

PROPOSED SITE PLAN

SCALE @ 1:200 (A3)

LANDSCAPING LEGEND

- LANDSCAPED GARDEN BED
PLANT SPECIFICATIONS AS PER BUILDERS DETAILS
- EXPOSED AGGREGATE CONCRETE HARDSTAND
REFER SPECIFICATION FOR DETAILS. MINIMUM THICKNESS 100mm TBC BY CONTRACTOR
- NATURAL GRASS / LAWN
DETAILS TBC
- EX. TIMBER DECKING
DETAILS TBC
- ARTIFICIAL GRASS
DETAILS TBC
- STONE
DETAILS TBC

DISCLAIMER:
LOT BOUNDARY DIMENSIONS SHOWN ON THIS SURVEY HAVE BEEN OBTAINED FROM PLANS ORDERED FROM LANDGATE. THESE PLANS ARE ASSUMED TO BE THE CORRECT AND CURRENT DEFINITION OF THE PARCEL OF LAND.

DISCLAIMER:
CURRENT CERTIFICATE OF TITLE SHOULD BE CHECKED TO VERIFY ALL LOT DETAILS AND ANY EASEMENTS OR OTHER INTERESTS WHICH MAY AFFECT THE SUBJECT LOT.

DISCLAIMER:
IN THE CASE OF STRATALOT BOUNDARIES, PLEASE CHECK STRATAPLAN FOR DESCRIPTION OF STRATALOT BOUNDARIES AND STRATUM DEFINITIONS.

DISCLAIMER:
DUE TO RESTRICTIONS IN OBTAINING LEVELS AND FEATURES OF ADJOINING PROPERTIES, ALL INFORMATION PROVIDED BEYOND THE BOUNDARIES OF THE SUBJECT LOT ARE DEEMED TO BE APPROXIMATE ONLY.

DISCLAIMER:
VISION SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY PHYSICAL CHANGES TO THE SUBJECT PARCEL OF LAND ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING LOT LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE SHOWN ON THIS SURVEY.

DISCLAIMER:
THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

DISCLAIMER:
THIS SURVEY DOES NOT VERIFY THE POSITION OF CADASTRAL BOUNDARIES. ALL FEATURES ARE BASED ON THE ORIENTATION OF EXISTING PEGS, FENCES, AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT. A CADASTRAL ALIGNMENT SURVEY SHOULD BE UNDERTAKEN TO VERIFY TRUE BOUNDARY POSITIONS BEFORE ADOPTING ANY SITE FEATURES FOR DESIGN PURPOSES.

DISCLAIMER:
AHD HEIGHT IS APPROXIMATE AND HAS BEEN DERIVED FROM EITHER NETWORK GPS OR A NEARBY WATERCORP ASSET. REFER TO THE TBM REFERENCE FOR THE AHD DERIVATION OF THIS SURVEY.

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SYMBOL LEGEND:

REV	DATE	AMENDMENT	APPROVED

FEATURE & CONTOUR SURVEY

NOTE: THIS PLAN IS THE PROPERTY OF BOTH VISION SURVEYS CONSULTING AND ITS CLIENT. THIS PLAN SHOULD NOT BE REPRODUCED WITHOUT THE PERMISSION OF BOTH PARTIES.

ALL DISCLAIMERS SHOWN ON THIS PLAN ARE TO BE READ IN CONJUNCTION WITH VISION SURVEYS CONSULTING TERMS AND CONDITIONS.

ADDRESS: 14 COOGEE RD, MOUNT PLEASANT

LOCAL GOVERNMENT: CITY OF MELVILLE

581m² R20 SP70356 2873-737

LOT AREA: R CODE: PLAN: TITLE:

VS010849

JOB NUMBER

DRAFTED BY: CM

CHECKED BY: DS

DRAFTING DATE: 09.10.2025

SURVEY DATE: 23.09.2025

DWG REF: Coogee 14 - FEATURE v1.0

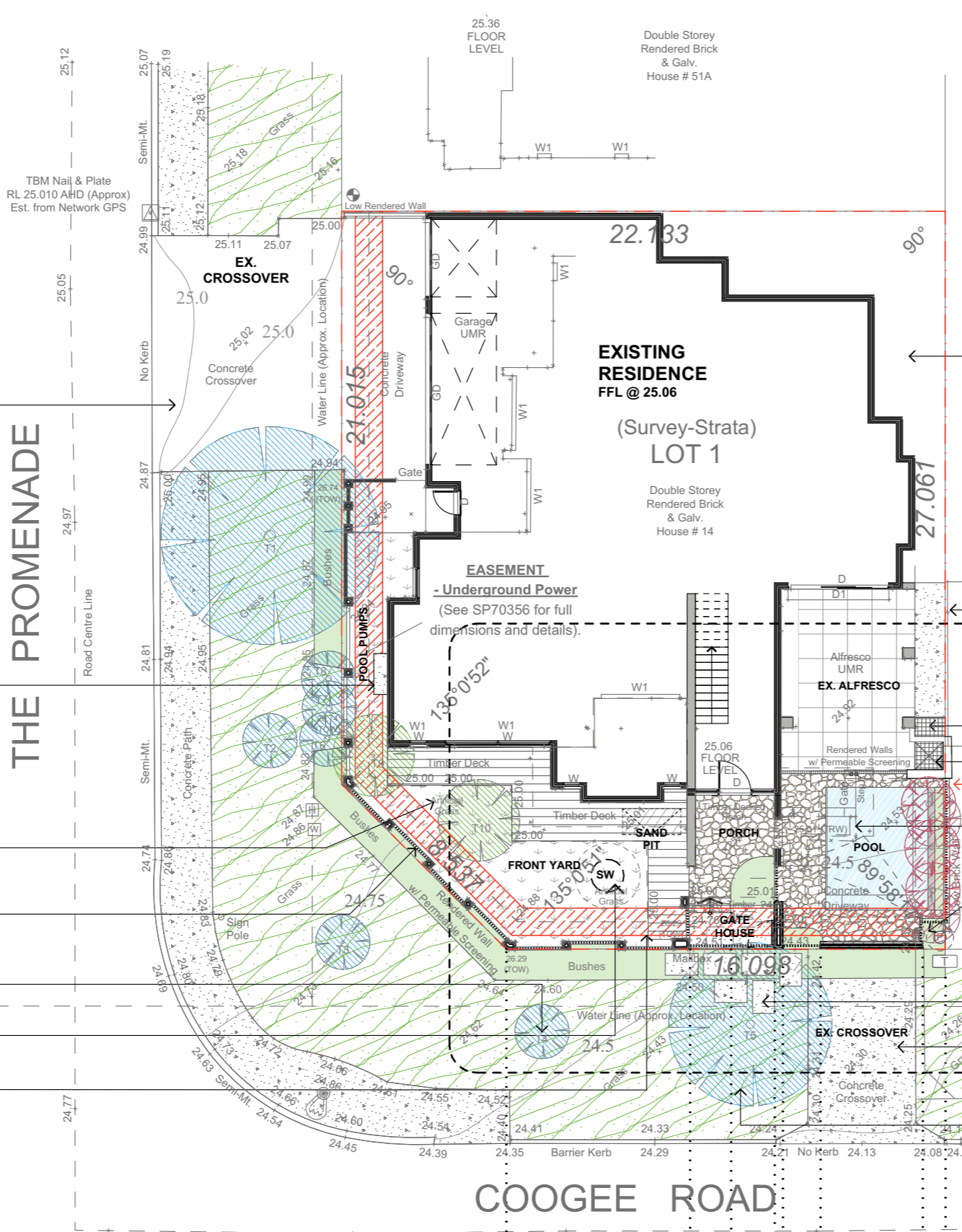
1 OF 1 SHEETS 1

SHEET VERSION

UTILITY SERVICES: Service Available Service Not Available Availability to be confirmed

WATER SEWER GAS TELSTRA/NBN POWER - U/G O/H

59 Scarborough Beach Rd, SCARBOROUGH WA 6019 Tel: (08) 6144 0000 Fax: (08) 6144 0099 info@visionsc.com.au www.visionsc.com.au



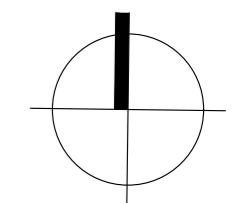
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STRUCTURAL NOTE:
DESIGN IS SUBJECT TO STRUCTURAL ENGINEERS REVIEW. OVERALL DESIGN MAY CHANGE DEPENDENT AT BL STAGE - DETAILS TBC

BUILDER SPECIFICATION:
BUILDERS SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN ALL INSTANCES. REFER DOCUMENTS FOR DETAILS

STAGING NOTE:
REFER BUILDERS SCOPE OF WORKS AND ASSOCIATED WORKS AS PER THE BUILD CONTRACT. DOCUMENTATION REFLECTS THE ENTIRE PACKAGE OF WORKS AND NOT THE BUILDER AND CLIENTS AGREED EXTENT OF WORKS DURING TENDER.

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TREE LEGEND:

- TREE RETAINED**
TREE TO BE RETAINED AND PROTECTED AS REQUIRED DURING BUILDING WORKS. TRIM AS REQUIRED IN CONSULTATION WITH ARBORIST
- TREE REMOVED / RELOCATED**
TREE TO BE REMOVED COMPLETELY TO SUIT PROPOSED WORKS
- NEIGHBOURING / VERGE TREE**
TREE OUTSIDE OF APPLICANT BOUNDARY. TO BE PROTECTED DURING WORKS IF REQUIRED. ALL DETAILS AND PROTECTIONS TBC ON SITE

Tree ID	Trunk	Canopy	Height
T1	0.40	8.0	6.0
T2	0.10	2.0	2.0
T3	0.10	2.0	3.0
T4	0.10	2.0	3.0
T5	0.30	6.0	6.0
T6	0.20	2.0	5.0
T7	0.20	2.0	5.0
T8	0.20	2.0	5.0
T9	0.10	3.0	3.0
T10	0.10	2.0	3.0
T11	0.20	2.0	4.0
T12	0.20	2.0	4.0
T13	0.20	2.0	4.0
T14	0.20	2.0	4.0
T15	0.20	2.0	4.0

B PLANNING 24/03/2026
A DETAILED DESIGN REVIEW 17/02/2026

14 COOGEE ROAD, MOUNT PLEASANT, WA

DARKLIGHTDESIGN

PROPOSED SITE PLAN

designed **AB** drawn **AB/WDJ/RH**

scale **AS SHOWN ON DRAWINGS** project # **X483-25**

status **PLANNING** checked **AB**

DA01.02

PLOT DATE **Tuesday, 24 March 2026**

THESE DOCUMENTS ARE THE SOLE PROPERTY OF DARKLIGHT DESIGN AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

GROUND FLOOR PLAN

SCALE @ 1:50 (A3)

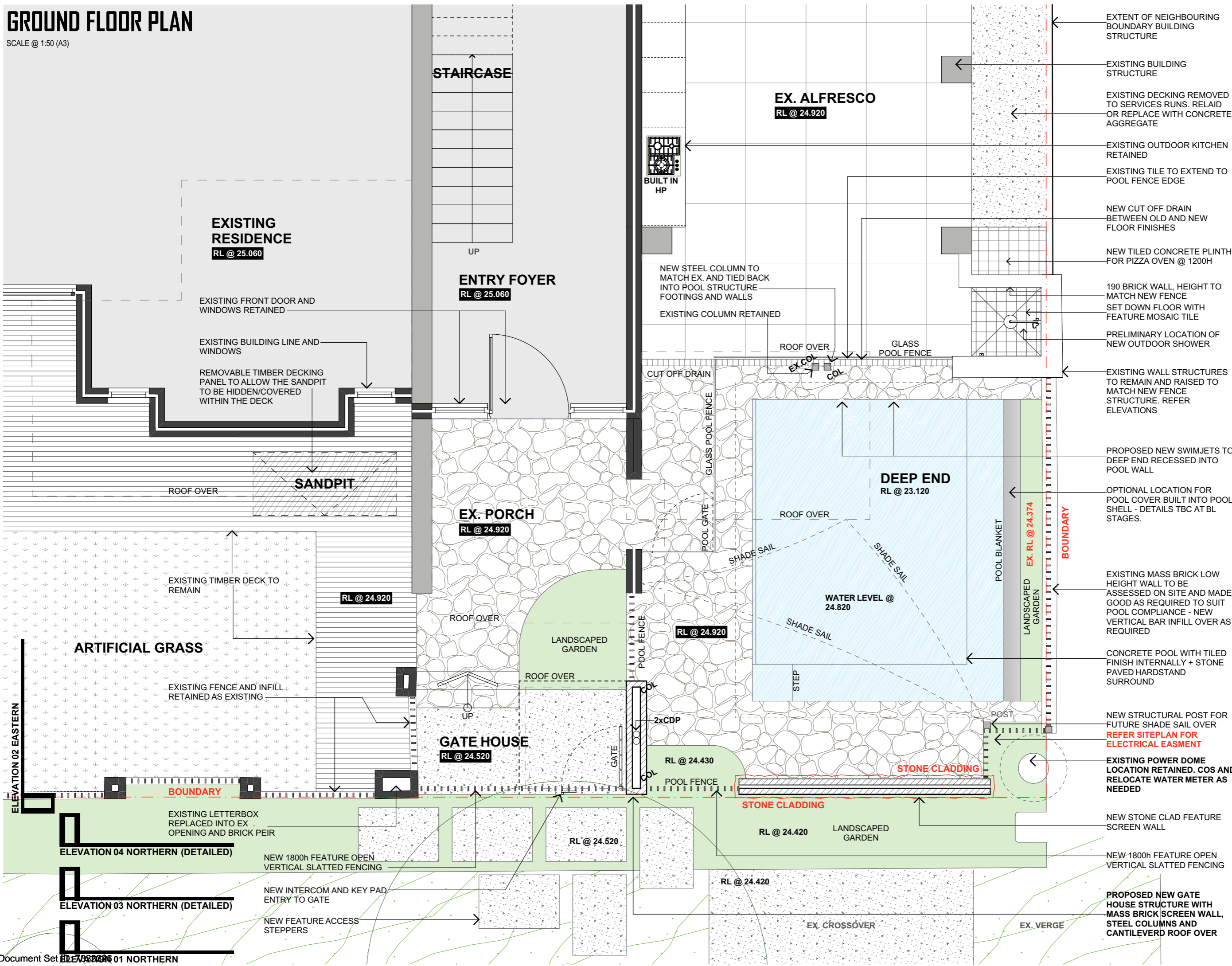
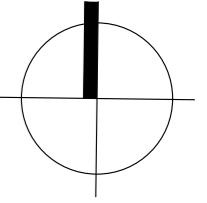


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- EXTENT OF NEIGHBOURING BOUNDARY BUILDING STRUCTURE
- EXISTING BUILDING STRUCTURE
- EXISTING DECKING REMOVED TO SERVICES RUNS. RELAID OR REPLACE WITH CONCRETE AGGREGATE
- EXISTING OUTDOOR KITCHEN RETAINED
- EXISTING TILE TO EXTEND TO POOL FENCE EDGE
- NEW CUT OFF DRAIN BETWEEN OLD AND NEW FLOOR FINISHES
- NEW TILED CONCRETE PLINTH FOR PIZZA OVEN @ 1200H
- 190 BRICK WALL, HEIGHT TO MATCH NEW FENCE SET DOWN FLOOR WITH FEATURE MOSAIC TILE
- PRELIMINARY LOCATION OF NEW OUTDOOR SHOWER
- EXISTING WALL STRUCTURES TO REMAIN AND RAISED TO MATCH NEW FENCE STRUCTURE. REFER ELEVATIONS
- PROPOSED NEW SWIMJETS TO DEEP END RECESSED INTO POOL WALL
- OPTIONAL LOCATION FOR POOL COVER BUILT INTO POOL SHELL - DETAILS TBC AT BL STAGES.
- EXISTING MASS BRICK LOW HEIGHT WALL TO BE ASSESSED ON SITE AND MADE GOOD AS REQUIRED TO SUIT POOL COMPLIANCE - NEW VERTICAL BAR INFILL OVER AS REQUIRED
- CONCRETE POOL WITH TILED FINISH INTERNALLY + STONE PAVED HARDSTAND SURROUND
- NEW STRUCTURAL POST FOR FUTURE SHADE SAIL OVER REFER SITEPLAN FOR ELECTRICAL EASMENT
- EXISTING POWER DOME LOCATION RETAINED. COS AND RELOCATE WATER METER AS NEEDED
- NEW STONE CLAD FEATURE SCREEN WALL
- NEW 1800h FEATURE OPEN VERTICAL SLATTED FENCING
- PROPOSED NEW GATE HOUSE STRUCTURE WITH MASS BRICK SCREEN WALL, STEEL COLUMNS AND CANTILEVERD ROOF OVER

ELEVATION 02 EASTERN

ELEVATION 04 NORTHERN (DETAILED)

ELEVATION 03 NORTHERN (DETAILED)

Document Set ID: 1002026 01 NORTHERN
Version: 2, Version Date: 08/03/2026

B PLANNING 24/03/2026
A DETAILED DESIGN REVIEW 17/02/2026
Issue revision/reason for issue date

14 COOGEE ROAD, MOUNT PLEASANT, WA
DARKLIGHTDESIGN
GROUND FLOOR PLAN

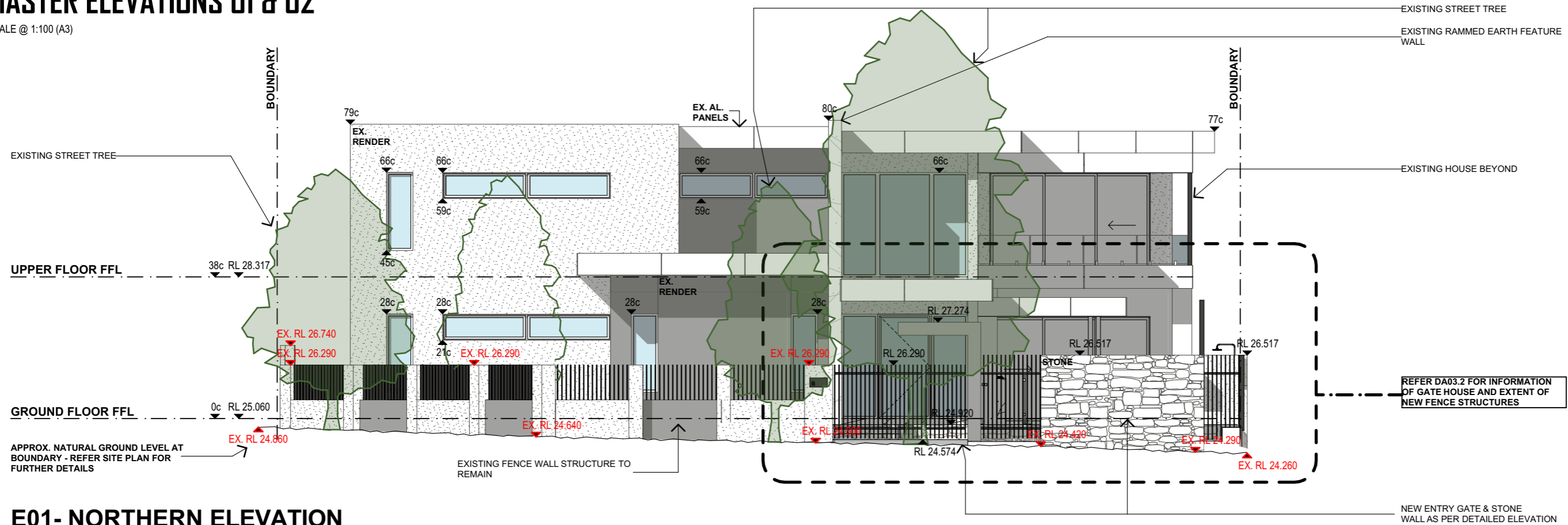
designed	AB	drawn	AB/WDJ/RH
scale	AS SHOWN ON DRAWINGS	project #	X483-25
status	PLANNING	checked	AB

DA02.02 **B** REVISION

PLOT DATE: Tuesday, 24 March 2026
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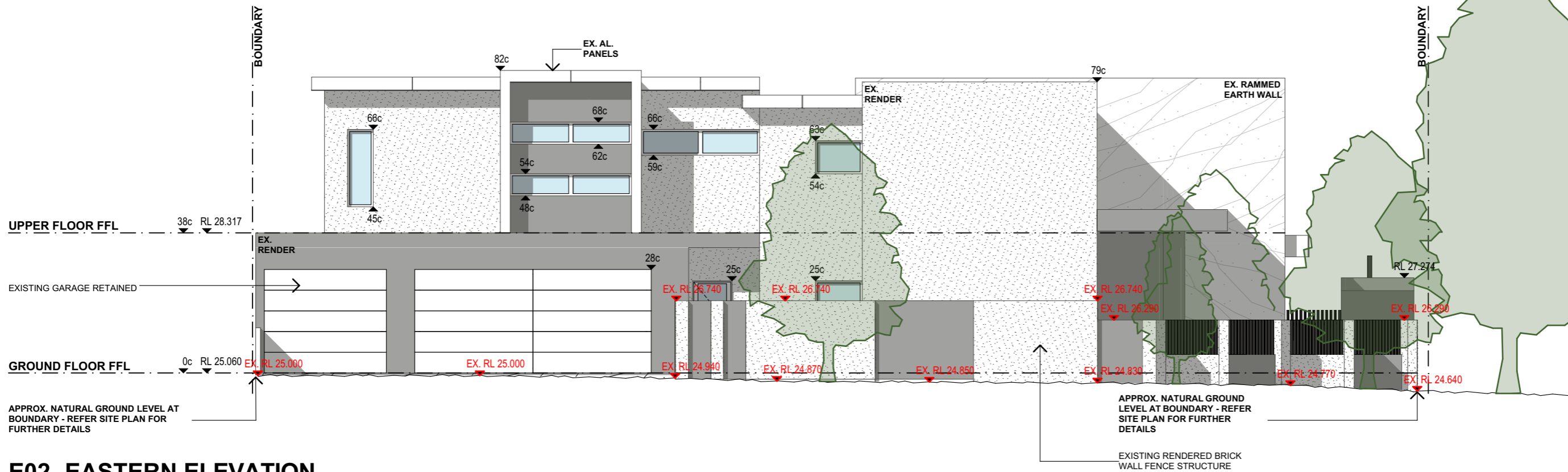
MASTER ELEVATIONS 01 & 02

SCALE @ 1:100 (A3)



E01- NORTHERN ELEVATION

SCALE 1:100 (A3)



E02- EASTERN ELEVATION

SCALE 1:100 (A3)

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B	PLANNING	24/03/2026
A	DETAILED DESIGN REVIEW	17/02/2026
Issue	revision/reason for issue	date

14 LUDGEE ROAD, MOUNT PLEASANT, WA

DARKLIGHTDESIGN

MASTER ELEVATIONS 01 & 02

designed	AB	drawn	AB/WDJ/RH
scale	AS SHOWN ON DRAWINGS	project #	X483-25
status	PLANNING	checked	AB

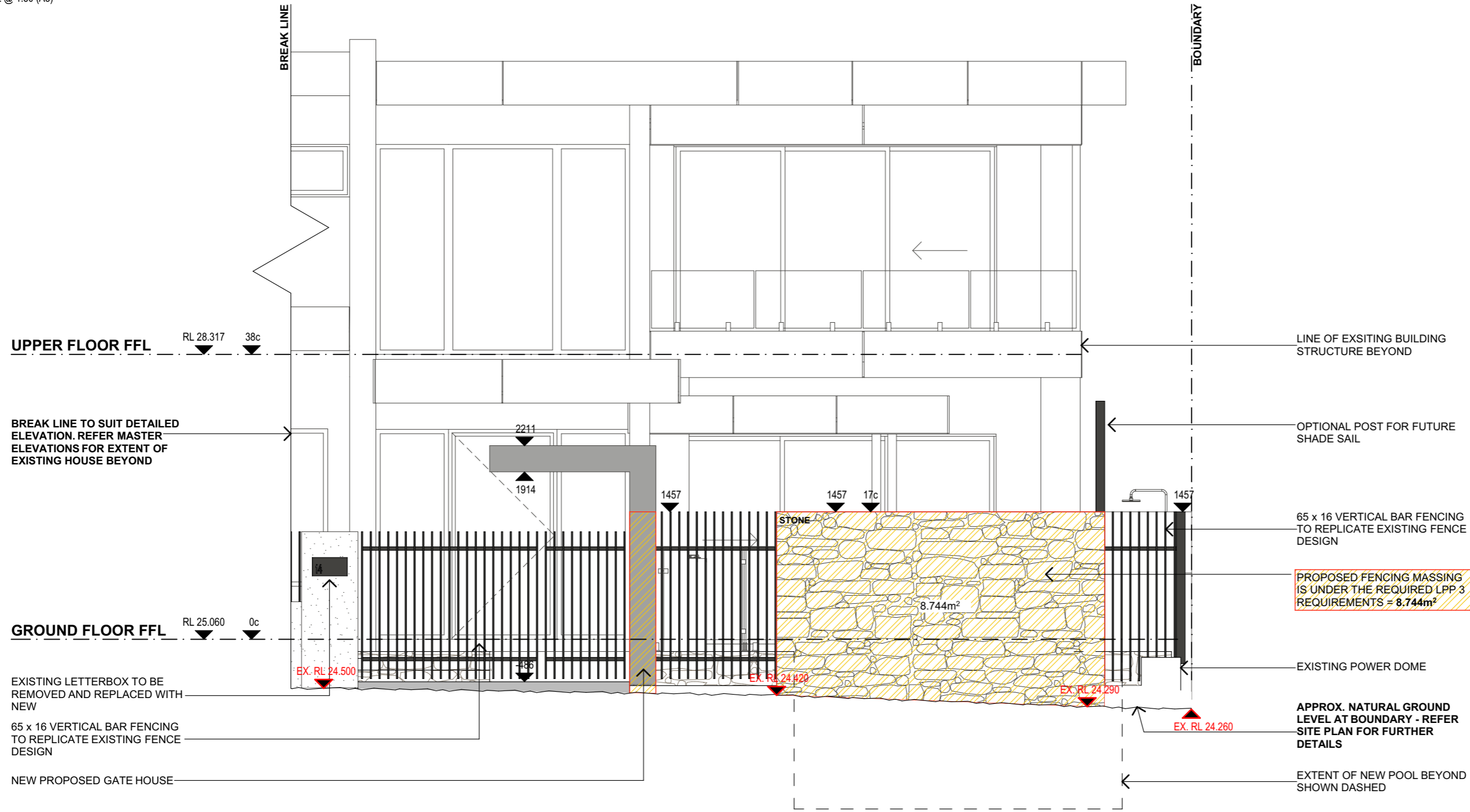
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ELEVATION 01 (DETAILED FENCING)

SCALE @ 1:50 (A3)



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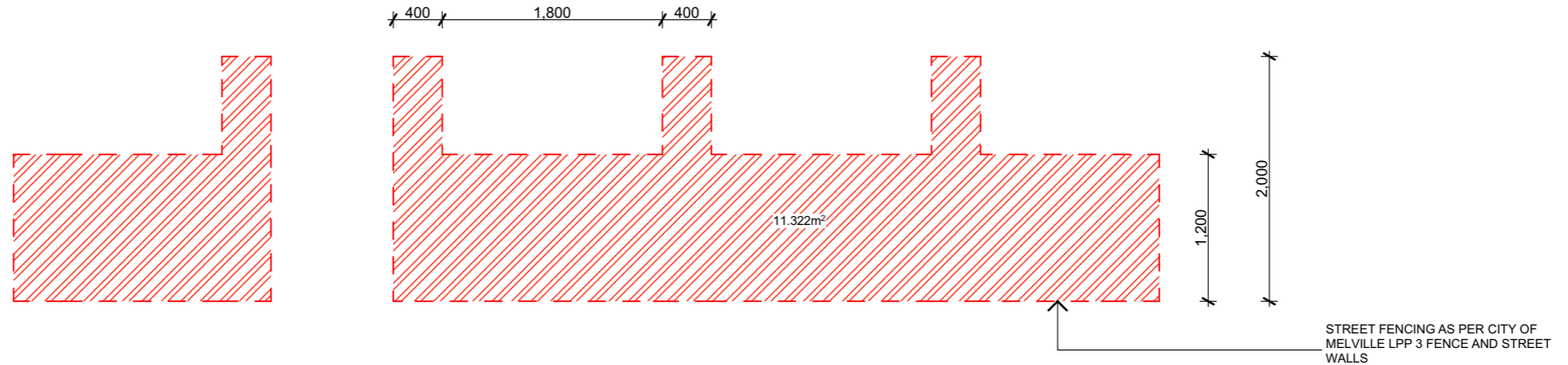
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E03 - NORTHERN ELEVATION (DETAILED FENCE)

SCALE 1:50 (A3)



STREET FENCE COMPLIANCE DIAGRAM

B	PLANNING	24/03/2026
A	DETAILED DESIGN REVIEW	17/02/2026
Issue	revision/reason for issue	date

14 COUGER ROAD, MOUNT PLEASANT, WA

DARKLIGHTDESIGN

ELEVATION 01 (DETAILED FENCING)

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DA04.02 **B** REVISION

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