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FOR ENLARGEMENT [A]
SEE SHEET 3



SCALE (@A2) 1 : 150
ALL DISTANCES ARE IN METRES

TAIN

STREET

CP8
1m²
SEE ENLARGEMENT [A]
0.5m WIDE PARALLEL EASEMENT

1
152m²

2
133m²

3
133m²

4
125m²

5
130m²

6
121m²

886
DP 403808
(SP 70265)

887
DP 403808

CP7
277m²

469
P 5129
(SP 19970)

458
P 5129

457
P 5129

459
P 5129
(SP 70406)

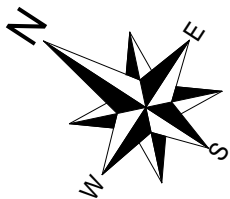


Licensed and Engineering Surveyors,
Planning & Project Management
"Survey House" Unit 6/18 Casuarina Drive, Bunbury

Post PO Box 1719, BUNBURY WA 6231
Phone (08) 9721 4800
eMail info@thompsons surveying.com.au
Web www.thompsons surveying.com.au

SHEET	SHEETS	VERSION NUMBER	SURVEY-STRATA PLAN
2	OF 3	1	86598

SURVEY STRATA LOT 1



DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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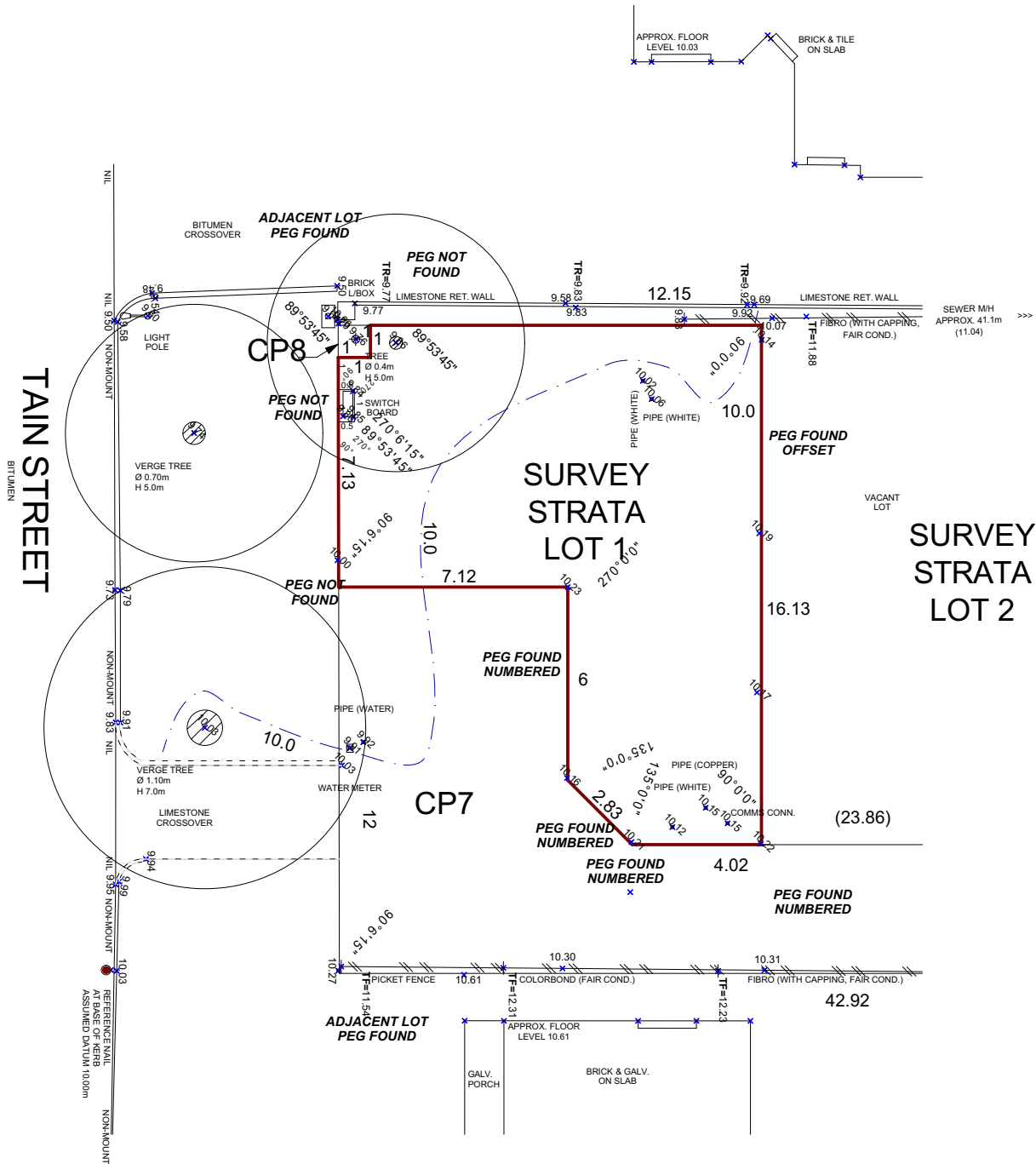
DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

NOTE:
RESTRICTIVE COVENANT BURDEN. REFER TO SEC 136D T.L.A. SEE DOCUMENT T8940/1939 REGISTERED 1/1/1939

NOTE:
EASEMENT (TRANSMISSION OF ELECTRICITY BY UNDERGROUND CABLE) REFER TO SEC 136C T.L.A. 1893 SEE DOCUMENT

LOT MISCLOSE
0.006 m



+	POWER DOME
○	POWER POLE
□	PHONE PIT
□	PHONE PIT
□	WATER CONN
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE
TG=10.00	TOP GUTTER

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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Ref:

CONTOUR & FEATURE SURVEY

LOT Survey Strata Lot 1 (SP 86598)

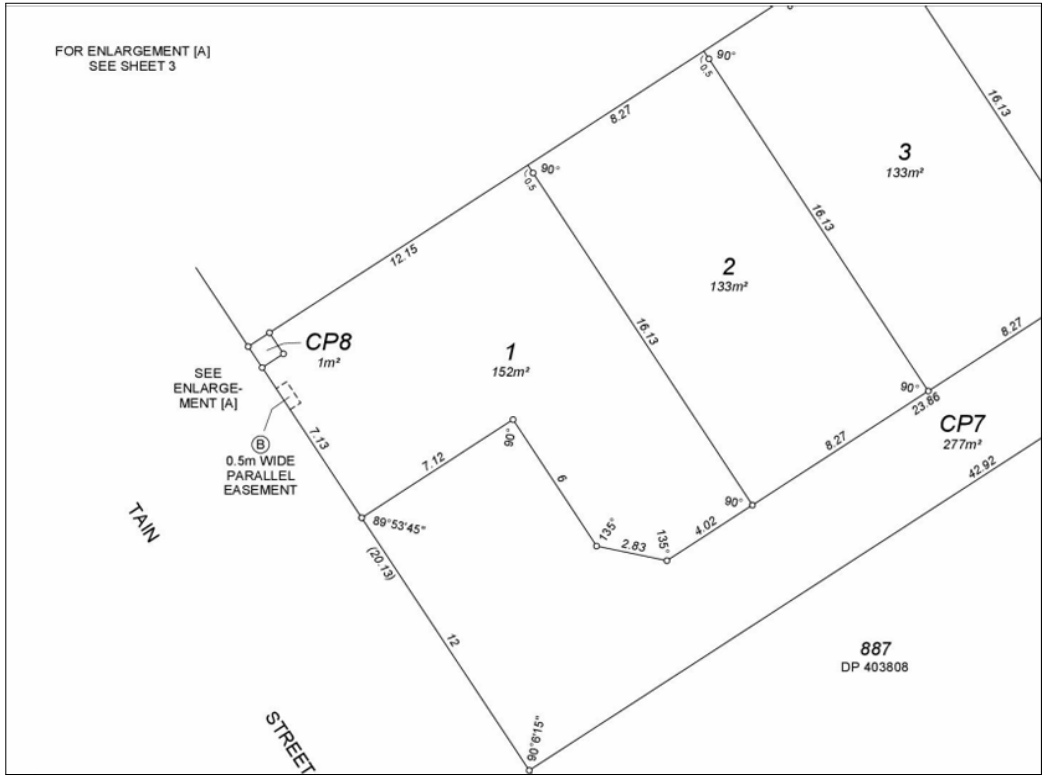
ADDRESS #62A Tain Street, Ardross

LGA CITY OF MELVILLE

ORDER # 2602024R

GPS Lat: -32.019484 Long: 115.838005

SSA No AREA 152m² **VOL.** 4059 **FOL.** 745



ELEC. U/Ground	SEWER Yes (TBA)	ROADS Bitumen	COASTAL No
GAS Check Alinta	COMMS Yes	PATH Nil	SOIL Sand
WATER Yes	DRAINAGE Good	KERBS Non-Mount / Nil	VEG. Light Grass Cover



CUSTOM		EXISTING SITE	
DATE: 11/06/2026	SHEET N°:	01	of 17
SCALE: 1:200			
REVISION N°:	JOB N°:	01	2602024R

VARIATIONS:	DESCRIPTION:	INT:	DATE:
REV: '1'	CONTRACT DRAWINGS+ SVO1 (ITEMS 1-2) + ENERGY + AC	MKK	11.06.2026
2'			
3'			
4'			
5'			
6'			
7'			
8'			

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

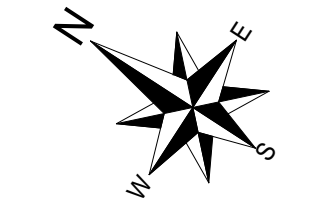
COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie St PO Box 1611
Osborne Park WA 6017

P: (08) 9446 7361
Osborne Park BCE: perth@cottage.com.au
W: www.cottage.com.au

JOB: 637791
DATE: 20 Feb 26
DRAWN: B. Hiskins

SURVEY STRATA LOT 1



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LOT MISCLOSE
0.006 m



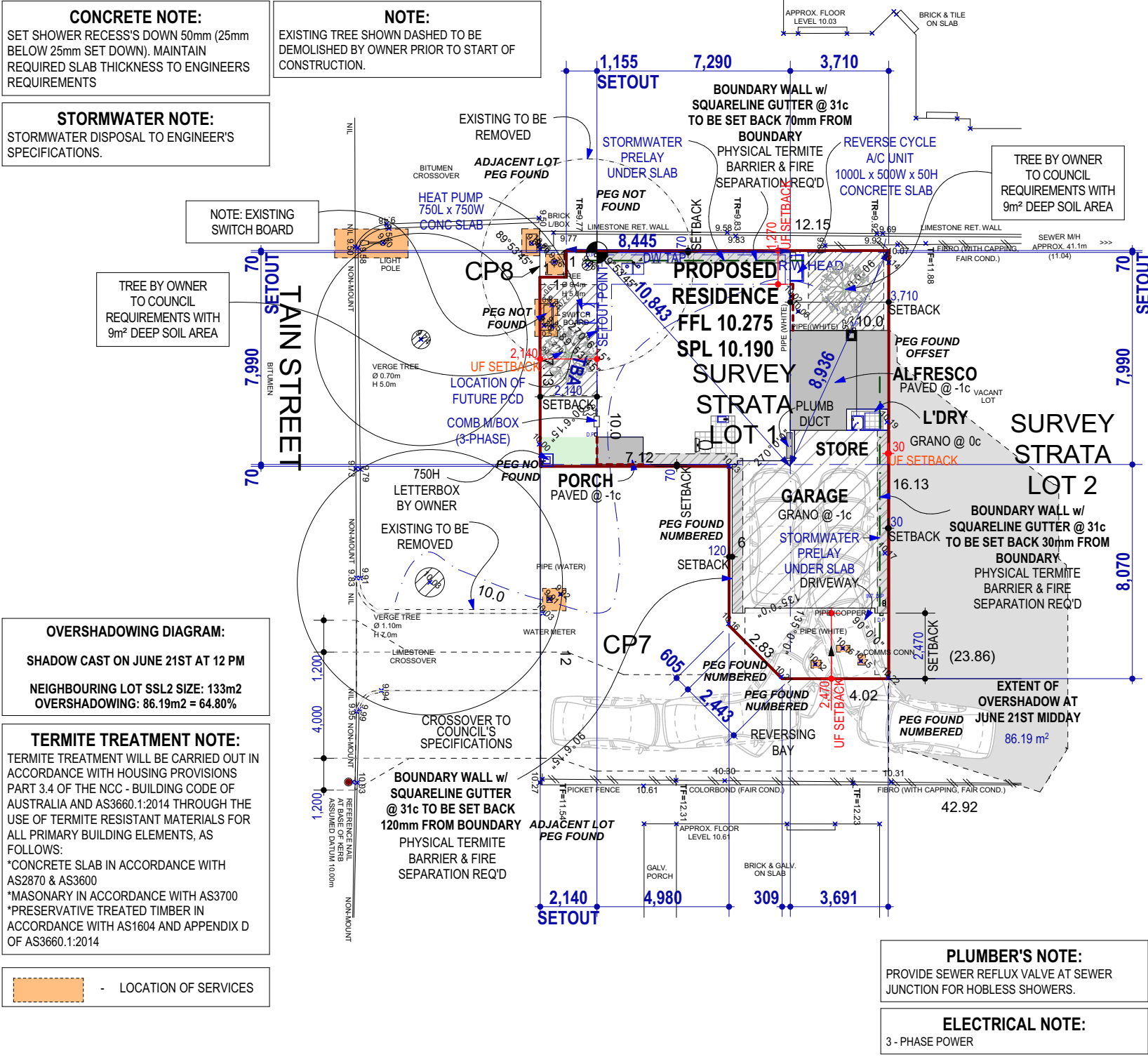
SITE COVERAGE

ZONED	R60
% ALLOWED	60%
SITE AREA	152.05m ²
SITE COV. AREA	97.02m ²

SITE COVER=63.8%

COMMON AREA (277m ² / 6)	46m ²
SITE AREA + COMMON AREA	198m ²

ADJUSTED SITE COVERAGE = 48.95%



CUSTOM SITE PLAN

DATE: 11/06/2026	SHEET N°: 02 of 17
SCALE: 1:200, 1:100	
REVISION N°: 01	JOB N°: 2602024R

VARIATIONS:

REV: '1'	DESCRIPTION: CONTRACT DRAWINGS+ SVO1 (ITEMS 1-2) + ENERGY + AC	INT: MKK	DATE: 11.06.2026
REV: '2'			
REV: '3'			
REV: '4'			
REV: '5'			
REV: '6'			
REV: '7'			
REV: '8'			

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OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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CONTOUR & FEATURE SURVEY

LOT Survey Strata Lot 1 (SP 86598)

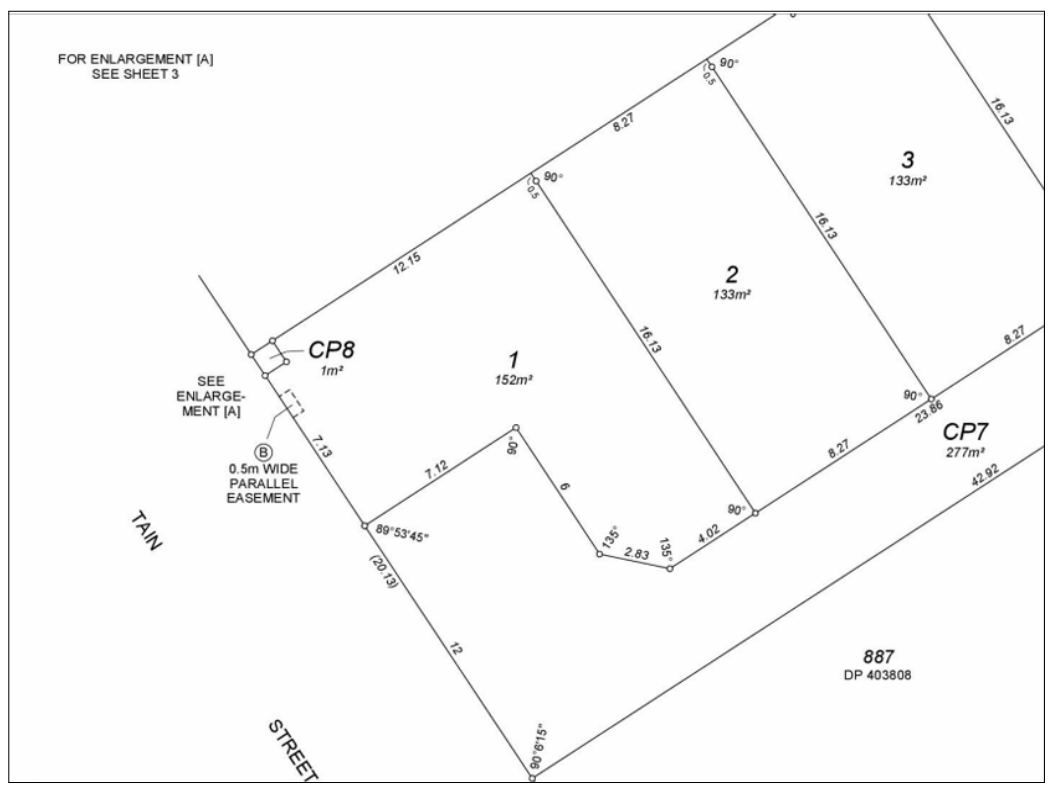
ADDRESS #62A Tain Street, Ardross

LGA CITY OF MELVILLE

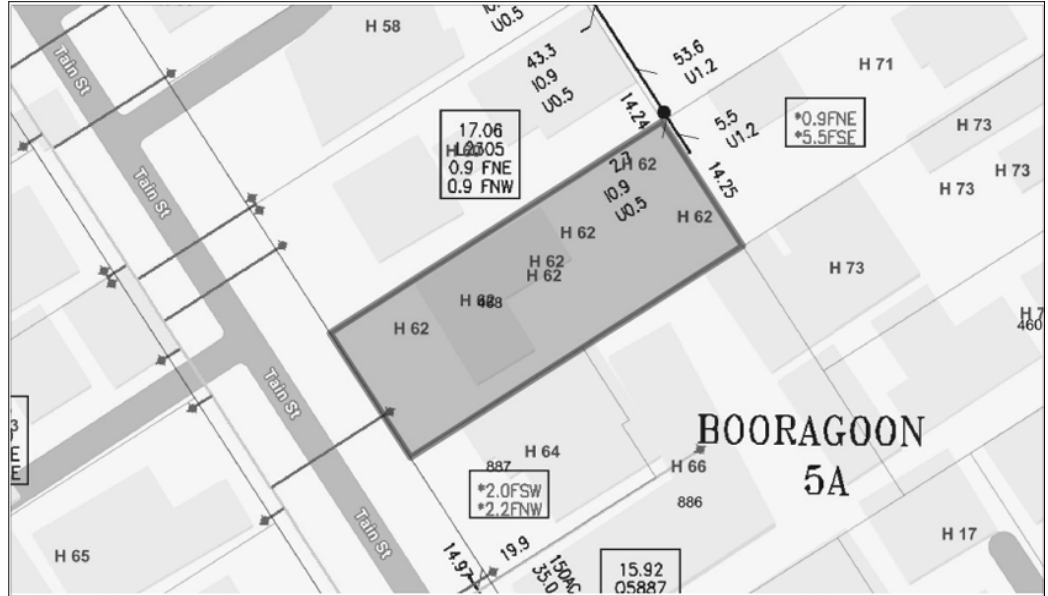
ORDER # 2602024R

GPS Lat: -32.019484 Long: 115.838005

SSA No AREA 152m² **VOL.** 4059 **FOL.** 745



ELEC.	U/Ground	SEWER	Yes (TBA)	ROADS	Bitumen	COASTAL	No
GAS	Check Alinta	COMMS	Yes	PATH	Nil	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Non-Mount / Nil	VEG.	Light Grass Cover



COTTAGE SURVEYS

87-89 Guthrie St PO Box 1611 Osborne Park WA 6017

P: (08) 9446 7361
Osborne Park BC: perth@cottage.com.au
W: www.cottage.com.au

JOB: 637791 **DATE:** 20 Feb 26 **DRAWN:** B. Hiskins

GF CL @ 30c THRU'OUT
UF CL @ 30c THRU'OUT
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF **230mm WIDE CAVITY BRICK CONST.**, UNLESS NOTED OTHERWISE. **90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.**

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE
RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

NCC NOTE:
LIFT OFF HINGES WHERE REQUIRED IN ACCORDANCE WITH PART 10.4.2 OF HOUSING PROVISIONS.

NCC NOTE:
GUTTERS & DOWNPIPES IN ACCORDANCE WITH AS3500.3 AND NCC

RENDER NOTE:
EXTENT OF RENDER TO FRONT ELEVATION AND RETURNS ONLY.

RENDER COLOUR 1: - - - - -
RENDER COLOUR 2:
NOMINATED CLADDING: - - - - -
EXTENTS AS SHOWN ON PLAN.

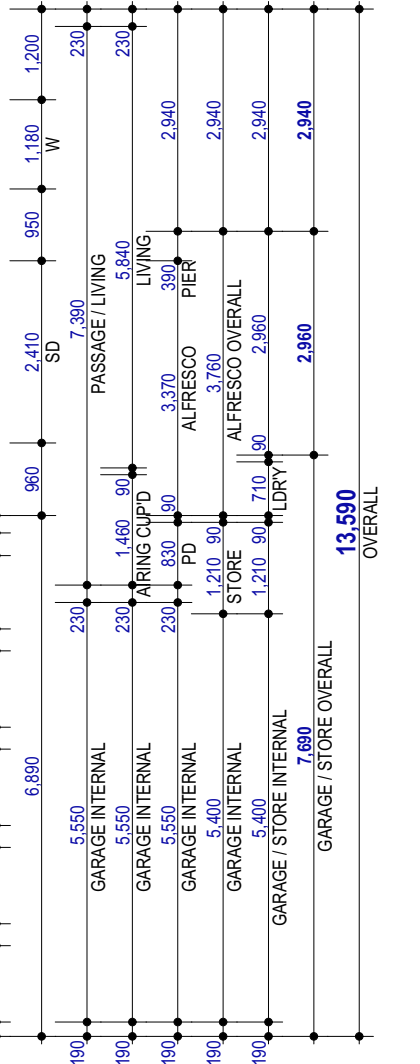
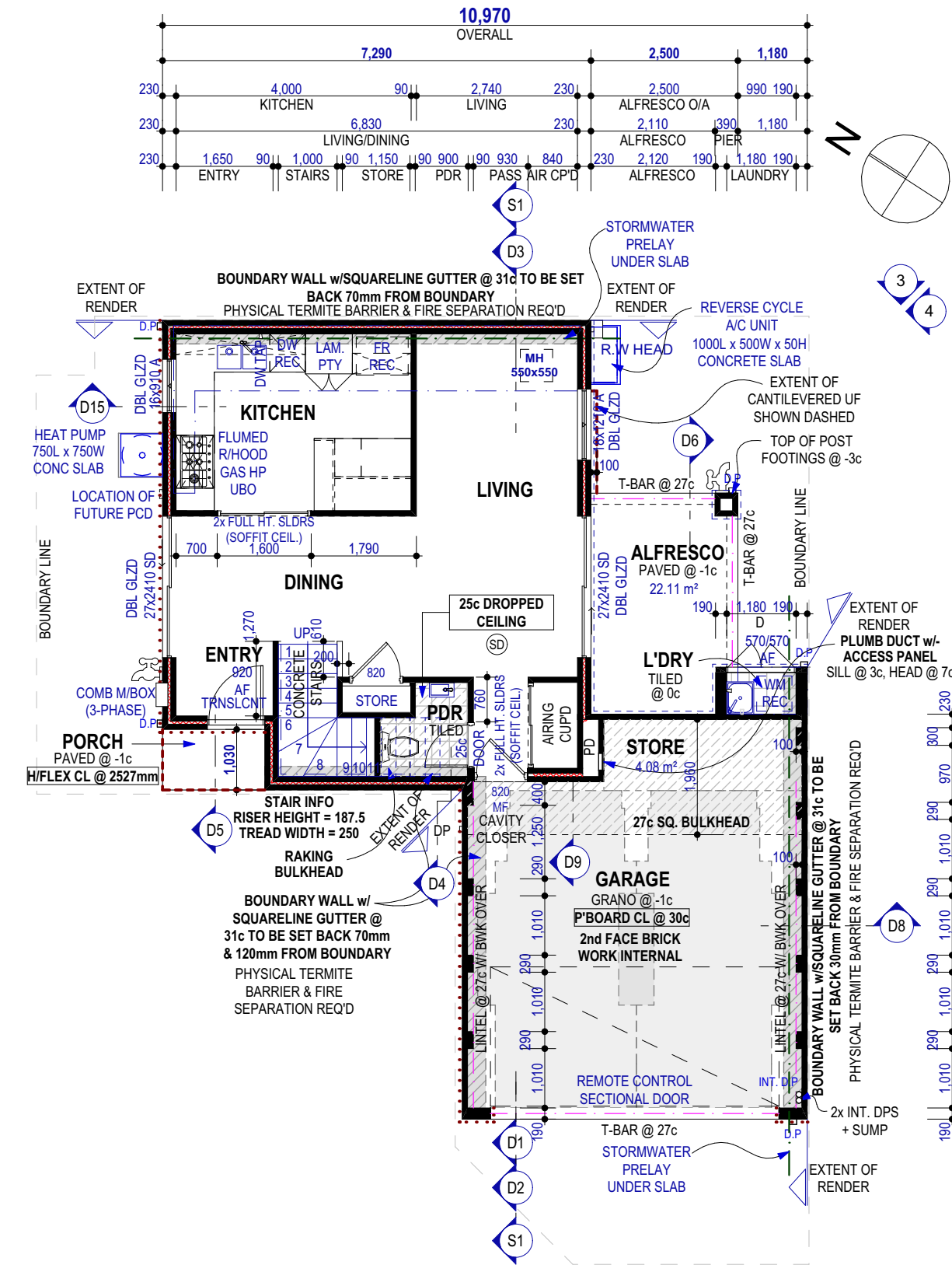
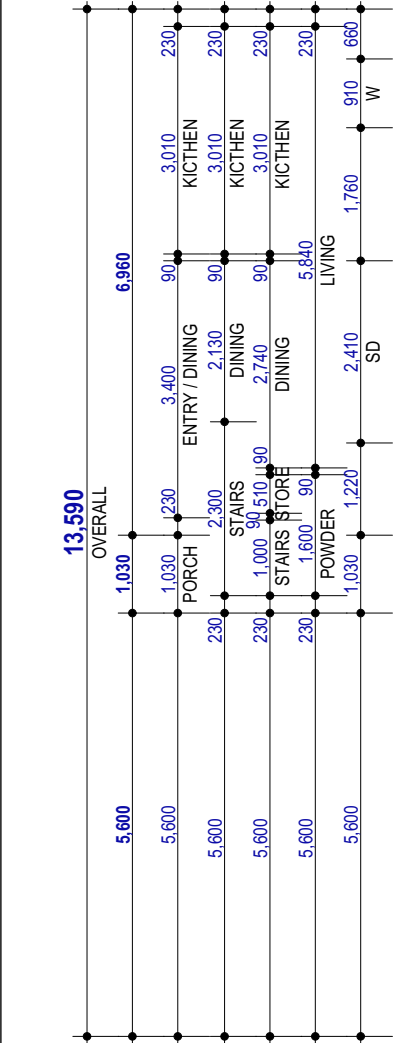
TERMITE TREATMENT NOTE:
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH HOUSING PROVISIONS PART 3.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

INTERNAL DOORS NOTE:
ALL INTERNAL DOORS TO BE 2340H (28C) U.N.O

BUILD METHOD: **CFBW**
GROUND FLOOR: **Double Brick, Slab on Ground**
UPPER FLOOR SLAB: **Concrete on Metal Truss**
UPPER FLOOR WALLS: **Double Brick**
ROOF TYPE: **Colorbond**

SITE CLASSIFICATION : **A**
FOOTING DETAIL : **A85-CFBW**
WIND CATEGORY : **N1**
CORROSION CLASS : **R3**

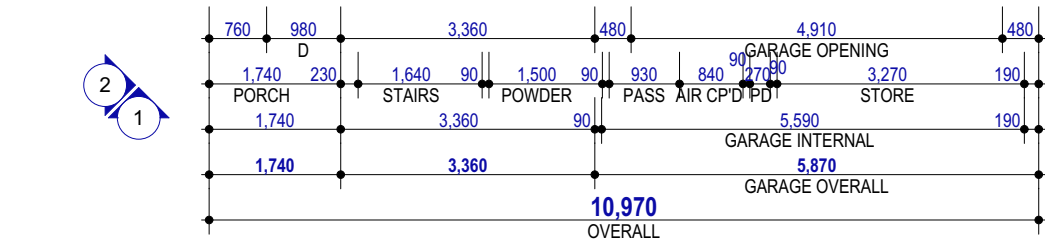
ENERGY NOTES:
- CAVITY WALL INSULATION TO ALL EXTERNAL CAVITY MASONRY WALLS AS SHOWN ON PLAN
- INSULATE ALL EXTERNAL CLASS 1 BRICK CAVITY WALLS - APPROX. 151m2
- UPGRADE REMAINING INTERNAL GARAGE WALL TO INSULATED BRICK CAVITY - APPROX. 6m2
- UPGRADE ALL GLAZING TO STANDARD DOUBLE GLAZED - EXCLUDES ENTRY & WET AREAS
- SPECIFY R2.0 BULK INSULATION TO VERTICAL VELUX SHAFT WALLS
- SPECIFY 1x1200mm CEILING FANS TO ALL BEDROOMS - 4 UNITS
- ANY ROOF AND WALL COLOUR



PLUMBER NOTE
DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER..
COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE
ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W
ALL LINENS, BUILT-IN PTRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL
FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES
PROVIDE R4.1 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.
UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION
ALL GLAZING TO COMPLY WITH AS2047



ACOUSTIC NOTE:
ACOUSTIC REPORT REQUIRED. WINDOWS, WALLS & CEILINGS. CONFIGURATION MAY CHANGE UPON RECEIPT.

BRICKLAYER NOTE:
EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

AREAS		
Name	Area	Perimeter
UPPER FLOOR	95.415	46.640
GROUND FLOOR	56.027	30.560
GARAGE/STORE	38.048	25.520
PORCH	1.792	5.540
TOTAL	191.282 m²	

THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
136 HASLER ROAD
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:	DESCRIPTION:	INT:	DATE:
REV: '1'	CONTRACT DRAWINGS+ SVO1 (ITEMS 1-2) + ENERGY + AC	MKK	11.06.2026
'2'			
'3'			
'4'			
'5'			
'6'			
'7'			
'8'			

CLIENT: [REDACTED]

SITE ADDRESS: **SSL 1 (#62A) TAIN STREET ARDROSS WA 6153**

SALES: JR DRAWN: MKK CHECKED: CB

CUSTOM

GROUND FLOOR PLAN

DATE: 11/06/2026 SCALE: 1:100

REVISION N°: 01

SHEET N°: 05 of 17

JOB N°: 2602024R

GF CL @ 30c THRU'OUT
UF CL @ 30c THRU'OUT
ALL UNLESS OTHERWISE NOTED

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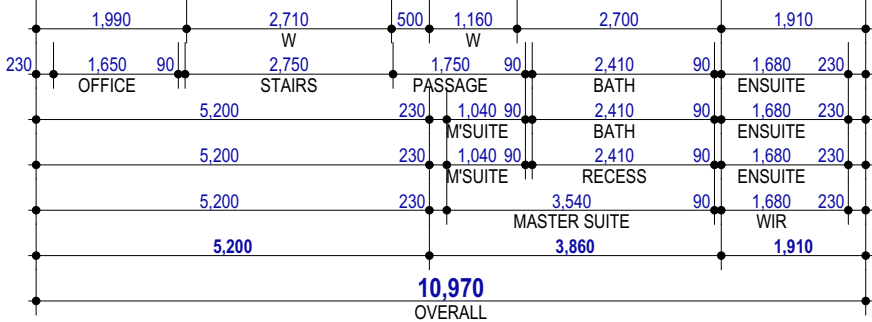
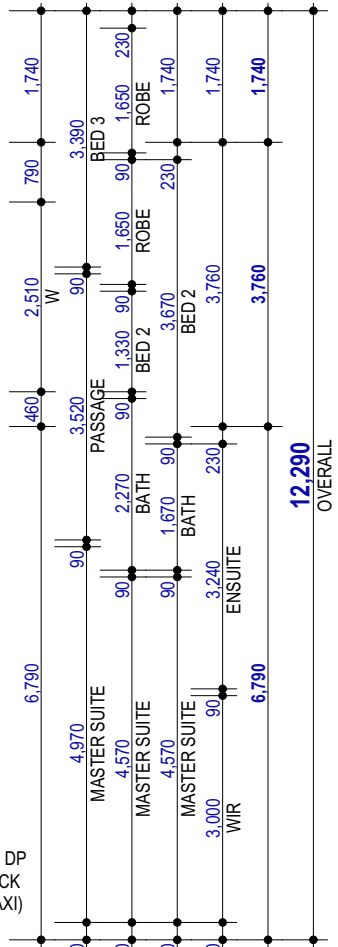
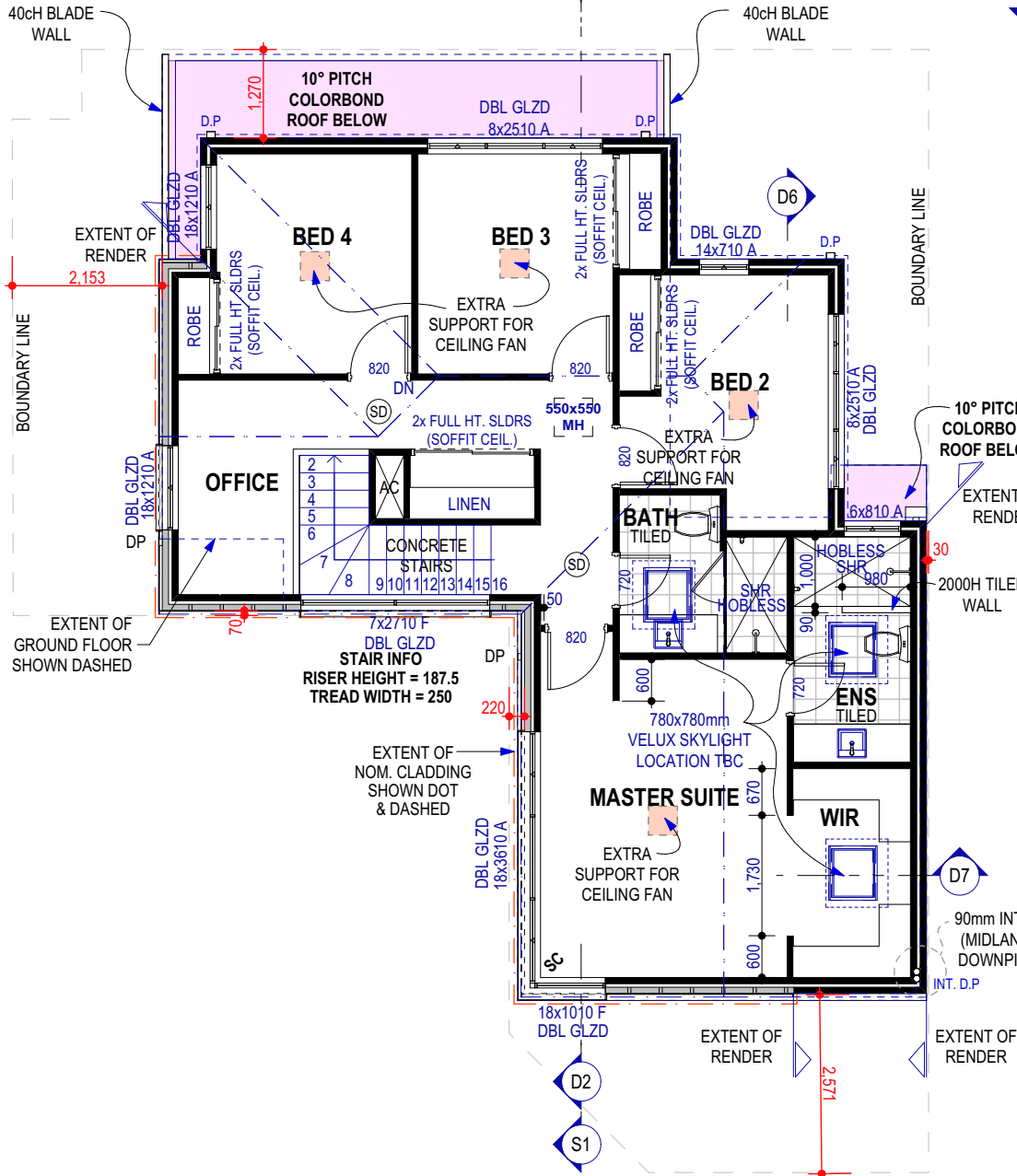
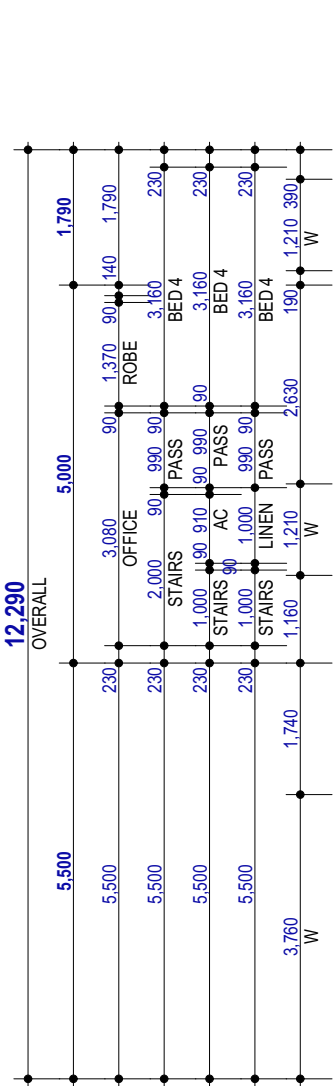
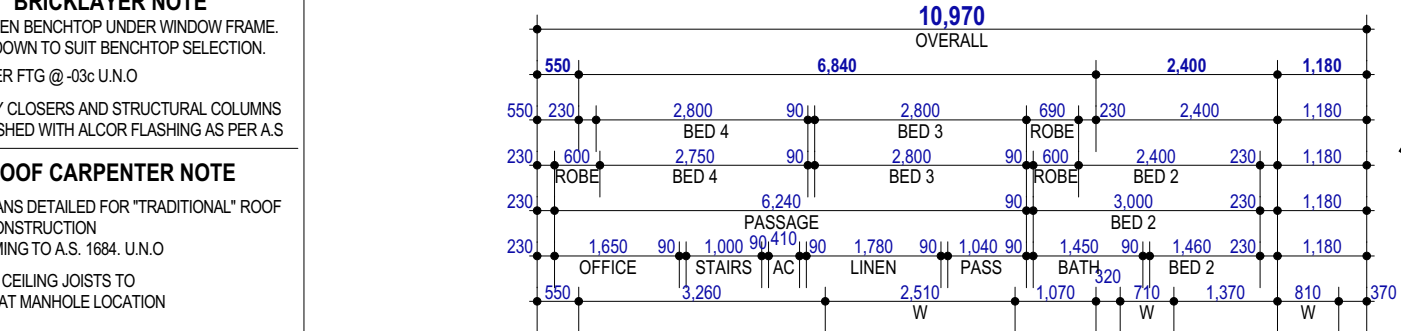
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CORROSION CLASS : **R3**

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ALL GLAZING TO COMPLY WITH AS2047

UPPER FLOOR CONSTRUCTION NOTE
ALLOW EXTRA STUDWORK FOR:
- WC ROLL HOLDER @ 750mm
- TOWEL RAIL @ 1000mm
- TOWEL RING @ 1200mm
- TOILET @ 750mm

UPPER FLOOR HEIGHTS
EFL = 3000mm
CL = 5607mm
HEIGHT O/A = 2692mm (31c)

UPPER FLOOR GLAZING
UPPER FLOOR WINDOWS TO COMPLY WITH HOUSING PROVISIONS 11.3.7

RENDER NOTE:
EXTENT OF RENDER TO FRONT ELEVATION AND RETURNS ONLY.
RENDER COLOUR 1: - - - - -
RENDER COLOUR 2:
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INT: MKK
DATE: 11.06.2026

CLIENT: [REDACTED]

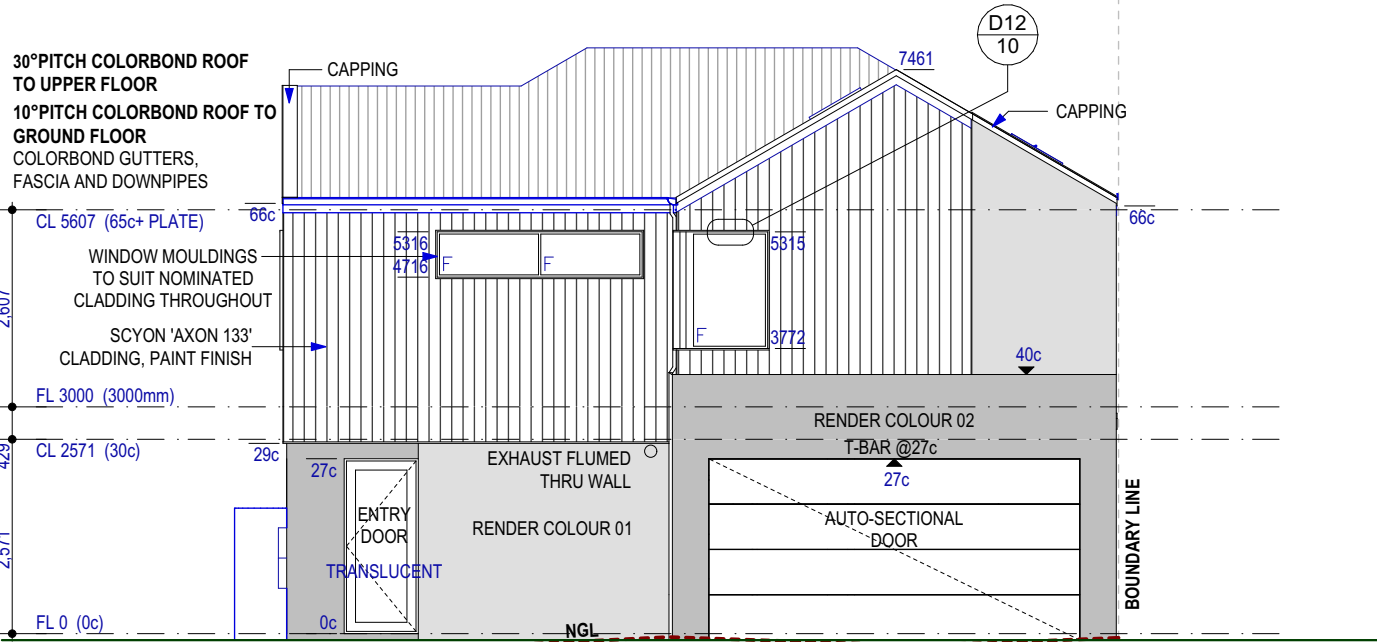
SITE ADDRESS:
**SSL 1 (#62A) TAIN STREET
ARDROSS WA 6153**

SALES: JR DRAWN: MKK CHECKED: CB

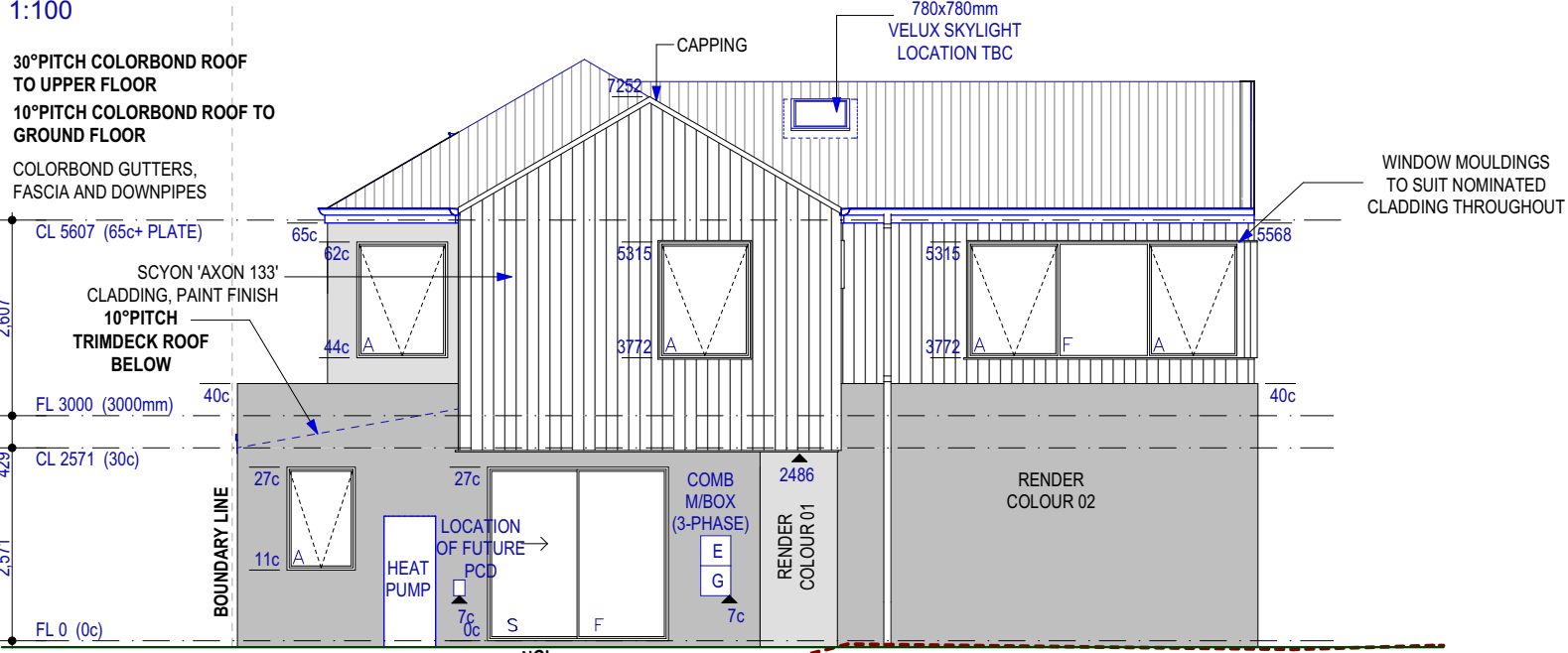
CUSTOM

UPPER FLOOR PLAN

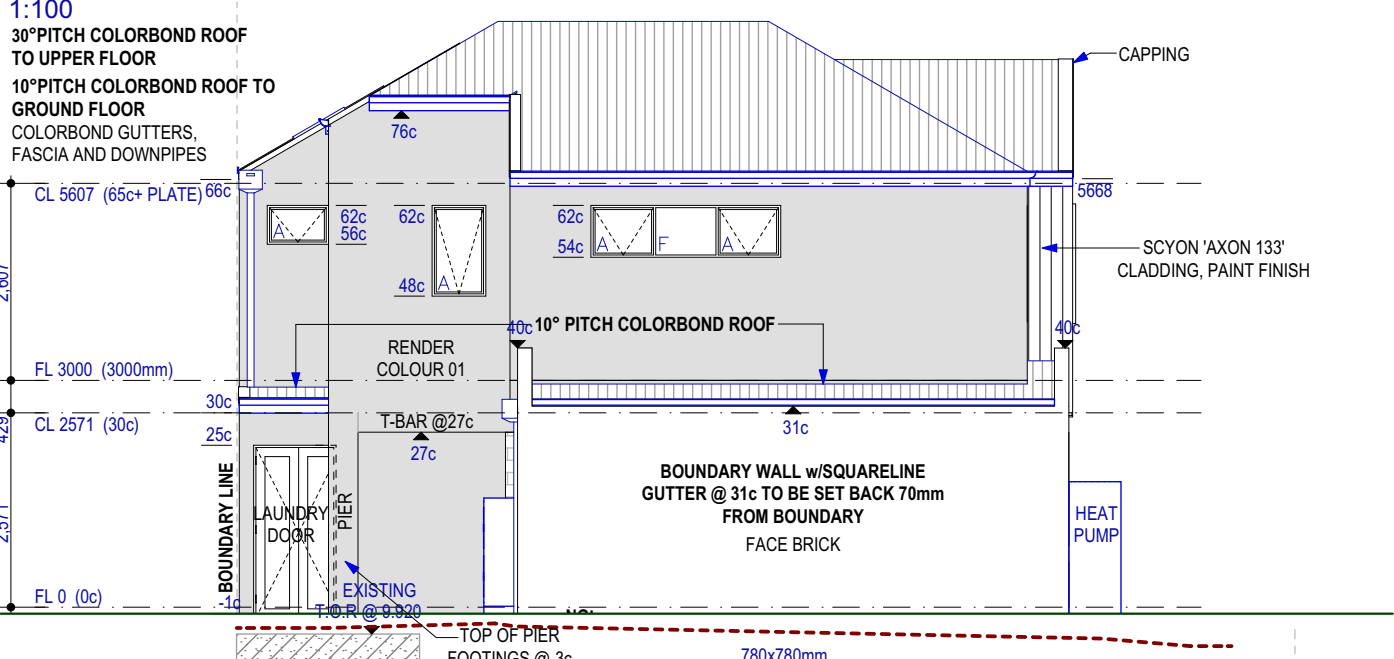
DATE: 11/06/2026 SHEET N°: 06 of 17
SCALE: 1:100
REVISION N°: 01 JOB N°: 2602024R



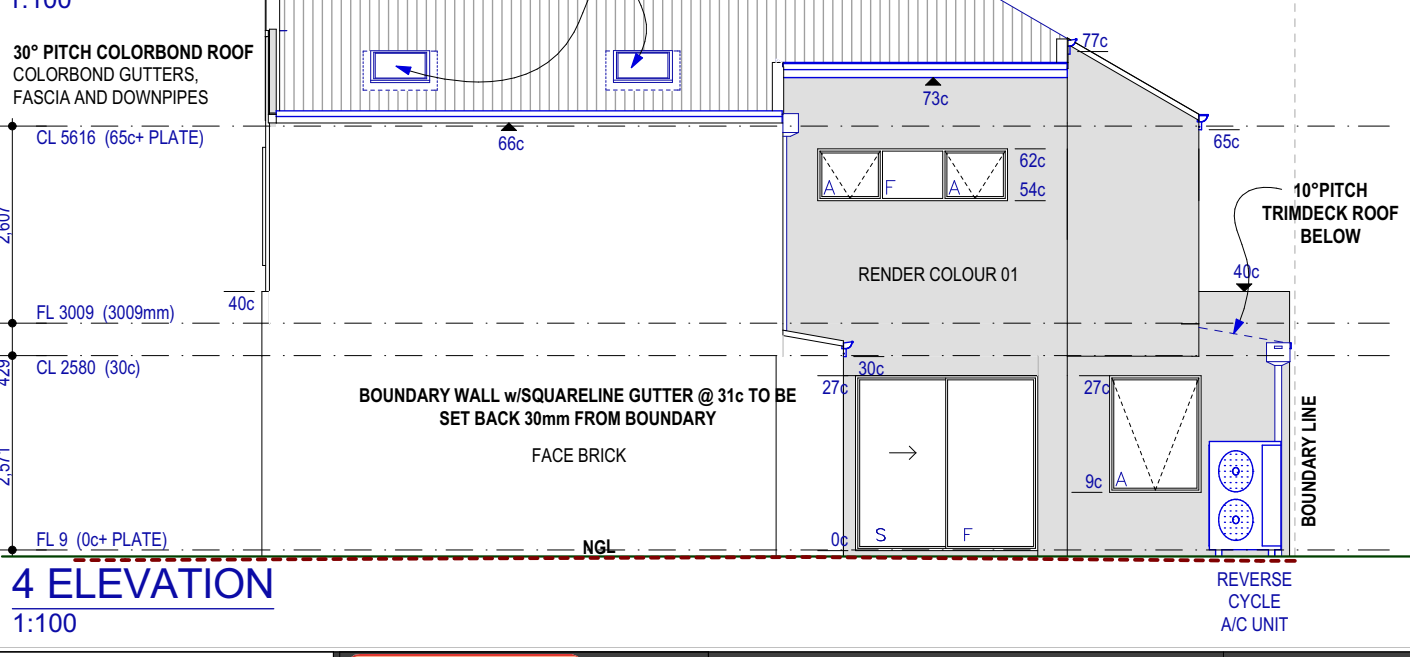
1 ELEVATION
1:100



2 ELEVATION
1:100



3 ELEVATION
1:100



4 ELEVATION
1:100

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'3'			
'4'			
'5'			
'6'			
'7'			
'8'			

CLIENT:	
SITE ADDRESS:	
SSL 1 (#62A) TAIN STREET ARDROSS WA 6153	
SALES: JR	DRAWN: MKK
CHECKED: CB	

CUSTOM ELEVATIONS	
DATE: 11/06/2026 SCALE: 1:100	SHEET N°: 07 of 17
REVISION N°: 01	JOB N°: 2602024R