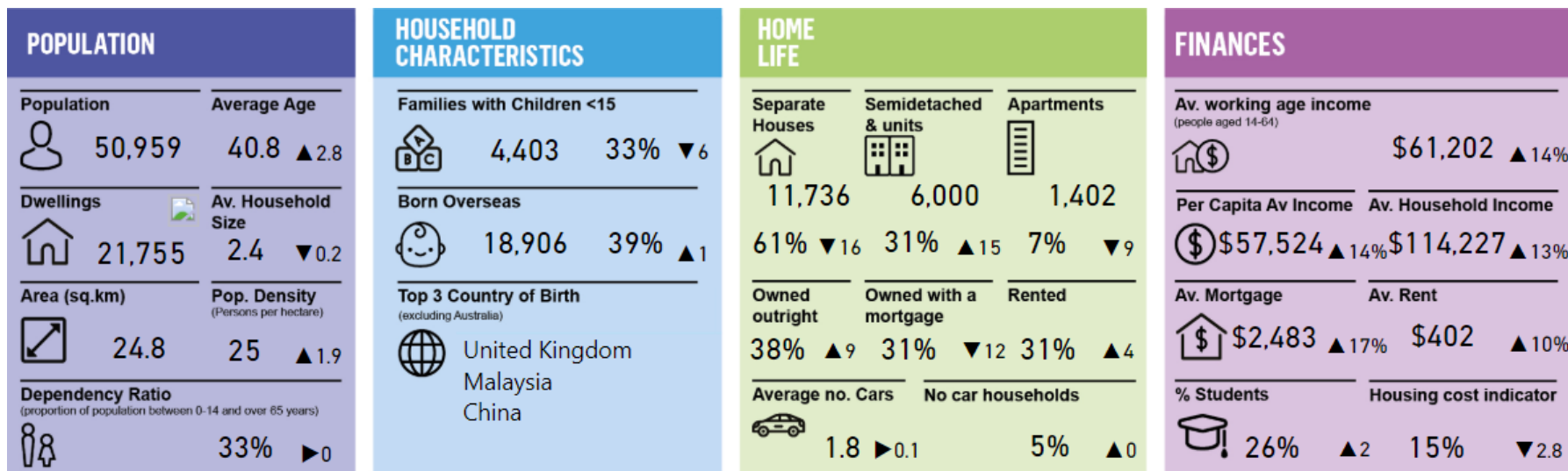
SECTION TWO

ASSESSMENT

DEMOGRAPHICS

- Residents in the Canning Bridge Precinct and wider area are characterised by a number of attributes noted below.
 - The population is older and ageing rapidly**, with a high proportion of retirees and mature aged residents (equivalent to 30%) compared to Perth levels.
 - There are few young residents and establishing families**, with only 20% of adults in this cohort.
 - There is a high proportion of medium and high density dwellings** in the area (38%) which has implications for shared / socialisation space requirements.
- High incomes**, approximately 13% above the Perth benchmark, implies higher spending on discretionary uses (such as personal services, allied / alternative health and wellness providers and restaurants).
- There is an increasing cultural diversity** driven by increased levels of residents from Asia.
- High level of volunteering**, at approximately 35% above Perth averages.
- Older but fit**, with health indicators relatively better than Perth averages.

KEY DEMOGRAPHIC INDICATORS, SUBJECT AREA, 2016



Source: ABS, Urbis

- Increased development is expected to drive strong population growth and associated community service / amenity requirements. According to the Canning Bridge Activity Centre Plan, the population will double by 2031 to approximately 8,000 people and a further to 24,000 people by 2051. Meanwhile, forecast.id estimates that the population of Applecross, Ardross, Mount Pleasant and Brentwood is on track to increase by 3,100 residents over the 2016 to 2021 period.
- Significant levels of infill (i.e. apartment) development is expected to lead to a more diverse population mix and exacerbate some current demographic trends. The key expected demographic trends are noted below.
 - Ageing** – further increased levels of older residents, particularly residents with increasing physical and mental health and wellbeing requirements.
 - Cultural Diversity** – increased overseas migration, especially from East and South-East Asia, driving needs for cultural event facilities and migration services.
 - Young Professionals** – increases in young professionals and couples, especially high income professionals, to support recreation / sports facilities and discretionary retail.

FUTURE DEMOGRAPHIC CONSIDERATIONS

Trend	Forecast / Expectation	Implications for Community Needs
Ageing	<p>The proportion of residents aged 65 and above has increased 23% over the past decade. This trend is expected to continue and be supported by above-average levels of downsizer apartment purchasers.</p> <p>Alongside this trend, the number of lone person households is expected to increase. Older lone person households are already at levels well-above Perth averages.</p>	<ul style="list-style-type: none"> Health services Personal services Disability services / facilities Social gathering spaces and opportunities
Cultural Diversity	<p>There has been an increase in overseas migration and large proportion of residents from the UK and Asia which has supported notable levels of cultural diversity. Being close to Curtin University and the Perth CBD is expected to support a greater level of migration and cultural diversity as development activity expands.</p>	<ul style="list-style-type: none"> Short stay accommodation Event facilities
Young Professionals	<p>Higher levels of one and two bedroom rental stock and more affordable dwelling price points in the area will support increases in young professionals and couples in the Canning Bridge Precinct.</p> <p>An increase in young professionals, especially millennials, will support the need for co-working spaces and services.</p>	<ul style="list-style-type: none"> Co-working spaces Recreation / sport facilities Discretionary retail (i.e. restaurants)

Source: ABS, Urbis

- A benchmarking exercise confirmed an expected need for the following range of facilities in the Canning Bridge Precinct in the short and medium term.
- **Co-working space** - including wrap-around services to support business development and networking.
- **Local government multi-use space** – a dedicated multi-purpose space for the growing local resident base.
- **Short stay accommodation / hotel** – such as serviced apartments and / or hotel.
- **Health services** – such as alternative health and wellness uses and a medium term need for additional general practitioner services.
- **Personal services** – such as spas, massage therapists, alternative fitness services and laundry / cleaning services.
- **Business services** – such as banks and financial services.
- **Restaurant/s** – a dining / bar option in the mid-to-upper range.
- **Green Space** – for socialisation and outdoor exercise.
- A number of other users were explored however these were not considered to have immediate or near term need.

COMMUNITY NEEDS ASSESSMENT FINDINGS

Use	Forecast Need	
	2021	2026
Co-Working Space	VERY HIGH	VERY HIGH
Local Government Multi-Use Space	HIGH	VERY HIGH
Short Stay Accommodation / Hotel	HIGH	HIGH
Health Services	HIGH	VERY HIGH
Personal Services	MODERATE	HIGH
Business Services	MODERATE	HIGH
Restaurant	MODERATE	HIGH
Green Space	HIGH	VERY HIGH
Child Care	LOW	LOW
Take-Away Food	VERY LOW	LOW
Leisure / Aquatic Facility	VERY LOW	LOW
Gyms	LOW	MODERATE
Primary School / Kindergarten	LOW	MODERATE
Secondary School	LOW	MODERATE

COMMUNITY SERVICE / AMENITY NEEDS ASSESSMENT CONSIDERATIONS

Use	Assessment Summary
Co-Working Space	Not supplied in area despite high levels of professional services workforce and local office worker base.
Local Government Multi-Use Space	The Canning Bridge Precinct and surrounding residential areas (Applecross, Ardross, north of Mount Pleasant) had a population of approximately 15,000 residents. According to benchmarks, local multi-use community facilities are required for 6,000 to 10,000 residents and district level facilities are supported from 20,000 residents.
Short Stay Accommodation / Hotel	The area is under supplied of short stay accommodation. Population growth and increased vibrancy due to development activity is expected to support greater overnight visitor levels.
Health Services	Resident demographics support higher levels of spending on medical and health services (equivalent to 30% more than Perth averages). Population growth expected to support more need.
Personal Services	Personal services are limited in the area, with only hair and select fitness options available.
Business Services	The existing and expected increase in the local workforce is expected to support business services such as banks / financial services and decentralised government services.
Restaurant	Food catering options outside take-away and fast food is limited. Strong growth in downsizer and affluent young professional cohorts to support greater expenditure on food catering.
Green Space	There is limited public open space, civic squares and / or pocket parks.
Child Care / Play Group	There is a low proportion of young children in the area and a number of facilities in Ardross, Applecross and Como.
Take-Away Food	There is a considerable existing supply of fast food and take-away food options.
Leisure / Aquatic Facility	The George Burnett Leisure Centre and LeisureFit Melville are located within a 5-10 minute drive.
Gyms	Two existing offerings operate within the Canning Bridge Precinct.
Primary School / Kindergarten	Whilst an increasing population would support this need, there are currently adequate facilities within Ardross, Applecross and Manning.
Secondary School	There are a number of schools nearby such as Applecross Senior High School, Aquinas College and Como Secondary College.

SITE SUITABILITY



- The subject site features a number of strong success factors that suggest that it is well placed to cater to a range of community services / uses.
- In particular, the subject site is located on the edge of the existing commercial office and retail precinct surrounding Sleat Road. This will support exposure and accessibility; including greater usage and viability of needed community services and facilities.

SITE ASSESSMENT

Attribute	Assessment Findings
Exposure / Accessibility	<ul style="list-style-type: none">• Located with ease of access from Canning highway via Sleat Road.• Existing passing traffic supported by exposure to existing commercial uses.• Corner site to support increased exposure and access.
Competitive Environment	<ul style="list-style-type: none">• Wider area is primarily residential and limited new development planned nearby to offer competing uses.
Ant Track / Co-Location	<ul style="list-style-type: none">• The site is located within the edge of the commercial office precinct along Sleat Road and Kishorn Road. This will support visitation and usage levels.• Site located within walkable distance to current development activity along Canning Highway.
Population Levels / Growth	<ul style="list-style-type: none">• Substantial growth planned within immediate area.• Existing residential catchment in Applecross suburb.

SECTION THREE

RECOMMENDATIONS

KEY FINDINGS & RECOMMENDATIONS



- This preliminary study identified a current and emerging need for the following uses.
 - **Multi-Use Community Facility:** There is an observed need for a local multi-use community facility and expectations of a need for a district-level facility in approximately 5-7 years.
 - **Co-Working Space:** The Canning Bridge Precinct has an existing office market and high level of professional service workers however there are no current co-working spaces and associated business support services.
 - **Short Stay Accommodation / Hotel:** The only existing offering in the area is purportedly a 3-star motel. An increasing level of population and associated retail services and vibrancy supports the need for additional short stay accommodation options.
 - **Health / Wellness:** There is a current need for additional uses and services such as day spas, massage therapists, alternative fitness services, naturopaths, podiatrists, dieticians, chiropractors, pathology clinics etc.
 - **Restaurant:** The current food catering options are limited to take-away and fast food in the immediate area. An additional restaurant will support increased resident needs and street activation.

RECOMMENDED USES

Use	Description	Relevant Community Objective/s
Multi-Use Community Facility	A flexible space that can accommodate district level community services for a more diverse population base. Consideration to be given to flexible spaces that accommodate varying age cohorts and needs (such as sport / recreation facilities to support active health and event / function facilities for community groups / residents / businesses).	A Sense of Community Health Lifestyles
Co-Working Space	A small-to-mid size co-working hub and associated amenities for local freelance and small business sector.	Growth and Prosperity
Short Stay Accommodation / Hotel	Serviced apartments or a hotel to cater to business and family / friends visitation requirements.	Growth and Prosperity
Health / Wellness	A commercial tenancy for health and wellness services (particularly the fast growing alternative health / wellness providers).	Health Lifestyles
Restaurant	A mid-to-upper range restaurant offering for local worker catchment and expanding affluent residential catchment.	Growth and Prosperity Safe and Secure

COMMUNITY BENEFIT CONSIDERATIONS



- There are a range of benefits associated with delivering recommended uses and the proposed community garden and public space. The key benefits of the project include:
 - Increased visitation and activation**, with the short stay accommodation, co-working hub, new gathering areas, dedicated function space, public gardens, retail amenities and pedestrian path network expected to increase the desirability of Canning Bridge as a place to visit, play and spend;
 - Increased investment**, with the development supporting the turnover and patronage of existing and future businesses and catalysing new, quality property development;
 - Improved population retention, attraction and health**, with increased vibrancy and activation, socialisation and physical activity opportunities in Canning Bridge leading to improved physical and mental health and higher population growth and diversity; and
 - Environmental sustainability**, with the project enhancing air quality.

COMMUNITY BENEFIT ASSESSMENT FINDINGS

Impact	Assessment Finding/s
Increased Visitation and Expenditure	New, diverse and accessible public amenities and commercial uses will drive visitation to the subject site and surrounding Canning Bridge businesses. The development will cater to residents of the City of Melville, family and friends of residents and wider visitors given its accessible location and unique offering. These visitation increases will result in increased retail spending and support additional retail amenities ¹ .
Improved Vibrancy and Activation	The proposed uses will drive people to the subject site to socialise and improve vibrancy and retail activation. Moreover, increased activation will result in increased levels of passive surveillance and lead to reduced loitering and vagrancy / improved safety ² .
Increased Property Development	Public realm improvements increase the desirability of living in an area, increase property values and increase development activity ³ .
Improved Health Outcomes and Sense of Community	The community hall and public open spaces will support increased physical activity and socialisation which has tangible mental and physical health cost savings and leads to increased productivity; addressing high and increasing obesity and loneliness concerns ⁵ . Furthermore, improved urban areas and environmental landscapes lead to a stronger attachment to community and sense of place ⁶ .
Improved Economic Opportunities	Co-working spaces can address many of the reported problems of working from home, such as social isolation, lack of collaboration opportunities, equipment availability and workplace atmosphere, and they support economic activity through start-up and small business support services such as networking and training ⁷ . In addition, the short stay accommodation and retail / commercial spaces will support on-site employment opportunities.
Improved Air Quality	Research demonstrates that strategically enhanced public realm projects can significantly improve air quality ⁸ .

¹ Hass-Klau (1993), *Liveable Communities* (1998) & Whitehead (2006) ⁴ Kuehle et al. (2017)

² Welsh et al. (2004) & Sullivan et al. (2001)

⁵ Gebel (2005) & Trubka (2009)

³ Luttik (2000), *CABE Space* (2007), *Fatal Analysis Reporting System (FARS)* (1999), *Sirmans et al.* (2005), *Rasmussen et al.* (2012) & Donovan (2009)

⁶ Joongsun (2004)

⁷ BCEC (2017)

⁸ Yin et al. (2011)

This report is dated September 2019 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (Urbis) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Mustera Property Group (Instructing Party) for the purpose of a preliminary community needs assessment (Purpose) and not for any other purpose or use. Urbis expressly disclaims any liability to the Instructing Party who relies or purports to rely on this report for any purpose other than the Purpose and to any party other than the Instructing Party who relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events including wars, civil unrest, economic disruption, financial market disruption, business cycles, industrial disputes, labour difficulties, political action and changes of government or law, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or made in relation to or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

Urbis has made all reasonable inquiries that it believes is necessary in preparing this report but it cannot be certain that all information material to the preparation of this report has been provided to it as there may be information that is not publicly available at the time of its inquiry.

In preparing this report, Urbis may rely on or refer to documents in a language other than English which Urbis will procure the translation of into English. Urbis is not responsible for the accuracy or completeness of such translations and to the extent that the inaccurate or incomplete translation of any document results in any statement or opinion made in this report being inaccurate or incomplete, Urbis expressly disclaims any liability for that inaccuracy or incompleteness.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the belief on reasonable grounds that such statements and opinions are correct and not misleading bearing in mind the necessary limitations noted in the previous paragraphs. Further, no responsibility is accepted by Urbis or any of its officers or employees for any errors, including errors in data which is either supplied by the Instructing Party, supplied by a third party to Urbis, or which Urbis is required to estimate, or omissions howsoever arising in the preparation of this report, provided that this will not absolve Urbis from liability arising from an opinion expressed recklessly or in bad faith.

Urbis staff responsible for this report were:

Director	Tim Connoley
Consultant	Yashwini Halai
Consultant	Dermott Carr

© Urbis Pty Ltd

ABN 50 105 256 228

All Rights Reserved. No material may be reproduced without prior permission.

You must read the important disclaimer appearing within the body of this report.



AUSTRALIA

Brisbane
Gold Coast
Melbourne
Perth
Sydney

URBIS.COM.AU

INTERNATIONAL

Hong Kong
Singapore

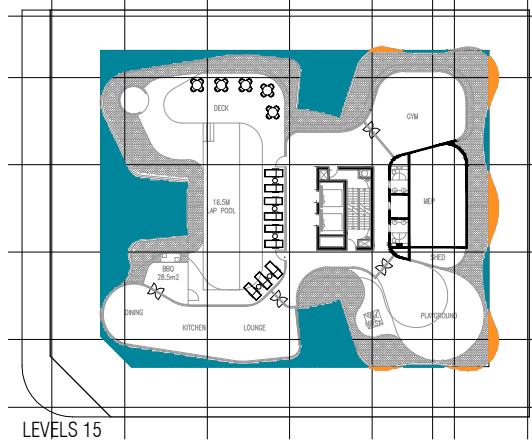
CISTRI.COM

Outside Australia, Urbis trades as Cistri

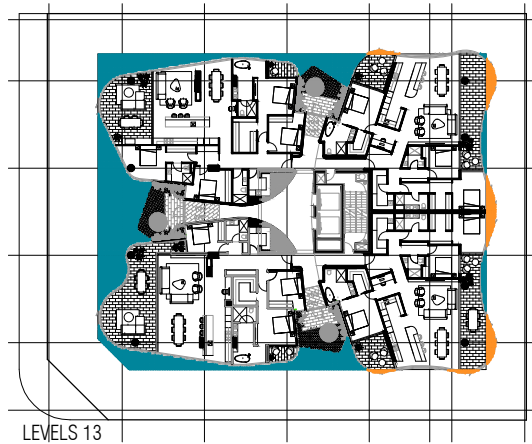
APPENDIX D

SETBACK CALCULATIONS

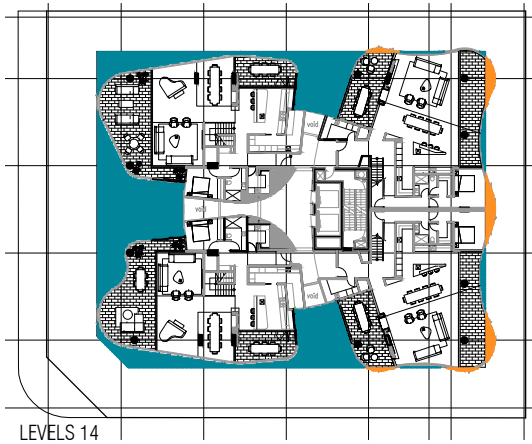
SETBACK CALCULATIONS



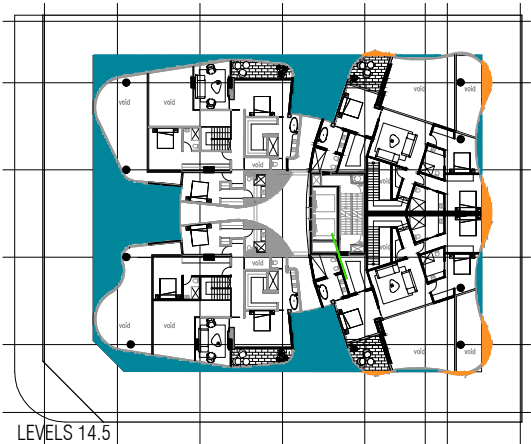
LEVELS 15



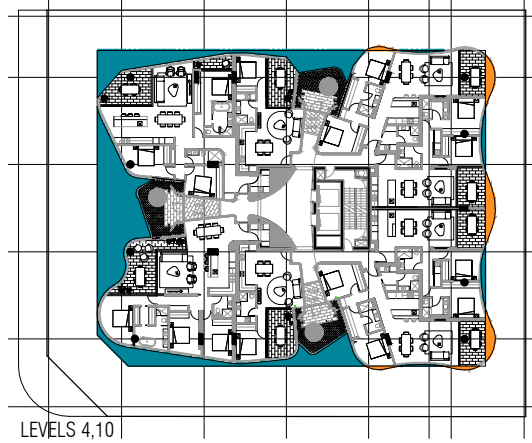
LEVELS 13



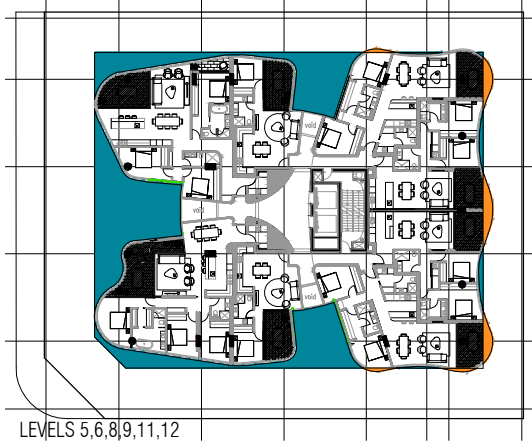
LEVELS 14



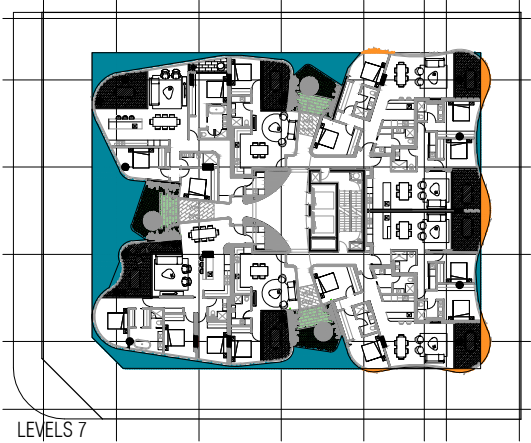
LEVELS 14.5



LEVELS 4,10



LEVELS 5,6,8,9,11,12

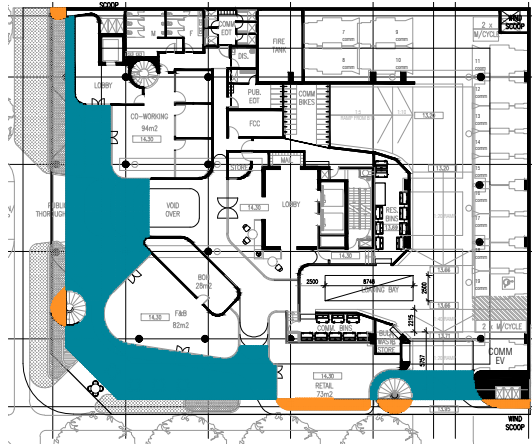


LEVELS 7

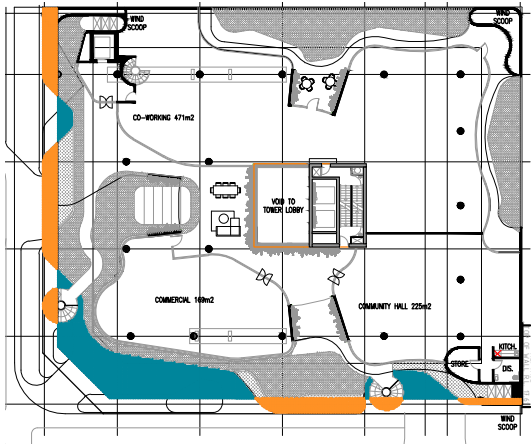
LEVEL	increase	encroachment	AVE
ROOF			
15	178	14	164
14.5	178	14	164
14	178	14	164
13	118	14	104
12	178	14	164
11	178	14	164
10	121	14	107
9	178	14	164
8	178	14	164
7	118	14	104
6	178	14	164
5	178	14	164
4	121	14	107
3	127	36	91
2	277	15	262
1	83	55	28
G	248	24	224
TOTAL	2815	312	2503

2503m² of INCREASED SETBACK AREA

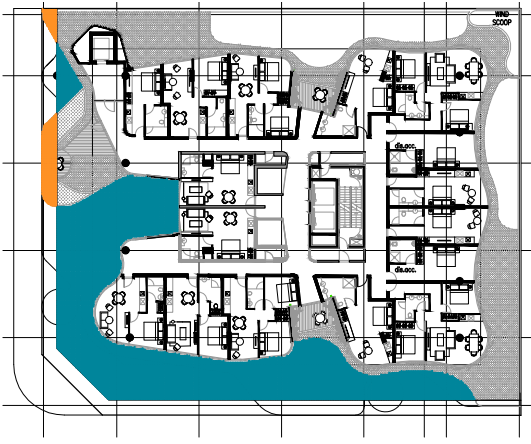
PODIUM



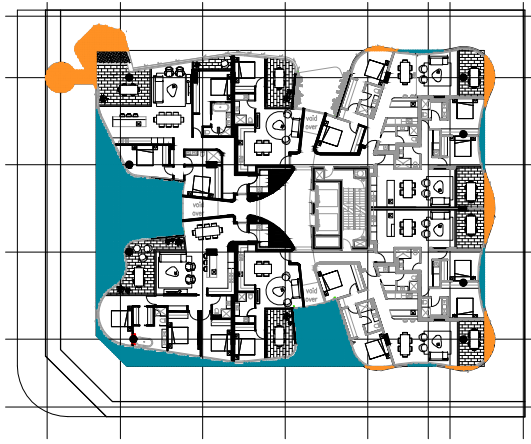
GROUND FLOOR



LEVEL 1



LEVEL 2

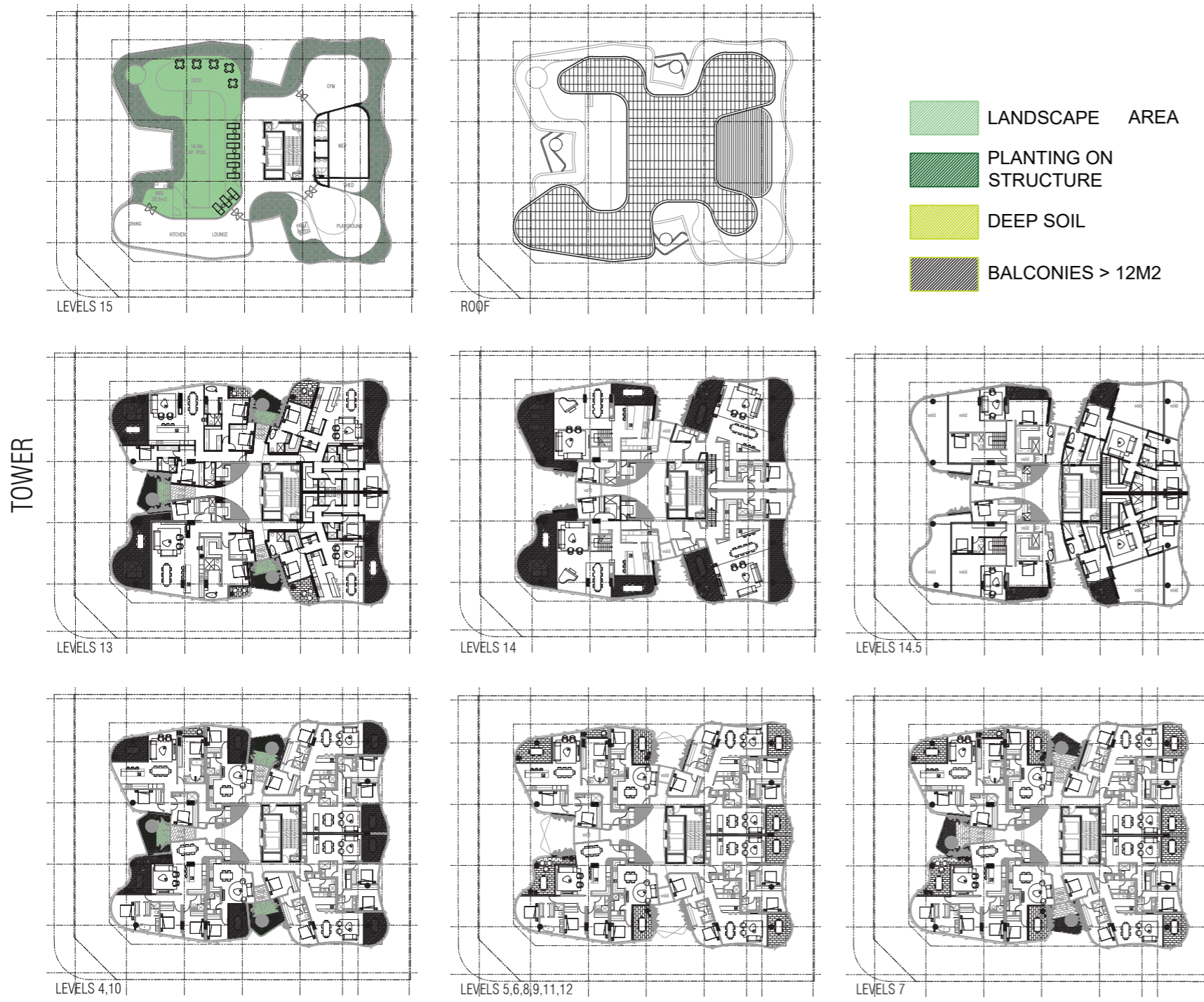


LEVEL 3

APPENDIX E

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS



- LANDSCAPE AREA
- PLANTING ON STRUCTURE
- DEEP SOIL
- BALCONIES > 12M2

VERTICAL LANDSCAPE AREAS

LEVEL	PLANTING ON STRUCTURE
North	307
West	330
South	307
TOTAL	944

TOTAL VERTICAL LANDSCAPE AREA
= 944m²

BALCONIES > 12M2

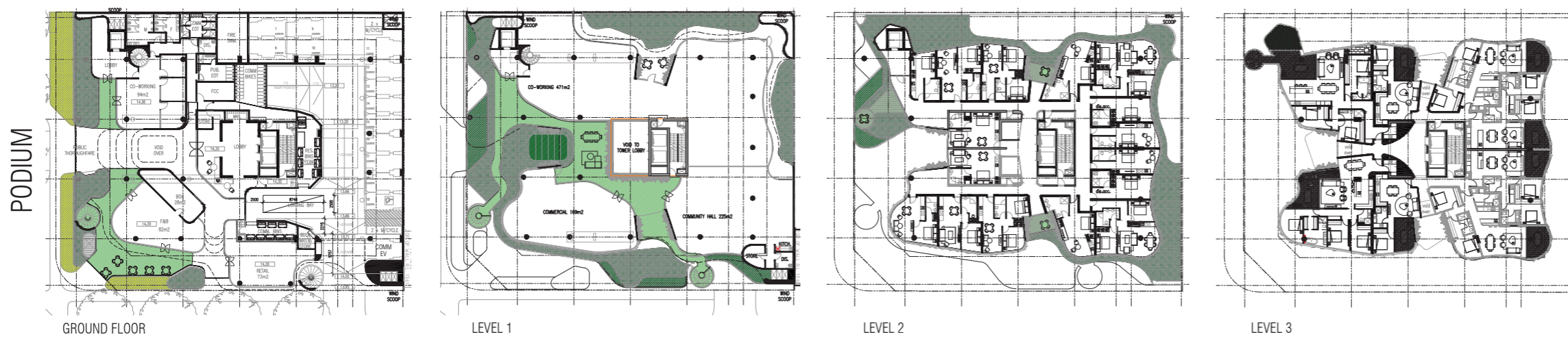
LEVEL	AREA (m ²)
ROOF	-
15	-
14.5	39
14	-
13	130
12	108
11	108
10	108
9	108
8	108
7	108
6	108
5	108
4	108
3	123
2	-
1	-
G	-
TOTAL	1264

TOTAL BALCONY OVER 12M2 AREA
= 1264m²

HORIZONTAL LANDSCAPE AREAS

LEVEL	LANDSCAPED ZONES (m ²)	PLANTING ON STRUCTURE	DEEP SOIL	TOTAL LANDSCAPE AREA/LEVEL (m ²)
15	255	235	-	490
14	-	42.41	-	42.41
13	16.74	42.43	-	59.17
7	16.74	42.43	-	59.17
5-6, 8-9, 11-12	-	-	-	0
4 & 10	33.48	85.2	-	118.68
3	-	14.4	-	14.4
2	39.46	237.7	-	277.16
1	199.47	340.7	-	540.17
G	122	85.79	91.01	298.8
TOTAL	682.89	1126.06	91.01	1899.96

TOTAL HORIZONTAL LANDSCAPE AREA
= 1899.96m²



TOTAL LANDSCAPING AREA
(TOTAL HORIZ + TOTAL VERT + BALC)
= **4108M²**

CBACP REQUIREMENTS
= (BALC + VERT + HORIZ) / SITE AREA
= (1264m² + 944 + 1900) / 2023
= 4108 / 2023
= 2.03
= 203% of the minimum required in CBACP Clause 10.3

WAPC APARTMENT DESIGN POLICY REQUIREMENTS
(HORIZ ON STRUCT + DEEP SOIL) / SITE AREA
= (1126 + 91) / 2023
= 0.60% or 60%
= 35% more than the minimum required 25% area in Design WA, clause 3.4.1

