

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 19 MARCH 2024

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Gavin Ponton, A/Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: Tel 9364 0223 or via the Elected Members Portal.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY, 22 MARCH 2024



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 19 MARCH 2024**

PRESENT

G Ponton
T Cappellucci
T Geddes
J Caracciolo

A/Manager Statutory Planning
Principal Statutory Planner
Senior Planning Officer
A/Senior Planning Officer

DISCLOSURES OF INTEREST

**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995****Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

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U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

Ward : Bicton - Attadale – Alfred Cove
 Category : Operational
 Application Number : DA-2023-1029
 Property : Lot (2) 82 Wichmann Road, Attadale
 Proposal : Two Storey Single House
 Applicant : 101 Residential
 Owner : S Taylor
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Previous Items : None.
 Responsible Officer : G Ponton
 A/Manager Statutory Planning

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (eg under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

**U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD,
ATTADALE (REC) (ATTACHMENT)****KEY ISSUES / SUMMARY**

- Development approval is sought for a two-storey single house at 82 Wichmann Road, Attadale.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), State Planning Policy 7.3 (SPP 7.3) - Residential Design Codes Volume 1 (R-Codes) and relevant local planning policies including Local Planning Policy 3.1 – Residential Development (LPP3.1).
- The proposed development requires a performance assessment in relation to lot boundary side setbacks and boundary wall lengths. Consideration by the Development Advisory Unit is limited to lot boundary setbacks to the northwestern boundary, with all other variations determined by the Manager Statutory Planning through delegated authority in accordance with Local Planning Policy 1.1 Planning Process and Decision Making (LPP 1.1)
- The application was advertised in accordance with the provisions of the R-Codes, Planning and Development (Local Planning Scheme) Regulations 2015 and LPP1.1.
- One submission was received during the advertising period which was an objection to the northwestern lot boundary side setbacks and visual privacy.
- The applicant has amended the plans in regard to the visual privacy variation which now complies with the deemed-to-comply provisions of the R-Codes.
- Notwithstanding the objection received, it is considered that the development is acceptable when assessed against the relevant design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.

**U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD,
ATTADALE (REC) (ATTACHMENT)**



Figure 1 – Aerial Photography

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R25
Use Type	: Single House
Use Class	: Permitted

Site Details

Lot Area	: 360 ^{m2}
Retention of Existing Vegetation	: None
Street Tree(s)	: Yes
Street Furniture (drainage pits etc)	: Yes
Site Details	: Refer to Figure 1 above

A copy of the plans forms part of the report and recommendations.

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

DETAIL

The application has been assessed against the provisions of LPS6, State Planning Policy 7.3 Residential Design Codes Volume 1 (the R-Codes) and relevant local planning and Council policies. The proposal complies with all the relevant development requirements with the exception of those matters listed below, for which a performance assessment is required.

Local Planning Scheme and Local Policy Requirements

City of Melville Local Planning Policy 3.1 – Residential Development

Development Requirement	Deemed to Comply	Proposed	Comments	Delegation to approve variation
LPP 3.1 Cl. 6 Cl. 3.2 (ii) – Boundary Walls	Northwest Side Boundary walls (Garage) for 9m in length	9.047m in length	Requires assessment using Performance Criteria	Development Advisory Unit (DAU)
LPP 3.1 Cl. 6 Cl. 3.2 (ii) – Boundary Walls	Southeast Side Boundary walls (Theatre & Kitchen/Scullery) for 9.33m in length	11.1m in cumulative length	Requires assessment using Performance Criteria	Manager Statutory Planning (MSP)

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

State Planning Policy 7.3 – Residential Design Codes Volume 1

Development Requirement	Deemed to Comply	Proposed	Comments	Delegation to approve variation
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	Southeast Side As per table 2a and 2b of R-Codes Volume 1 Ground Floor Laundry Setback required 1.5m	1.2m	Requires assessment using Performance Criteria	MSP
	Southeast Side As per table 2a and 2b of R-Codes Volume 1 First Floor Bed 2 Setback required 2m	1.8m	Requires assessment using Performance Criteria	MSP
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	Northwest Side As per table 2a and 2b of R-Codes Volume 1 Ground Floor Living Setback required 1.5m	1.2m	Requires assessment using Performance Criteria	DAU
	Northwest Side As per table 2a and 2b of R-Codes Volume 1 First Floor Bed 4/Study Setback required 1.9m	1.7m	Requires assessment using Performance Criteria	DAU

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comment Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
 Support/Object: One submission received (Objection)

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

A summary of the content of the objection received and a response is provided in the table below.

Submission Number	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/Uphold/Not Uphold)
1	<p>Wall Setbacks Living room setback very close to the fence, and their living/alfresco area happens to be in line with all our bedrooms which is concerning for noise and privacy reasons.</p> <p>First floor setback concerns in relation to solar access and shadow impacts along with building bulk impacts to sensitive living areas.</p>	Object	Refer to the comments section of this report.	Not Uphold
	<p>Visual Privacy Concerns with Bed 4 overlooking into our yard and alfresco area.</p> <p>Ideally there should be no windows or just fixed obscure glass to provide privacy.</p>	Object	The plans have been amended by the applicant to screen this window and Bed 4 is now compliant with the deemed-to-comply requirements of the R-Codes and will be conditioned accordingly.	Condition

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ATTADALE (REC) (ATTACHMENT)

Submission Number	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/Uphold/Not Uphold)
(continued)	<p>Dividing Fence There should be a continuous dividing fence and not a face brick boundary wall that breaks up the dividing fence.</p> <p>Flipping the house design Allows a lot more light into our main living kitchen area as well as assisting with solar hot water.</p> <p>The City would hopefully consider the negative impact of retaining the current street tree, which is also stopping this flipping design from happening.</p>	<p>Object</p> <p>Object</p>	<p>Not a valid planning matter.</p> <p>Refer to the comments section of this report regarding solar access impacts for lot boundary setback variations.</p>	<p>Not Uphold</p> <p>Not Uphold</p>

II. OTHER AGENCIES / CONSULTANTS

Not Applicable

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the Planning and Development Act 2005.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

**U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD,
ATTADALE (REC) (ATTACHMENT)****POLICY IMPLICATIONS**

There are no policy implications in relation to this proposal.

COMMENTLot Boundary Setback– (Northwest Garage Boundary Wall)

As noted above in the requirement section, the garage boundary wall does not meet the deemed to comply provisions of LPP 3.1 and requires a design principle assessment. The design principles contained in Clause 5.1.3 Lot Boundary Setbacks of the R-Codes seek to reduce the impact of building bulk on adjoining properties, maintain access to natural light and ventilation, maintain visual privacy and ensure no adverse impact on amenity of adjoining properties. The garage boundary wall on the northwest elevation is considered to meet these design principles as discussed below:

Design Principle P3.1:

- The bulk impacts are minimised by the minor variation of 0.047m in length and the boundary wall being 2.9m in height (allowable deemed-to-comply height of 3.5m). The wall does not directly abut the adjoining property outdoor living area approved as part of DA-2023-794 which is currently in for a Building Permit (See Figure 2 below).
- Adequate direct sun and ventilation is considered provided for by the 1m setbacks for the adjoining property dwelling and the wall orientation being SE of the adjoining property.
- There are no actual (R-codes Clause 5.4.1 – Visual Privacy) or perceived visual privacy concerns brought about by the boundary wall as there are no openings.

Design Principle P3.2:

- The boundary wall is making effective use of space as this is the only location that a crossover/garage can be located without the removal of a large mature verge tree. In this respect the boundary wall is making effective use of space within the existing constraints of the lot.
- The variation in length is minor and is not considered to impact on the amenity of the adjoining dwellings Family and Kitchen room openings. These rooms have side setbacks of 1m to 1.7m and are considered to achieve sufficient access to sunlight and ventilation. The boundary wall orientation being southeast of the adjoining lot also assists in achieving adequate sun and ventilation access.
- Street setbacks meet the deemed-to-comply requirements within R-Codes Clause 5.1.2 – Street setbacks with the garage wall in this location being preferred to keep the existing mature street tree which contributes greatly to the existing streetscape.

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

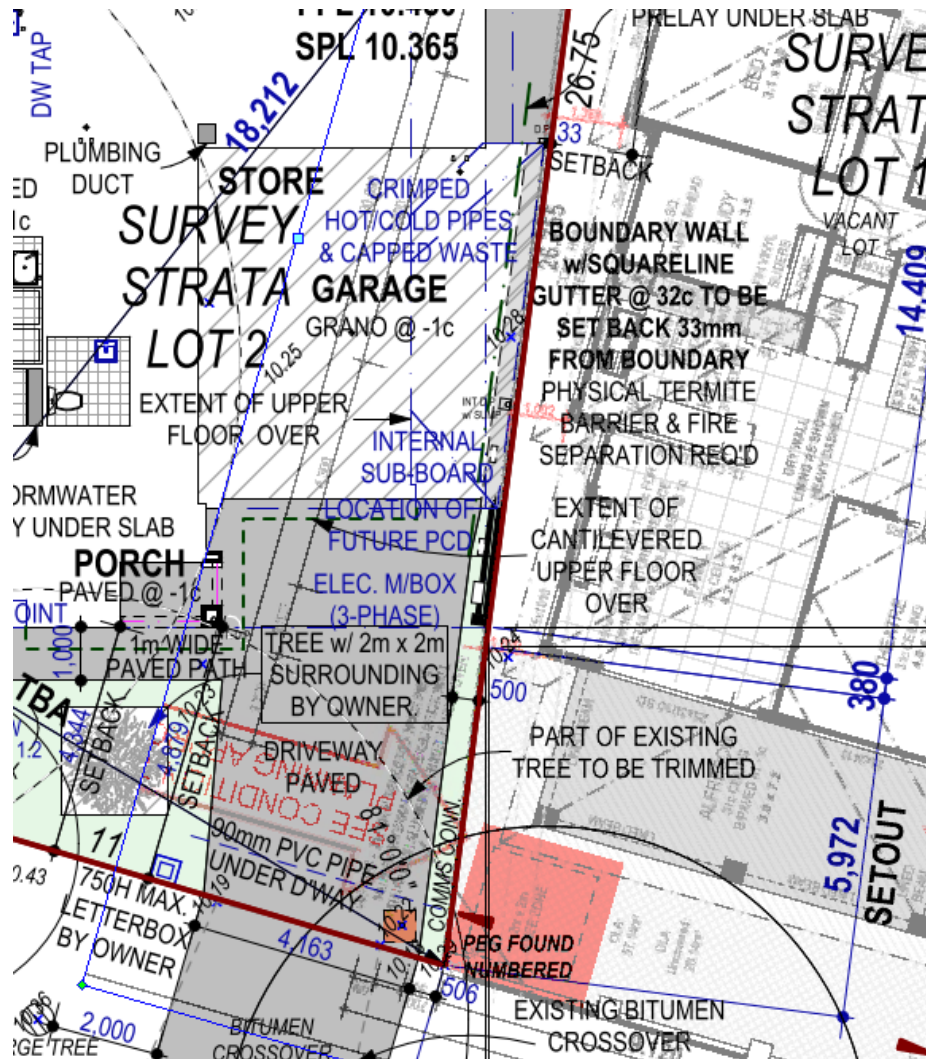


Figure 2: Boundary wall location. Boundary wall is to the right hand side of garage on survey strata lot 2. The adjoining lot is on the right.

Lot Boundary Setback– (Northwest ground floor – Living room)

As noted above in the requirement section, the ground floor Living room lot boundary setback does not meet the deemed to comply provisions of the R-Codes and requires a design principle assessment. The design principles contained in Clause 5.1.3 Lot Boundary Setbacks of the R-Codes seek to reduce the impact of building bulk on adjoining properties, maintain access to natural light and ventilation, and maintain visual privacy. The Living room wall on the northwest elevation is considered to meet these design principles as discussed below:

Design Principle P3.1:

- Bulk impacts to the adjoining lot are considered minimised by the angled wall for the ground floor achieving a side setback of 1.2m to 2.1m which breaks up the bulk impact as the wall angles away from the affected adjoining lot providing larger setbacks as the wall increases in length (See Figure 3 below).

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

- Adequate direct sun and ventilation is considered provided for via the 1m setbacks for the adjoining properties dwelling and 1.2m setback for the Living room of the subject site. The orientation of the wall is southeast of the adjoining property which allows for sufficient sun and ventilation access to the adjoining property.
- Visual privacy is achieved via no major openings or overlooking (subject to clause 5.4.1 of the R-Codes) being present within the Living room wall. Perceived overlooking is not considered to be affected by the location of one high light window from the Living room wall.

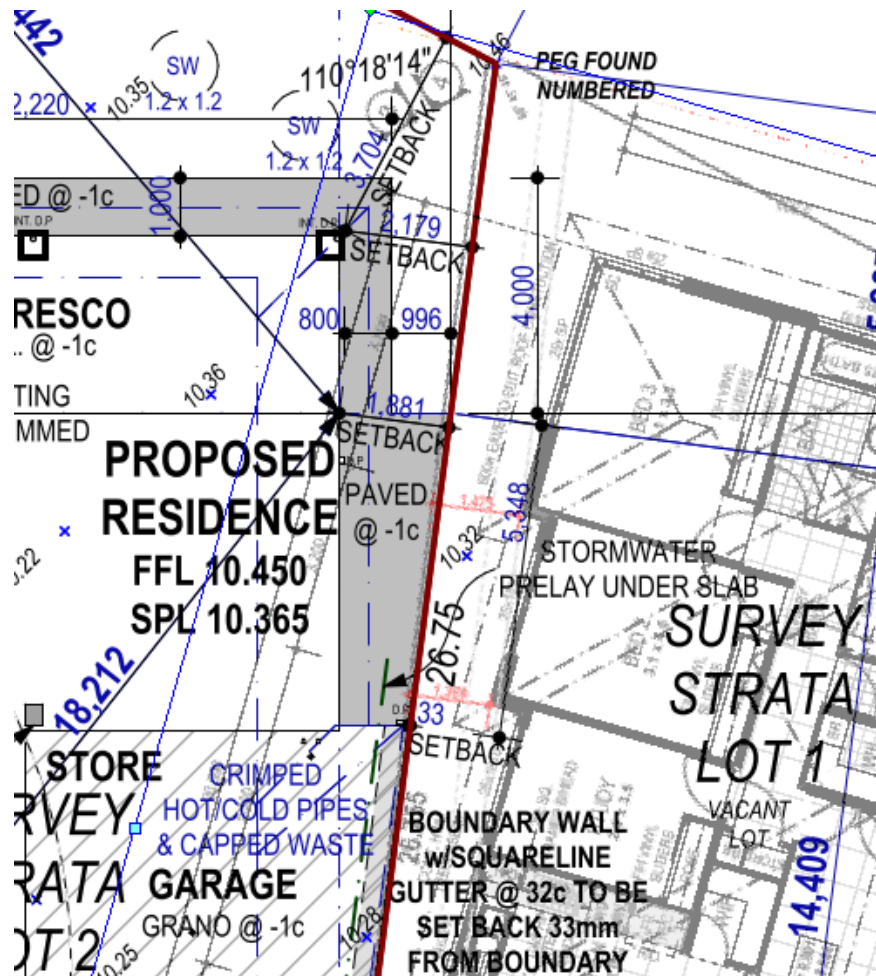


Figure 3: Living room wall of subject site on left in relation to adjoining lots approved single house on the right.

Lot Boundary Setback– (Northwest first floor – Bed 4/Study room)

As noted above, the first floor Bed4/Study room lot boundary setback does not meet the deemed to comply provisions of the R-Codes and requires a design principle assessment. The design principles contained in Clause 5.1.3 Lot Boundary Setbacks of the R-Codes seek to reduce the impact of building bulk on adjoining properties, maintain access to natural light and ventilation, and maintain visual privacy. The Bed 4/Study room wall on the northwest elevation is considered to meet these design principles as discussed below:

**U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD,
ATTADALE (REC) (ATTACHMENT)****Design Principle 3.1:**

- Bulk impacts to the adjoining lot are considered minimised by the angled wall for the upper floor achieving a setback of 1.7m to 3.6m which breaks up the bulk as the wall angles away from the affected adjoining lot providing larger setbacks as the wall increases in length.
- Adequate direct sun and ventilation is considered provided for by the 1m setbacks for the adjoining property dwelling and 1.7m setbacks for the upper floor for the subject dwelling. The orientation of the wall is southeast of the adjoining property which allows for sufficient sun and ventilation access to the adjoining property.
- Actual visual privacy is achieved through no major openings or overlooking (subject to clause 5.4.1 of the R-Codes) being present within the upper floor walls. Perceived overlooking is not considered to be affected by the location of only high light windows and obscured glazed windows within this wall.

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

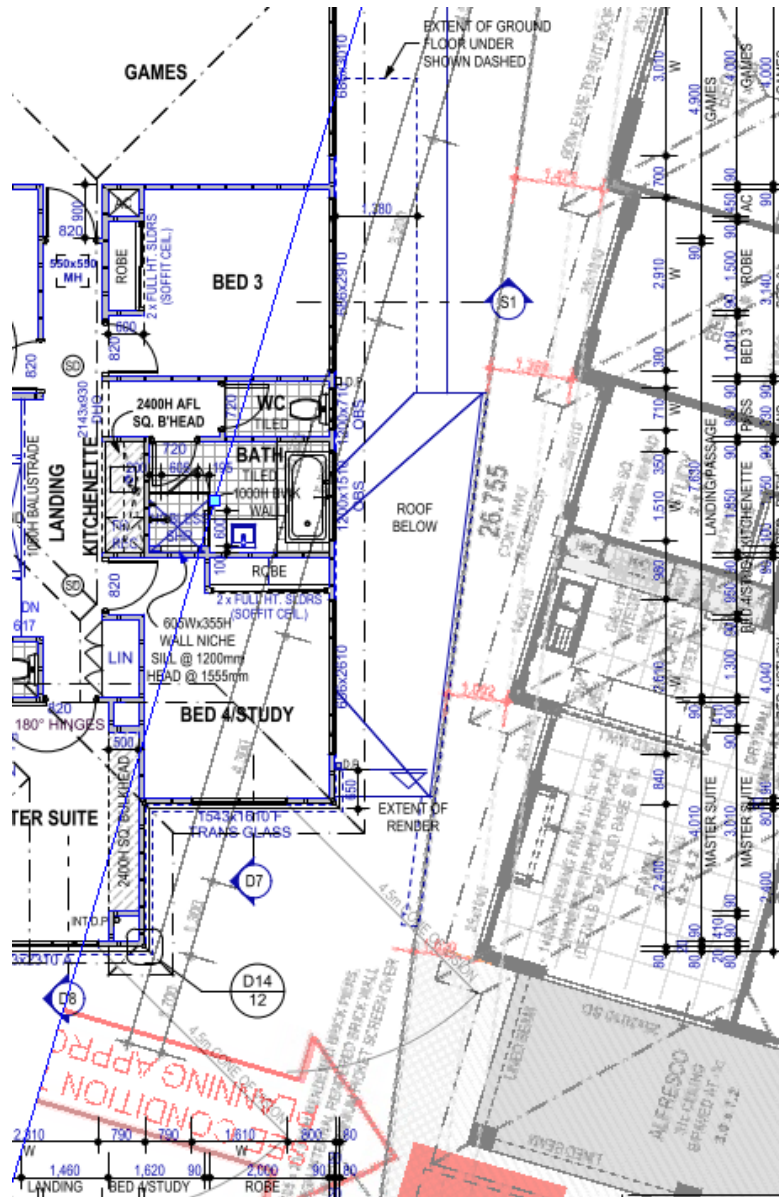


Figure 4: Bed 4/Study wall of subject site on the left in relation to adjoining lots approved single house on the right.

ALTERNATE OPTIONS AND THEIR IMPLICATIONS

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

**U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD,
ATTADALE (REC) (ATTACHMENT)****CONCLUSION**

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

OFFICER RECOMMENDATION**APPROVAL**

1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.
2. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.
3. Prior to the initial occupation of the development, all unused crossover(s) shall be removed and the kerbing and road verge reinstated at the owners cost to the satisfaction of the City.
4. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be.
 - a maximum width being in accordance with the City's Crossover Guidelines, Standards and Specifications;
 - located a minimum of 2m away from the outside of the trunk of any street tree; and
 - a minimum of 1m from any existing street infrastructure.

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

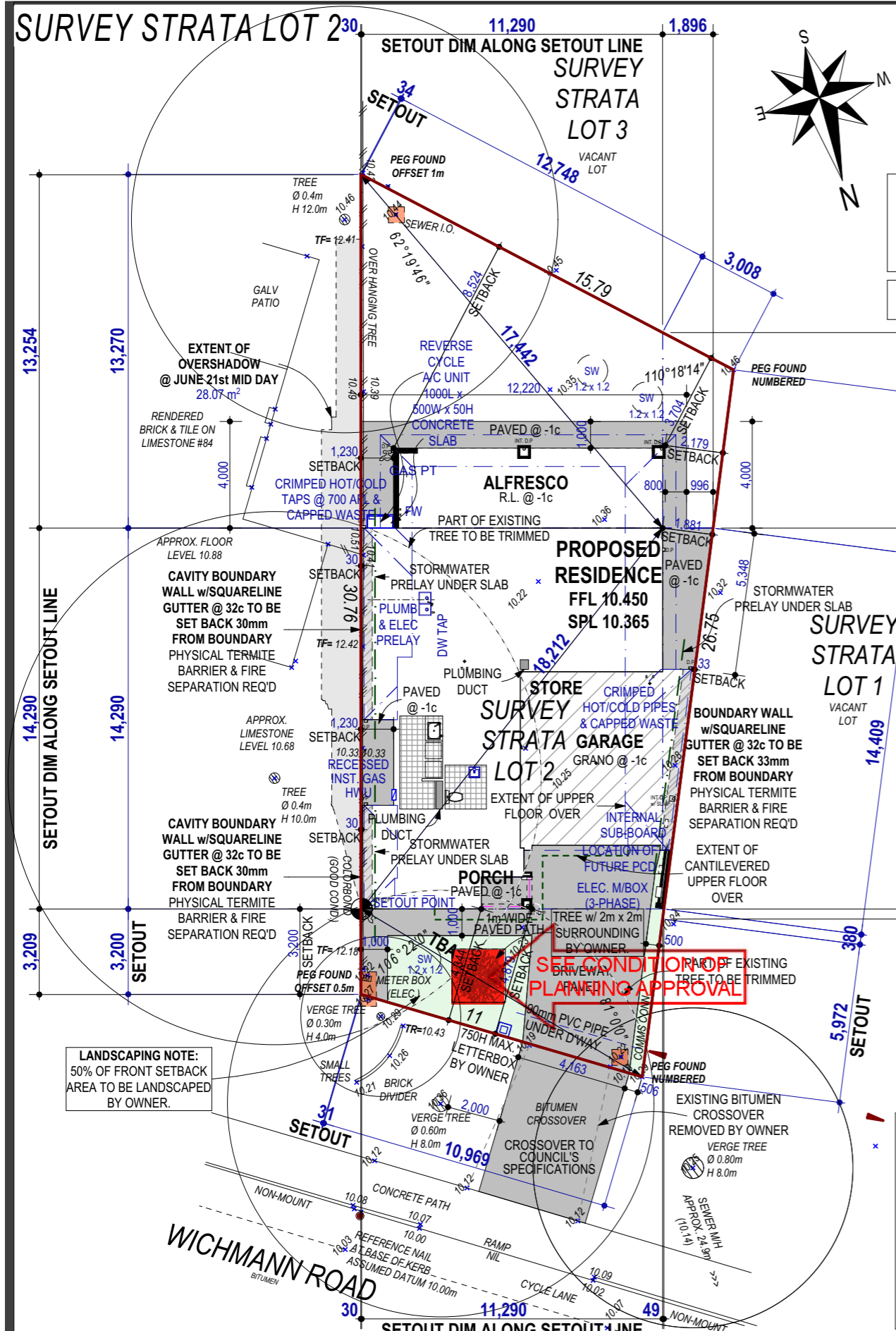
5. Where a driveway meets the street, walls or fencing within sight line areas are to meet the requirements contained under clause 5 of Local Planning Policy *LPP3.1 Residential Development*, to the satisfaction of the City.
6. Any street walls and fences (including the height of any retaining walls) constructed within the primary and secondary street setback areas shall meet the requirements contained under clause 3 of Local Planning Policy *LPP3.1 Residential Development* to the satisfaction of the City.
7. Prior to the initial occupation of the development, the boundary wall/s shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
8. Prior to the initial occupation of the development, the proposed tree/s (as marked in red on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.

U24/0624 - TWO STOREY SINGLE HOUSE AT LOT 2 (NO. 82) WICHMANN ROAD, ATTADALE (REC) (ATTACHMENT)

9. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
10. Unless otherwise approved in writing by the City, all trees located on the verge adjacent to the land on which the development is to take place shall be protected throughout the duration of the demolition and construction processes of the development via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to demolition of the site or commencement of development (whichever occurs first), in accordance with the following criteria:
- A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.
 - If an approved crossover, front fence, footpath, road or similar is located within the 2m radius of the TPZ, the TPZ fencing shall be located the minimum distance from the approved works that is required to complete the works.
 - Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.
 - The following actions shall not be undertaken within any TPZ:
 - Storage of materials, equipment, fuel, oil dumps or chemicals;
 - Servicing or refuelling of equipment or vehicles;
 - Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device);
 - Open-cut trenching or excavation works (whether or not for laying of services);
 - Changes to the natural ground level of the verge;
 - Location of any temporary buildings including portable toilets; or
 - The parking of vehicles or machinery.
11. The privacy screening/obscure glazing shown on the approved plans to the Bed 4 on the northern elevation shall have installed, fixed obscure glazing or screening to a minimum height of 1.6 metres above the finished floor level, or any other screening alternative approved by the City that complies with C1.1 or C1.2 of Clause 5.4.1 of State Planning Policy 7.3 Residential Design Codes Volume 1. The privacy screening/obscure glazing shall be installed prior to initial occupation of the development and thereafter retained in perpetuity to the ongoing satisfaction of the City.

**ATTACHMENTS
OF THE
DEVELOPMENT ADVISORY UNIT
MEETING
HELD ON
TUESDAY, 19 MARCH 2024
U24/0624**

Distributed: Friday, 22 March 2024



SITE COVERAGE

ZONED	R25
% ALLOWED	50%
SITE AREA	360.37m ²
SITE COV. AREA	149.14m ²

OPEN SPACE = 58.6%

OVERSHADOWING DIAGRAM:

SHADOW CAST ON JUNE 21ST AT 12 PM

NEIGHBOURING LOT 74 SIZE: 767m²
OVERSHADOWING: 28.07m² = 3.66%

Location of Services

LEGEND

☉	POWER DOME
⊙	POWER POLE
⊕	PHONE PITS
⊖	WATER CONN.
⊗	TOP PILLAR/POST
⊘	TOP WALL
⊙	TOP RETAINING
⊖	TOP FENCE

Soak Well Type No.
SW 1200x1200 3 4.1 m³

Total Capacity 4.1 m³
Roof Area GF 61.4 m²
Paved Area 70.3 m²
Roof Area UF 159.1 m²
Total Area 290.7 m²

Capacity Required (Area x 0.0125) 3.6 m³
Extra Capacity Provided 0.4 m³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CONCRETE NOTE:

25mm RECESS TO ALL WET AREA'S & 50mm SETDOWN TO SHR & BATH. MAINTAIN REQUIRED SLAB THICKNESS TO ENG'S REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION : A
FOOTING DETAIL : A85-CFTW
WIND CATEGORY : N2
CORROSION CLASS : R3

ELECTRICAL NOTE:

3 - PHASE POWER

PRELAY NOTE:

PLUMBING & ELECTRICAL PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

WARNING:

Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:

- *CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
- *MASONRY IN ACCORDANCE WITH AS3700
- *PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

101

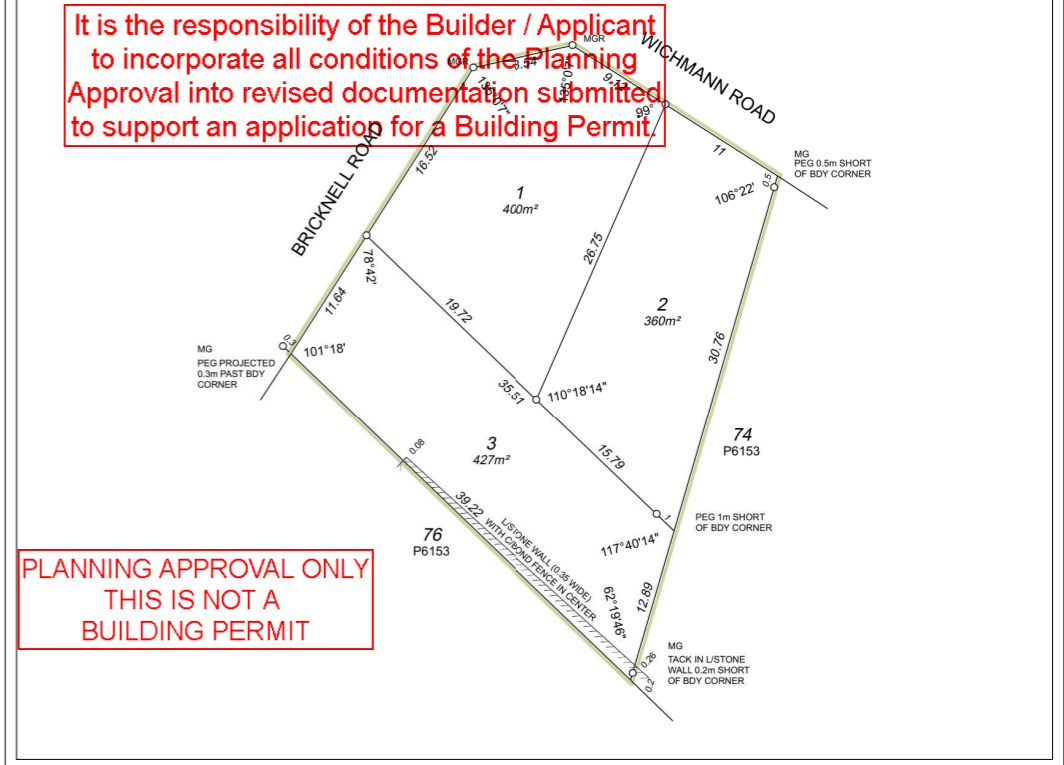
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

© Copyright 2011 Ref: 12,266

CONTOUR & FEATURE SURVEY

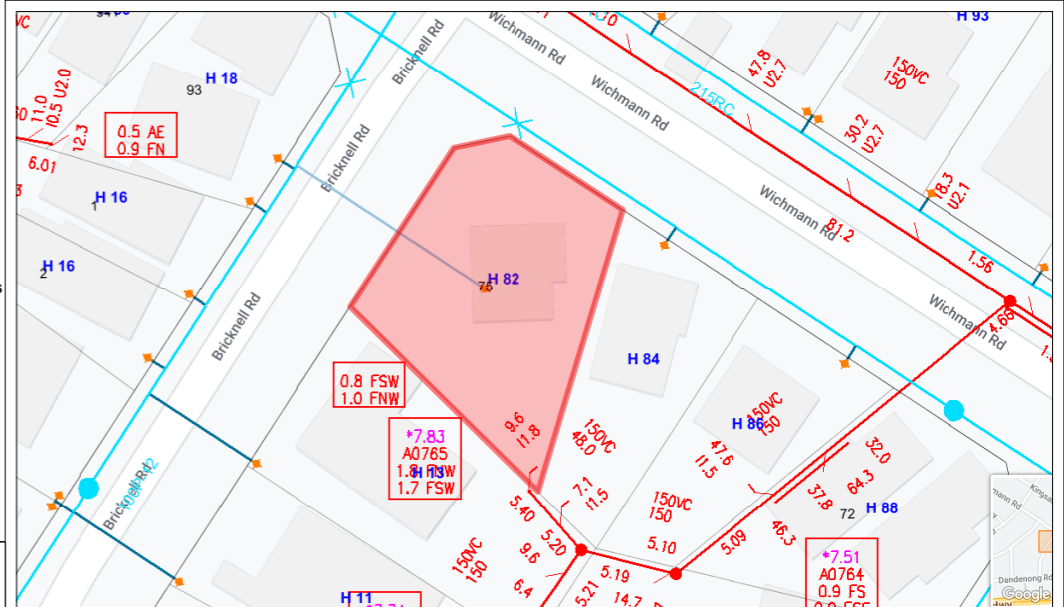
LOT	Survey Strata Lot 2 (SP 86257)
ADDRESS	#82 Wichmann Road, Attadale
LGA	CITY OF MELVILLE
CLIENT	TAYLOR
ORDER #	2309001R
GPS	Lat: -32.029666 Long: 115.807589
SSA No	AREA 360m ² VOL. 4031 FOL. 644

It is the responsibility of the Builder / Applicant to incorporate all conditions of the Planning Approval into revised documentation submitted to support an application for a Building Permit

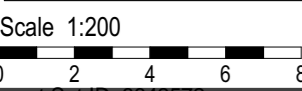


PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	450m To River (Approx. Only - Confirm With Shire)
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Non-Mount / Nil	VEG.	Light Grass Cover



LOT MISCLOSE
0.002m



101 INDIVIDUAL SITE PLAN

DATE:	1/03/2024	SHEET N°:	02 of 20
SCALE:	1:200, 1:100		
REVISION N°:	04	JOB N°:	2309001

VARIATIONS:

REV.	DESCRIPTION:	INT.	DATE:
'1'	CONTRACT DRAWINGS (QUOTE IHR143) IHR143: REV 4 (ITEMS 1-37) AC PLAN	ZL SR SA	26.10.2023 21.11.2023 24.11.2023
'2'	IHR143: REV 5 (ITEMS 1-10) VO1 (1 ITEM)	KB CC	07.12.2023 18.12.2023
'3'	ENERGY UPDATES	KB	15.01.2024
'4'	ENGINEERS	FC	24.01.2024

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

COTTAGE SURVEYS

87-89 Guthrie St Osborne Park WA 6017
PO Box 1611 Osborne Park BC WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB: 556400 DATE: 05 Oct 23 DRAWN: T. Gill

INTERNAL DOORS NOTE:
ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
GROUND FLOOR: Double Brick, Slab on Ground
UPPER FLOOR SLAB: Concrete on Metal Truss
UPPER FLOOR WALLS: Timber Wall, Nominated Cladding
ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
FOOTING DETAIL : A85-CFTW
WIND CATEGORY : N2
CORROSION CLASS : R3

TERMITE TREATMENT NOTE:
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700 *PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

RENDER NOTES:
EXTENT OF RENDER TO ENTIRE GROUND FLOOR EXCLUDED BOUNDARY WALLS & UPPER FLOOR FRONT ELEVATION HALF WALL.
ACRYLIC RENDER :
EXTENT AS SHOWN ON PLAN.

BRICKLAYER NOTE
RUN KITCHEN BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOOR FLASHING AS PER A.S

It is the responsibility of the Builder / Applicant to incorporate all conditions of the Planning Approval into revised documentation submitted to support an application for a Building Permit.

ROOF CARPENTER NOTE
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE
DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.
COLD WATER TAP FOR DISHWASHER RECESS.

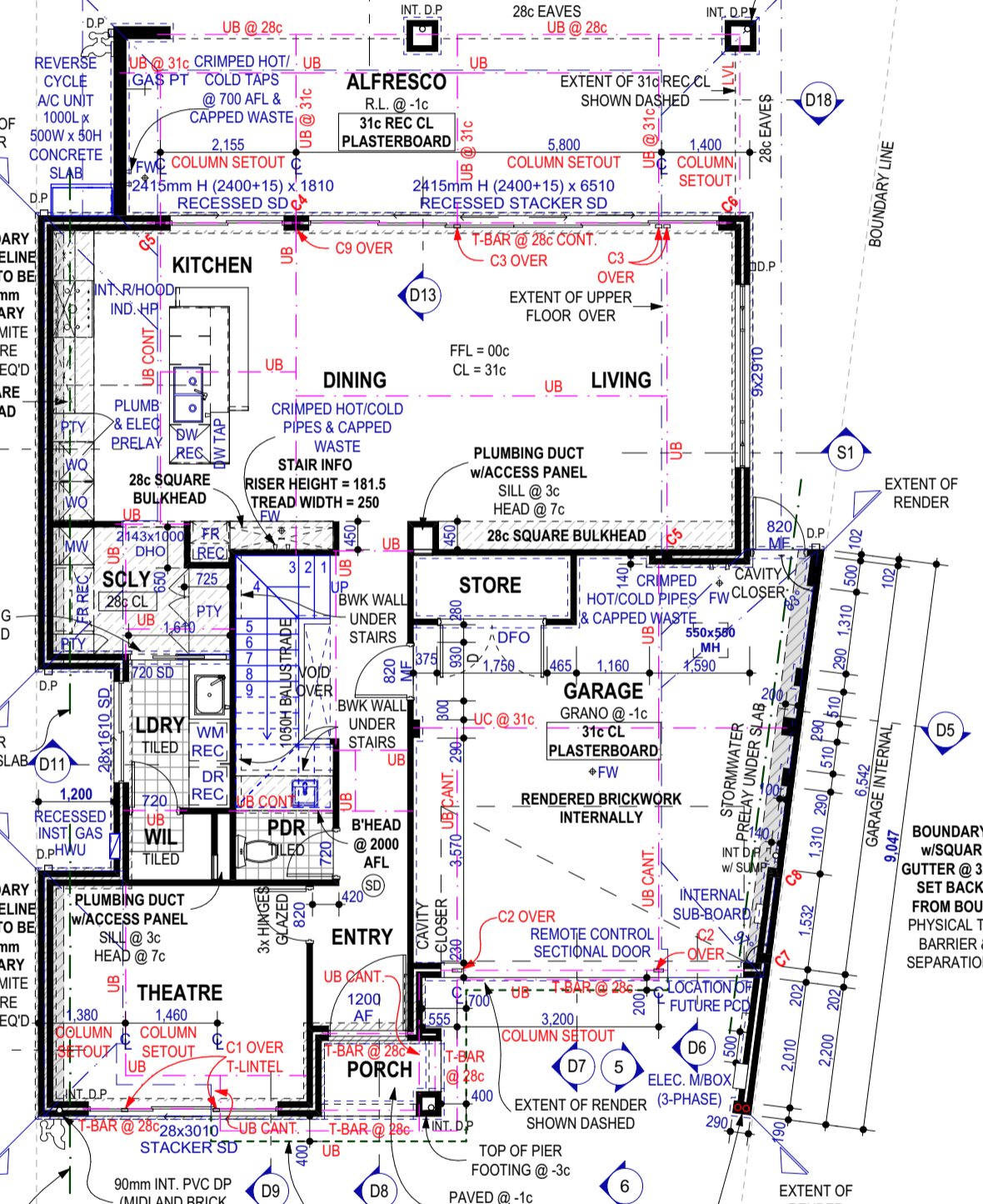
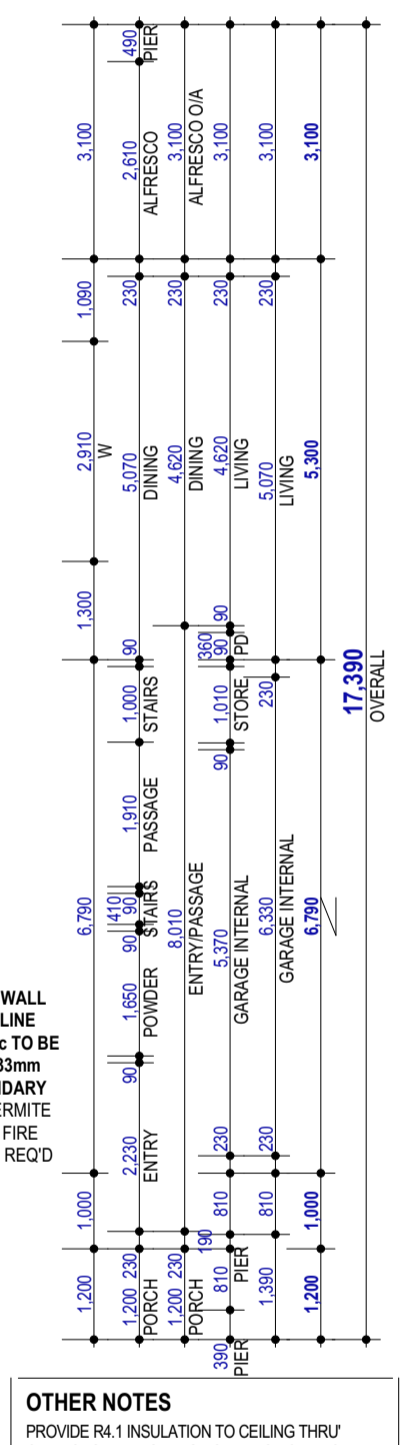
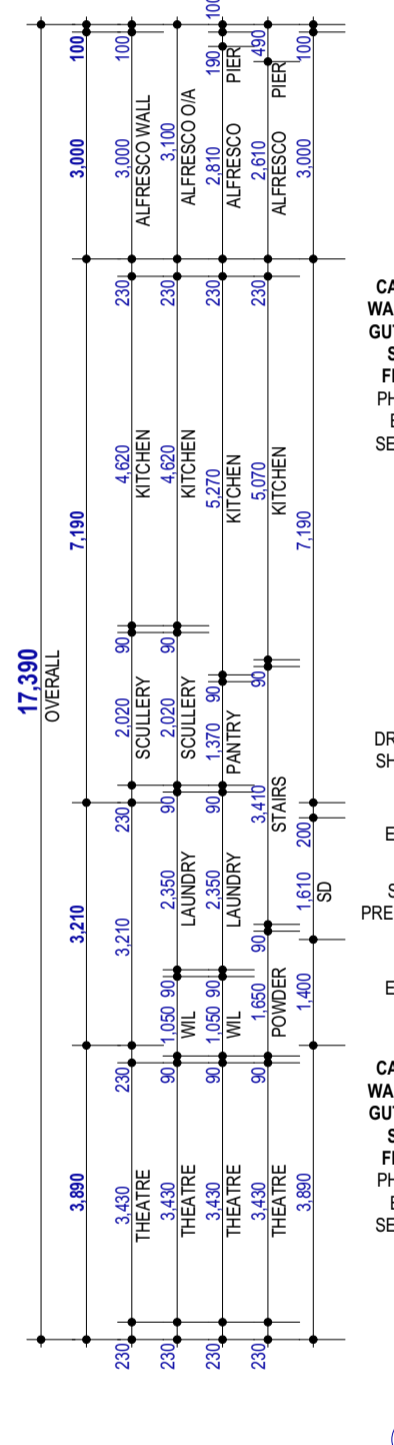
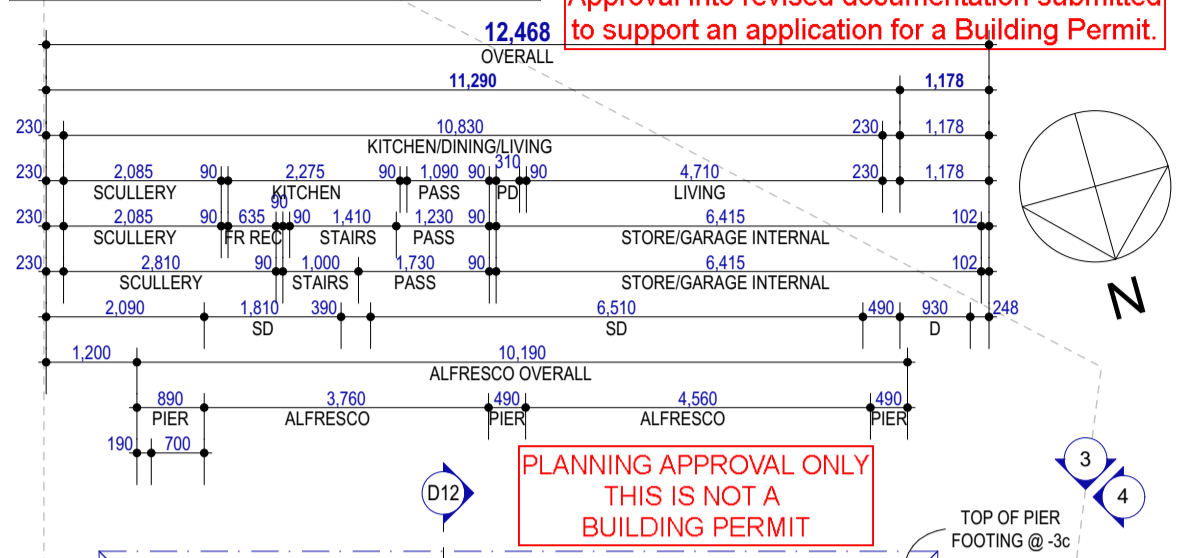
FIXING CARPENTER NOTE
ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W
ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

CL @ 30c THRU'OUT - UF
CL @ 31c THRU'OUT - GF
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)
EXTENT OF RENDER AS MARKED. REFER TO ELEVATIONS.

FLOOR COVERINGS: REFER TO ADDENDA



BRICKLAYER NOTE:
REFLECTIVE FOIL CAVITY INSULATION TO ALL GROUND FLOOR EXTERNAL WALLS (EXCLUDING BOUNDARY WALLS) SHOWN HATCHED.

ENERGY COMPLIANCE:
R4.1 BULK INSULATION TO GARAGE INT. SUSPENDED FLOOR.
R4.1 BULK INSULATION BENEATH STUDY SUSPENDED FLOOR.

AREAS		
Name	Area	Perimeter
HOUSE - UPPER	133.607	51.540
HOUSE - GROUND	108.344	53.840
GARAGE/STORE	40.795	25.794
ALFRESCO	30.270	26.180
PORCH	2.307	6.380
TOTAL	315.323 m²	

OTHER NOTES
PROVIDE R4.1 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED "CONSTRUCTION ISSUE" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION
UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:
EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :
OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:

REV:	DESCRIPTION:	INT:	DATE:
'1'	CONTRACT DRAWINGS (QUOTE IHR143)	ZL	26.10.2023
	IHR143: REV 4 (ITEMS 1-37)	SR	21.11.2023
	AC PLAN	SA	24.11.2023
	IHR143: REV 5 (ITEMS 1-10)	KB	07.12.2023
	VO1 (1 ITEM)	CC	18.12.2023
'2'	ENERGY UPDATES	KB	15.01.2024
'3'	ENGINEERS	FC	24.01.2024

CLIENT: **TAYLOR**
SITE ADDRESS: **SSL 2 (#82) WICHMANN ROAD ATTADALE WA 6156**
SALES: IHR DRAWN: ZL CHECKED: KB

101 INDIVIDUAL GROUND FLOOR PLAN
DATE: 1/03/2024 SHEET N°: 05 of 20
SCALE: 1:1,100
REVISION N°: 04 JOB N°: 2309001

INTERNAL DOORS NOTE:
ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
GROUND FLOOR: Double Brick, Slab on Ground
UPPER FLOOR SLAB: Concrete on Metal Truss
UPPER FLOOR WALLS: Timber Wall, Nominated Cladding
ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
FOOTING DETAIL : A85-CFTW
WIND CATEGORY : N2
CORROSION CLASS : R3

CLADDING NOTE:
-SYCON LINEA CLADDING TO ENTIRE UPPER FLOOR.
-WINDOW MOULDING - 89x38mm SYCON AXENT TRIM
-CORNER EDGING TO UPPER FLOOR.
TO SUIT MANUFACTURERS DETAILS.

PLANNING APPROVAL ONLY
THIS IS NOT A BUILDING PERMIT

RENDER NOTES:
EXTENT OF RENDER TO ENTIRE GROUND FLOOR EXCLUDED BOUNDARY WALLS & UPPER FLOOR FRONT ELEVATION HALF WALL.
ACRYLIC RENDER : - - - - -
EXTENT AS SHOWN ON PLAN.

ROOF CARPENTER NOTE
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. U.N.O
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ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE
DOWNSPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.
COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE
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ALL LINENS, BUILT-IN PTRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL
FLOOR COVERINGS: REFER TO ADDENDA

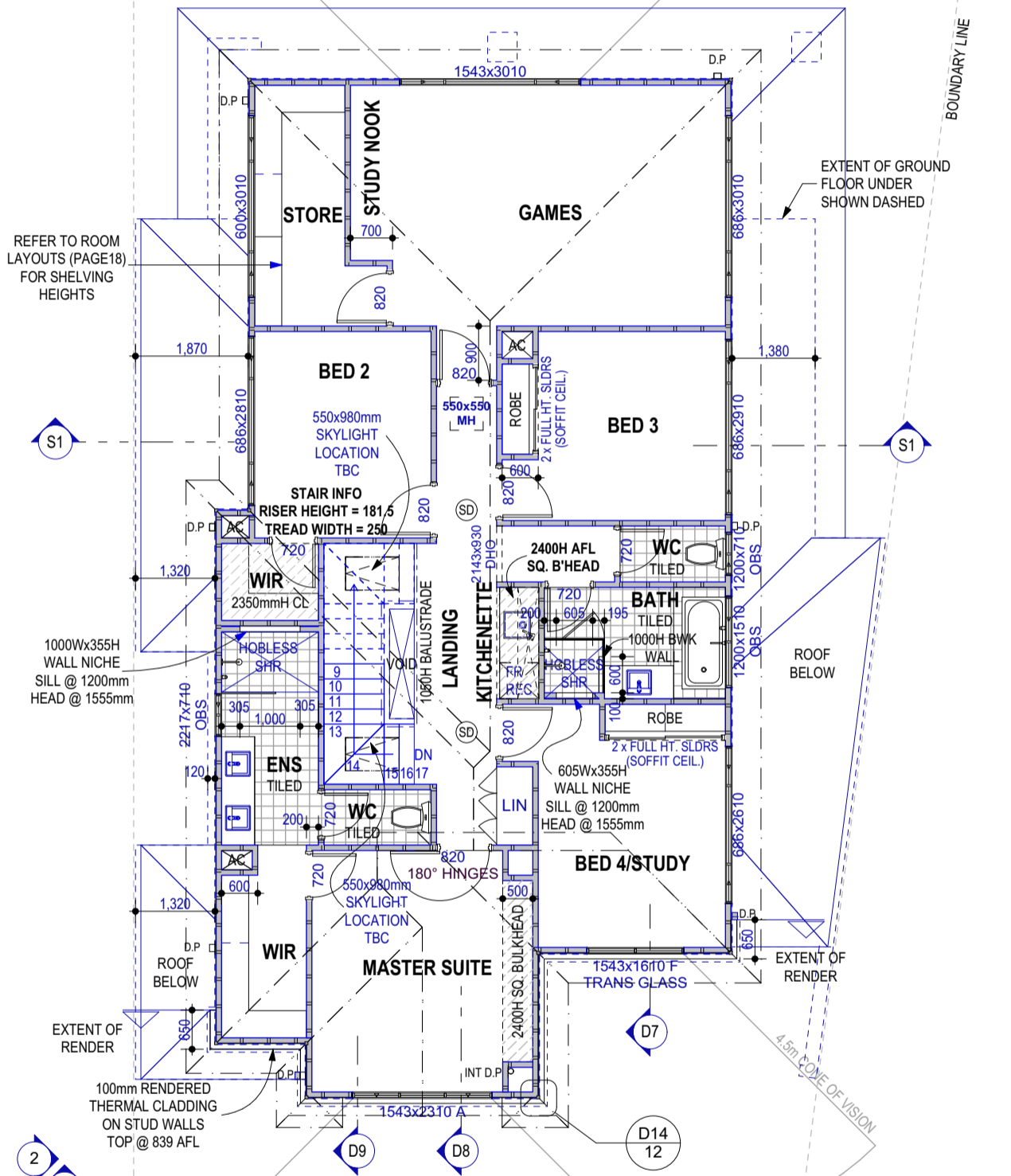
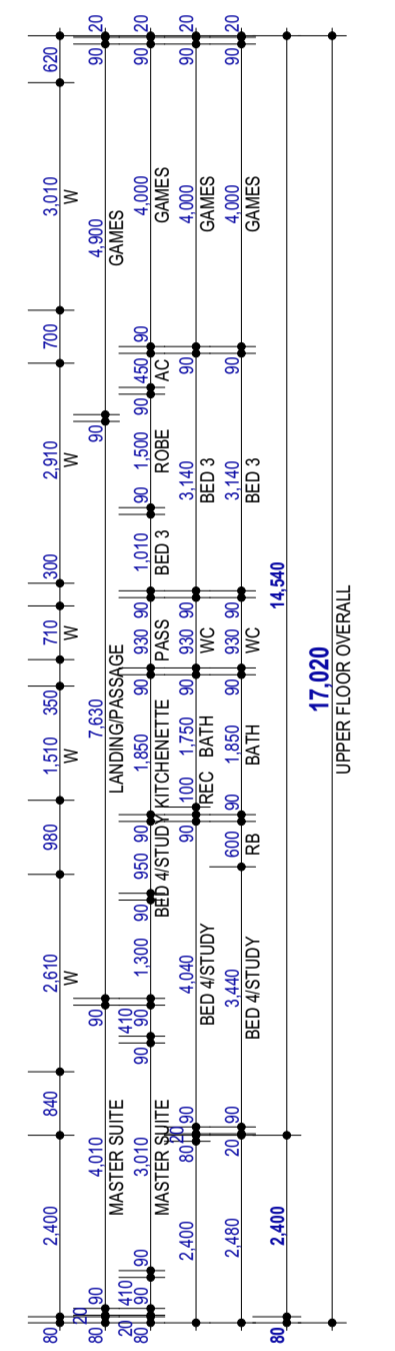
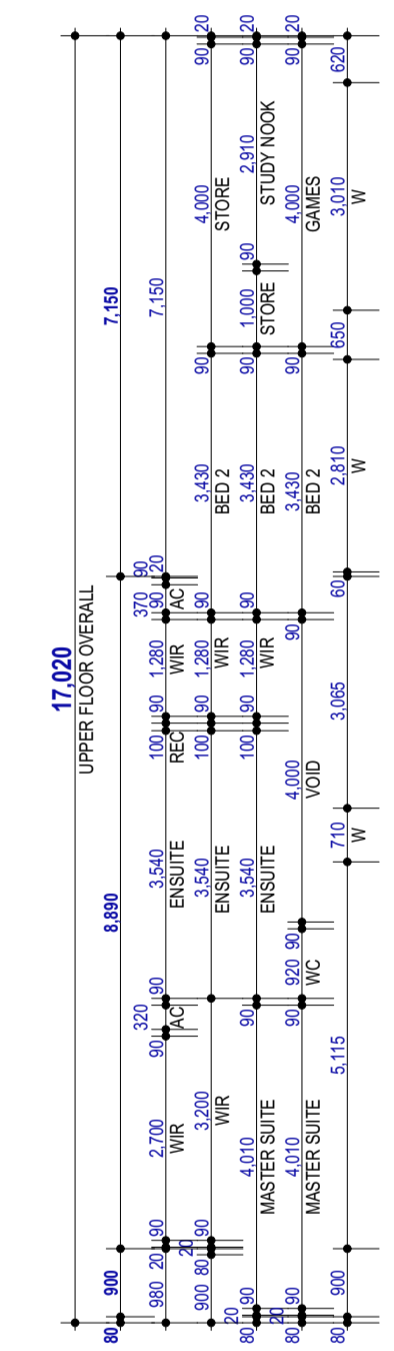
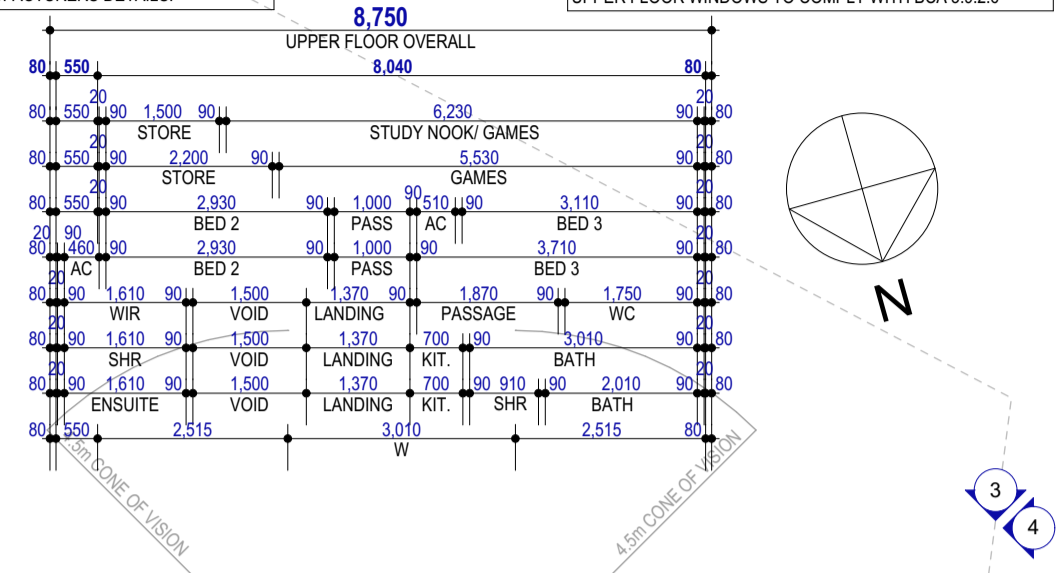
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ALL UNLESS OTHERWISE NOTED

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EXTENT OF RENDER AS MARKED. REFER TO ELEVATIONS.

BRICKLAYER NOTE
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TOP OF PIER FTG @ -03c U.N.O
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

UPPER FLOOR GLAZING
UPPER FLOOR WINDOWS TO COMPLY WITH BCA 3.9.2.6



AREAS		
Name	Area	Perimeter
HOUSE - UPPER	133.607	51.540
HOUSE - GROUND	108.344	53.840
GARAGE/STORE	40.795	25.794
ALFRESCO	30.270	26.180
PORCH	2.307	6.380
TOTAL	315.323 m²	

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OTHER NOTES
PROVIDE R4.1 INSULATION TO CEILING THRU OUT HOUSE AND GARAGE ONLY TO BCA REQ.
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9 SANGIORGIO COURT
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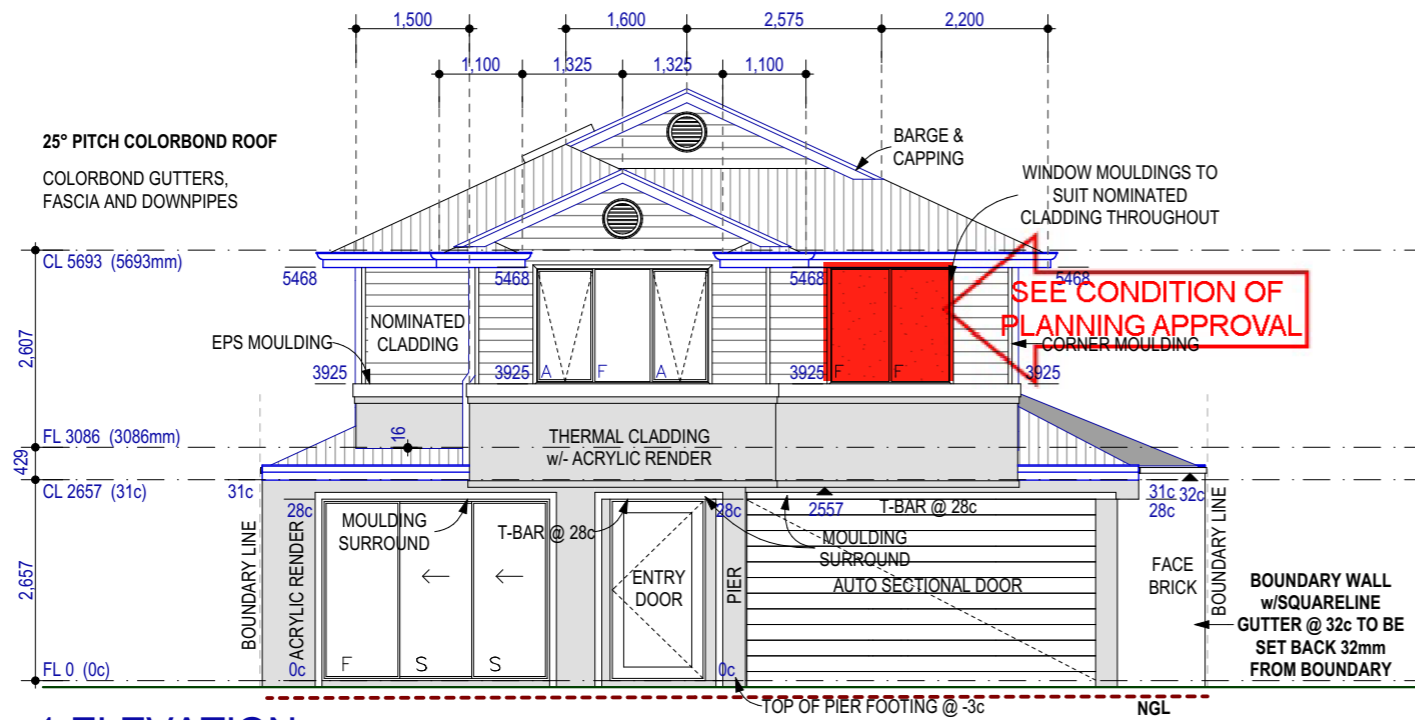
VARIATIONS:

REV:	DESCRIPTION:	INT:	DATE:
'1'	CONTRACT DRAWINGS (QUOTE IHR143)	ZL	26.10.2023
	IHR143: REV 4 (ITEMS 1-37)	SR	21.11.2023
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'3'	ENERGY UPDATES	KB	15.01.2024
'4'	ENGINEERS	FC	24.01.2024
'5'			
'6'			

CLIENT: **TAYLOR**
SITE ADDRESS: **SSL 2 (#82) WICHMANN ROAD ATTADALE WA 6156**
SALES: IHR DRAWN: ZL CHECKED: KB

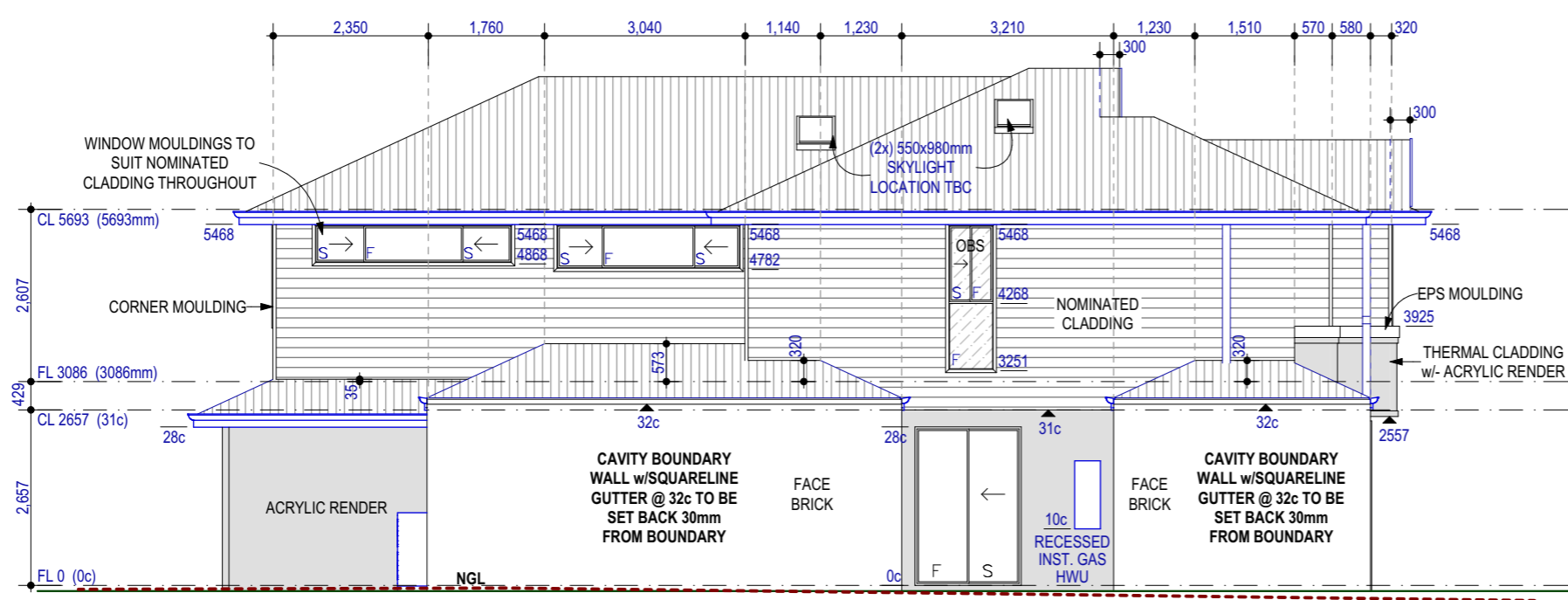
101 INDIVIDUAL UPPER FLOOR PLAN
DATE: 1/03/2024 SHEET N°: 06 of 20
SCALE: 1:1,100
REVISION N°: 04 JOB N°: 2309001

PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT



CLADDING NOTE:
-SYCON LINEA CLADDING TO ENTIRE UPPER FLOOR.
-WINDOW MOULDING - 89x38mm SYCON AXENT TRIM
-CORNER EDGING TO UPPER FLOOR.
TO SUIT MANUFACTURERS DETAILS.

1 ELEVATION
1:100



2 ELEVATION
1:100

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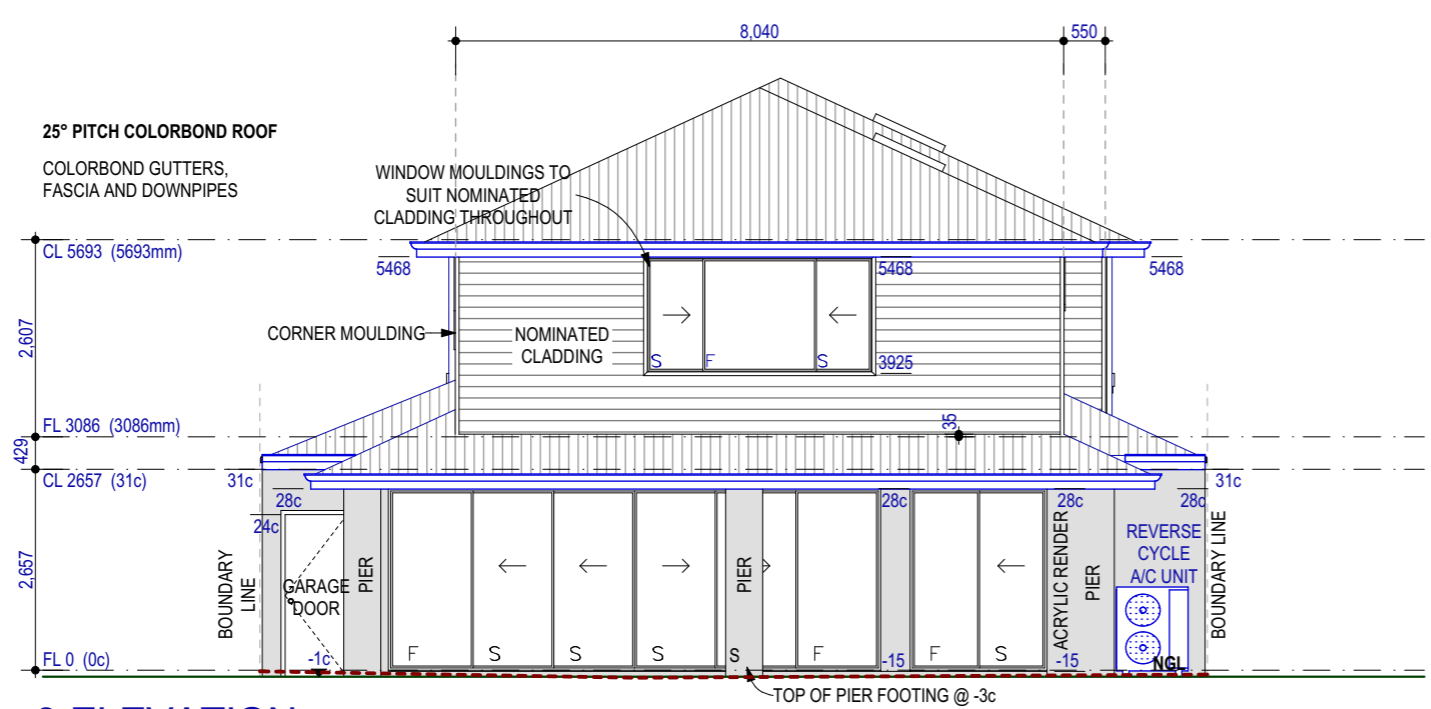
101
© Copyright 2011
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

REV.	DESCRIPTION:	INT:	DATE:
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CLIENT: **TAYLOR**
SITE ADDRESS: **SSL 2 (#82) WICHMANN ROAD ATTADALE WA 6156**
SALES: IHR DRAWN: ZL CHECKED: KB

101 INDIVIDUAL ELEVATIONS 01
DATE: 1/03/2024 SHEET N°: 07 of 20
SCALE: 1:100
REVISION N°: 04 JOB N°: 2309001

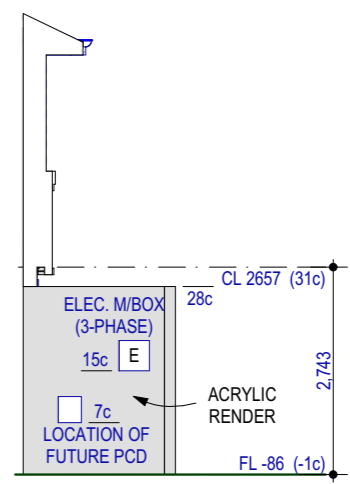
PLANNING APPROVAL ONLY
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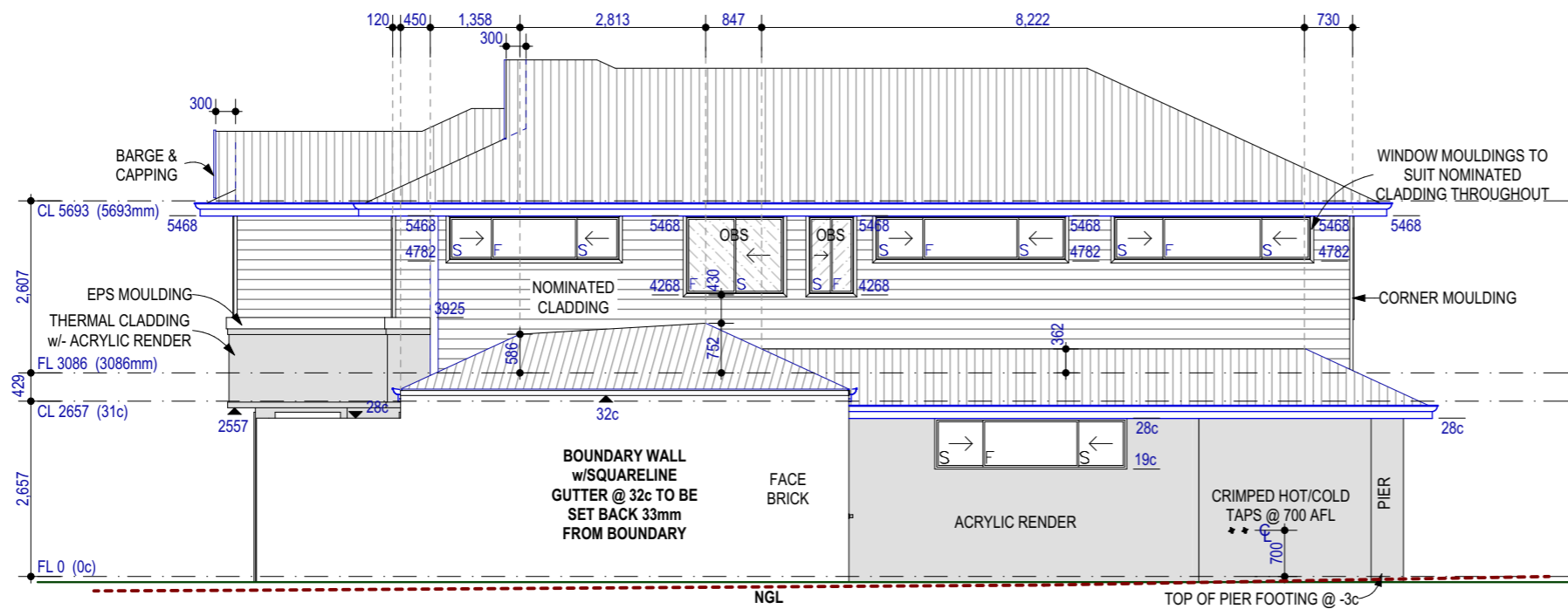
3 ELEVATION
1:100

CLADDING NOTE:
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-CORNER EDGING TO UPPER FLOOR.
TO SUIT MANUFACTURERS DETAILS.

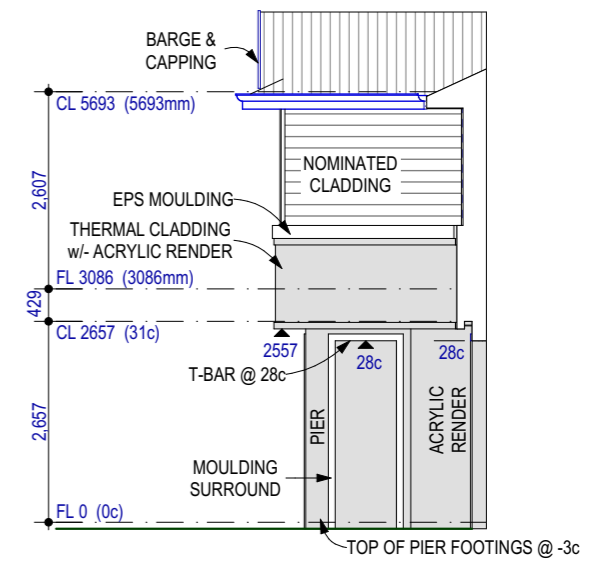
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5 ELEVATION
1:100



4 ELEVATION
1:100



6 ELEVATION
1:100

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OWNERDATE.....
BUILDERDATE.....

101
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BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
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REV.	DESCRIPTION:	INT.	DATE:
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CLIENT: **TAYLOR**
SITE ADDRESS: **SSL 2 (#82) WICHMANN ROAD ATTADALE WA 6156**
SALES: IHR DRAWN: ZL CHECKED: KB

101 INDIVIDUAL ELEVATIONS 02
DATE: 1/03/2024 SHEET N°: 08 of 20
SCALE: 1:100
REVISION N°: 04 JOB N°: 2309001