

**REPORTS AND RECOMMENDATIONS**

**FOR THE**

**DEVELOPMENT ADVISORY UNIT**

**MEETING**

**HELD ON**

**TUESDAY, 9 APRIL 2024**

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Kate Bainbridge, Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: Tel 9364 0626 or via the Elected Members Portal.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

**DISTRIBUTED: FRIDAY 12 APRIL 2024**



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT  
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,  
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 9 APRIL 2024**

**PRESENT**

K Bainbridge  
T Geddes  
G Davey  
J Caracciolo

Manager Statutory Planning  
Senior Planning Officer  
A/Senior Planning Officer  
Statutory Planner

**DISCLOSURES OF INTEREST**

**DISCLOSURE OF FINANCIAL INTERESTS  
LOCAL GOVERNMENT ACT 1995**

**Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

**Meeting to be informed of disclosures**

**S.5.66** If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

**Disclosing members not to participate in meetings**

**S.5.67** A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

**Please refer to your Handbook for definitions of interests and other detail.**

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**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

Ward : Applecross – Mount Pleasant  
 Category : Operational  
 Application Number : DA-2023-1044  
 Property : Lot (13) No.83 Killilan Road, Applecross  
 Proposal : Two Storey Single House  
 Applicant : Beaumonde Homes  
 Owner : A & B Lewis  
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.  
 Previous Items : None.  
 Responsible Officer : Kate Bainbridge  
 Manager Statutory Planning  
 Planning Services

**AUTHORITY / DISCRETION**

**DEFINITION**

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g., adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes &amp; policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (e.g., under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPECROSS (REC) (ATTACHMENT)****KEY ISSUES / SUMMARY**

- Development approval is sought for a two-storey single house at no. 13 Killilian Road, Applecross.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), Residential Design Codes Volume 1 Part B (R-Codes) and relevant local planning policies including Local Planning Policy 3.1 – Residential Development (LPP3.1).
- The proposed development requires a performance assessment in relation to lot boundary setbacks, setback of garage, landscaping, site works and visual privacy.
- Consideration by the Development Advisory Unit is limited to setback of garage, with all other performance assessment matters to be determined by the Manager Statutory Planning (MSP) through delegated authority in accordance with Local Planning Policy 1.1 Planning Process and Decision Making (LPP 1.1).
- The application was advertised in accordance with the provisions of the R-Codes, *Planning and Development (Local Planning Scheme) Regulations 2015* (as amended) and LPP 1.1.
- One submission was received during the advertising period which was an objection to the site survey and boundary fence line alignment, visual privacy, and the street setback of the garage.
- The applicant has amended the plans regarding the visual privacy concern raised by the submitter to ensure that the plan now comply with the deemed-to-comply provisions of the R-Codes. In addition to this, it is considered that the visual privacy is acceptable when assessed against the relevant design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.

**Figure 1 – Aerial Photography**

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

**BACKGROUND**

**Scheme Provisions**

MRS Zoning : Urban  
 LPS Zoning : Residential  
 R-Code : R15  
 Use Type : Single House  
 Use Class : Permitted

**Site Details**

Lot Area : 531<sup>m2</sup>  
 Retention of Existing Vegetation : None  
 Street Tree(s) : No  
 Street Furniture (drainage pits etc) : No  
 Site Details : Refer to Figure 1 above

A copy of the plans forms part of the report and recommendations

**DETAIL**

The application has been assessed against the provisions of LPS6, Residential Design Codes Volume 1 Part B (the R-Codes) and relevant local planning and Council policies. The proposal complies with all the relevant development requirements with the exception of those matters listed below, for which a performance assessment is required.

**Local Planning Scheme and Local Policy Requirements**

City of Melville Local Planning Policy 3.1 – Residential Development

<b>Development Requirement</b>	<b>Deemed to Comply</b>	<b>Proposed</b>	<b>Comments</b>	<b>Delegation to approve</b>
LPP 3.1 Cl. 2 Cl.1. (i) – Setback of garages and carports	4.5m street setback	3m street setback	Requires assessment using Performance Criteria	Development Advisory Unit (DAU)

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

Residential Design Codes Volume 1

<b>Development Requirement</b>	<b>Deemed to Comply</b>	<b>Proposed</b>	<b>Comments</b>	<b>Delegation to approve</b>
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	West Side As per table 2a and 2b of R-Codes Volume 1 Ground Floor Garage Setback required 1m	0.9m	Requires assessment using Performance Criteria	MSP
	Southeast Side As per table 2a and 2b of R-Codes Volume 1 First Floor Guest Setback required 5.1m	4.1m	Requires assessment using Performance Criteria	MSP
5.1.3 – Lot Boundary Setbacks Cl. 3.1 (i)	East Side As per table 2a and 2b of R-Codes Volume 1 Ground Floor Alfresco to Bed 2 Setback required 2.7m	1.7m	Requires assessment using Performance Criteria	MSP
	East Side As per table 2a and 2b of R-Codes Volume 1 First Floor Master Setback required 5.1m	3m	Requires assessment using Performance Criteria	MSP
	East Side As per table 2a and 2b of R-Codes Volume 1 First Floor Living Setback required 5.5m	3.2m	Requires assessment using Performance Criteria	MSP

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

<b>Development Requirement (cont)</b>	<b>Deemed to Comply</b>	<b>Proposed</b>	<b>Comments</b>	<b>Delegation to approve</b>
5.3.2 – Landscaping Cl. 2.2 (ii)	Requires not more than 50% impervious surfaces within street setback area	64%	Requires assessment using Performance Criteria	MSP
5.3.7 – Site works Cl7.1	Retaining walls, fill and excavation not more than 0.5m above natural ground level.	Up to 1m	Requires assessment using Performance Criteria	MSP
5.3.7 – Site works Cl7.2 – Table 4	East Side Height of siteworks and/or retaining walls 1m or less requires setback of 1m	Nil.	Requires assessment using Performance Criteria	MSP
5.4.1 – Visual Privacy Cl1.1 (i)	West Side First Floor Guest requires a setback of 4.5m	4.3m	Requires assessment using Performance Criteria	MSP
	East Side Ground floor Bed 2 requires a setback of 4.5m	3.7m	Requires assessment using Performance Criteria	MSP
	East Side Ground floor Bed 3 requires a setback of 4.5m	3.4m	Requires assessment using Performance Criteria	MSP
	East Side Ground floor Study requires a setback of 4.5m	3.5m	Requires assessment using Performance Criteria	MSP
	East Side Ground floor Lounge requires a setback of 6m	5m	Requires assessment using Performance Criteria	MSP
	East Side First floor Living requires a setback of 6m	3.3m	Requires assessment using Performance Criteria	MSP

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

Development Requirement (cont)	Deemed to Comply	Proposed	Comments	Delegation to approve
	East Side First floor Master requires a setback of 4.5m	4.2m	Requires assessment using Performance Criteria	MSP
	East Side First floor Balcony requires a setback of 7.5m	6m	Requires assessment using Performance Criteria	MSP

**STAKEHOLDER ENGAGEMENT**

**I. COMMUNITY**

Advertising Required: Yes  
 Neighbour's Comment Supplied: Yes  
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6  
 Support/Object: One submission received (Objection)

A summary of the content of the objection received and a response is provided in the table below.

Submission Number	Summary of Submission	Support/Objection	Officer's Comment	Action (Condition/Uphold/Not Uphold)
1	<b>Visual Privacy</b> First floor scullery window overlooking into a sensitive swimming pool area which impacts the privacy of the occupants.	Object	The plans have been amended by the applicant to screen this window and the scullery opening is now compliant with the deemed-to-comply requirements of the R-Codes and will be conditioned accordingly.	Condition



**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)****II. OTHER AGENCIES / CONSULTANTS**

Not Applicable

**STATUTORY AND LEGAL IMPLICATIONS**

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the Planning and Development Act 2005.

**FINANCIAL IMPLICATIONS**

There are no financial implications for the City relating to this proposal.

**STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS**

There are no strategic, risk or environmental management implications with this application.

**POLICY IMPLICATIONS**

There are no policy implications in relation to this proposal.

**COMMENT****Street Setback of Garage**

As noted above in the requirement section, the garage street setback does not meet the deemed to comply provisions and requires a design principles assessment. The design principles contained in Clause 5.2.1 of the R-Codes seek to maintain sightlines along the street, to not obstruct views of dwellings from the street and vice versa, ensure car parking does not impede any pedestrian cycle or dual use path, and designed to contribute positively to the streetscape. The garage street setback is considered to meet these design principles as discussed below:

**Design Principle P1.1:**

- The garage does not detract from the streetscape appearance, with proposed elements such as the full garage width being offset from the street with a nib wall, the wall surface being finished off with two textured renders and has a large balcony that extends for double the width of the garage directly above the garage and projecting 0.2m forward of the garage. Clear sight lines along the street are maintained with the 3m street setback, the general street setbacks also meet the deemed-to-comply requirements of LPP 3.1 Clause 1 – Street setback. Two small trees are proposed in front of the garage which will further soften the impact of the garage wall as viewed from the streetscape.

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

**Design Principle P1.2:**

- There is no adjacent existing or planned pedestrian path in the verge area adjacent to the subject site. The crossover width of 5.4m and driveway/crossover length of 9.4m in front of the garage opening allows for a vehicle to park partly on the crossover/driveway within private property and the verge area, with no impact on the safety of pedestrians and cyclists (See Figure 1 below).

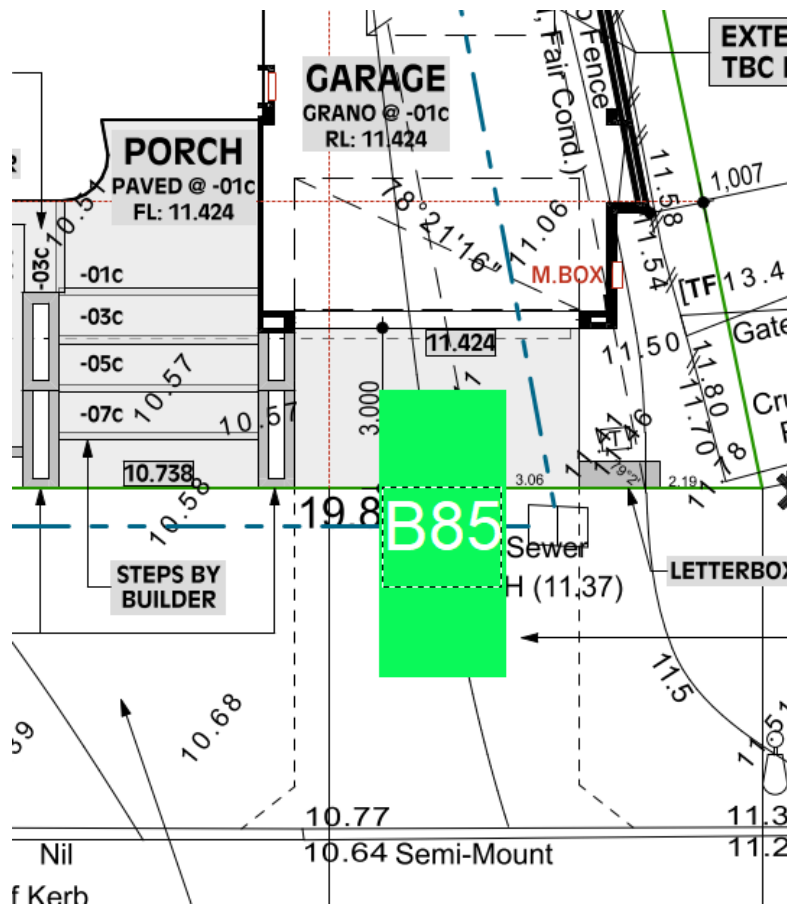


Figure 1: Shows the crossover as able to contain a B85 standard sized vehicle (shown green) in front of the garage opening.

**ALTERNATE OPTIONS AND THEIR IMPLICATIONS**

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

However, should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)****CONCLUSION**

The proposal meets the deemed to comply or design principle requirements of the R-Codes or Local Planning Policy requirements and is therefore considered to be appropriate to approve subject to conditions.

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process, unless council elects to 'call up' the item for formal Council consideration.

**OFFICER RECOMMENDATION****APPROVAL**

- 1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 2. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.**
- 3. Prior to the initial occupation of the development, all unused crossovers shall be removed and the kerbing and road verge reinstated at the owners cost to the satisfaction of the City.**
- 4. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;**
  - a maximum width being in accordance with the City's Crossover Guidelines, Standards and Specifications;**
  - located a minimum of 2m away from the outside of the trunk of any street tree; and**
  - a minimum of 1m from any existing street infrastructure.**

**The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.**

- 5. Where a driveway meets the street, walls or fencing within sight line areas are to meet the requirements contained under clause 5 of Local Planning Policy *LPP3.1 Residential Development*, to the satisfaction of the City.**
- 6. Any street walls and fences (including the height of any retaining walls) constructed within the primary and secondary street setback areas shall meet the requirements contained under clause 3 of Local Planning Policy *LPP3.1 Residential Development* to the satisfaction of the City.**
- 7. Prior to the initial occupation of the development, the proposed tree (as marked in red on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.**

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

8. Prior to commencement of development, a detailed landscaping and reticulation plan for the subject site shall be submitted to and approved in writing by the City. The landscaping plan is to include proposed details of (but is not limited to):
- (a) The location, number and type of proposed trees and shrubs including planter size and planting density;
  - (b) Any lawns to be established;
  - (c) Any existing vegetation and/or landscaped areas to be retained; and
  - (d) Any verge treatments.

The approved landscaping and reticulation plan shall be fully implemented within the first available planting season after the initial occupation of the development and maintained thereafter, to the satisfaction of the City.

9. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
10. The privacy screening/obscure glazing shown on the approved plans to the Scullery on the western elevation shall have fixed obscure glazing or screening to a minimum height of 1.6 metres above the finished floor level, or any other screening alternative approved by the City that complies with C1.1 or C1.2 of Clause 5.4.1 of State Planning Policy 7.3 Residential Design Codes Volume 1. The privacy screening/obscure glazing shall be installed prior to initial occupation of the development and thereafter retained in perpetuity to the ongoing satisfaction of the City.

**Advice Note/s**

1. The applicant is advised that the City has received notice from an adjoining owner of a claim for title by adverse possession over a strip of land enclosed by the fibro dividing fence at the western boundary of the land. The City has no power or authority to determine the issue of adverse possession, and the right to develop in accordance with the planning approval may ultimately be subject to any conflicting rights of the neighbouring owner claiming title by adverse possession over the subject strip of land.

**U23/0625 - TWO STOREY SINGLE HOUSE AT LOT 83 (NO. 13) KILLILAN ROAD, APPLECROSS (REC) (ATTACHMENT)**

- 2. In relation to the landscaping plan requirement, as there is a shortfall in soft landscaping within the primary street setback area, the landscaping plan is required to demonstrate an appropriate higher density of planting to facilitate an acceptable outcome in lieu of the deemed to comply soft landscaping provision.**
- 3. Construction is not permitted to obstruct traffic without prior written consent from the City's Technical Services department. Should the construction require a lane or road closure, a Traffic Management Plan is required to be approved by the City prior to any such works.**

**ATTACHMENTS  
OF THE  
DEVELOPMENT ADVISORY UNIT  
MEETING  
HELD ON  
TUESDAY 9 APRIL 2024  
U24/0625**

**Distributed: Friday 12 April 2024**



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# BEAUMONDE HOMES

A DIVISION OF AINTREE HOLDINGS PTY LTD REG  
No:7082  
SUITE 1, 30 HASLER ROAD,  
OSBORNE PARK, WA. 6017  
TEL: (08) 9446 3388 FAX: (08) 9446 3348  
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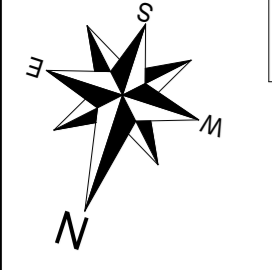


## **LEWIS RESIDENCE**

### **LOT 83 (#13) KILLILAN ROAD APPLECROSS**

#### **RENDER**

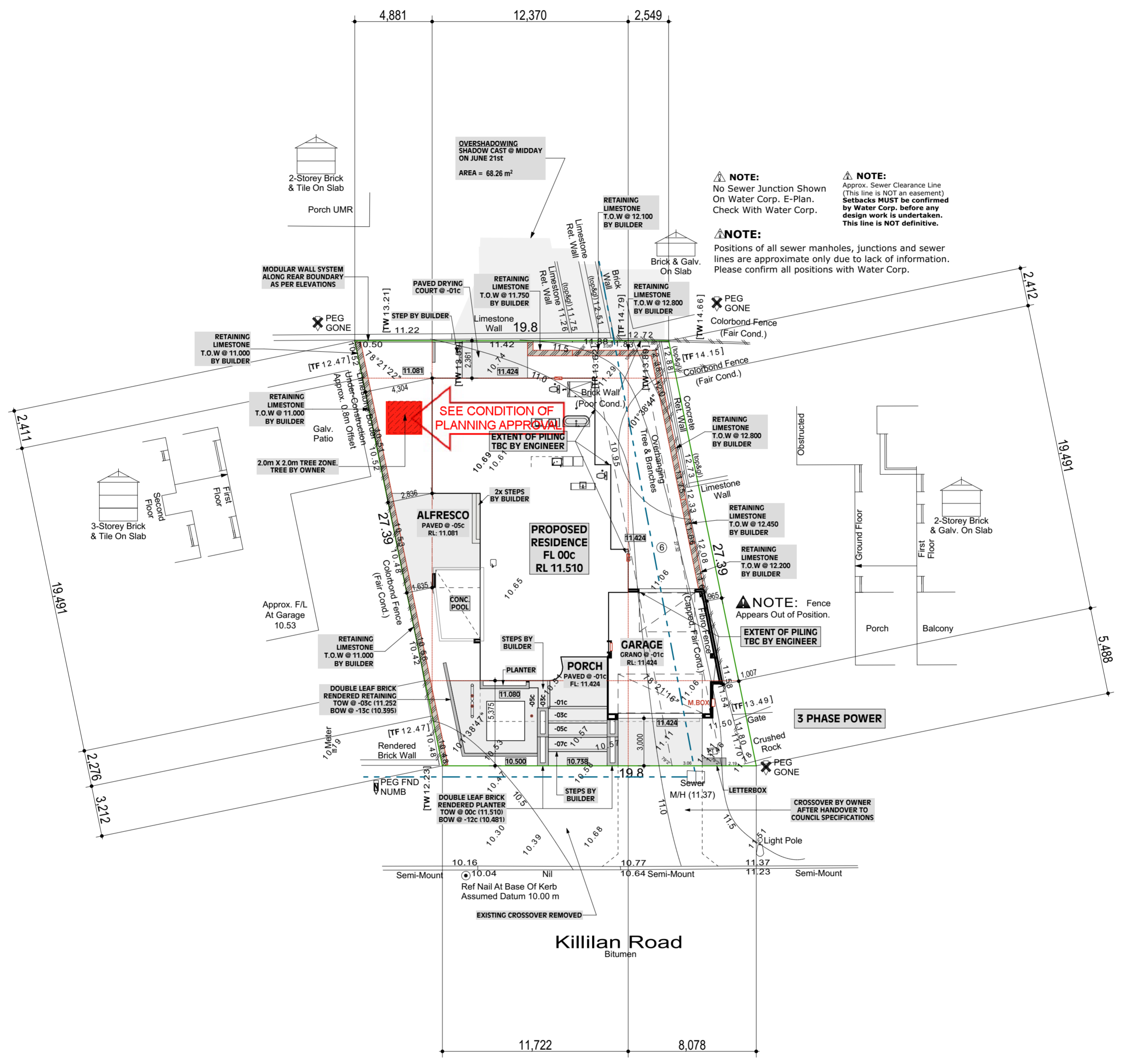
SCALE:  
SALESMAN: MW  
DESIGNER: JR  
DATE: 8/04/2024  
REV: Lewis DA.pln  
HOUSE TYPE: CUSTOM



NOTE: EASEMENT (EASMENT). REFER TO SEC 27A T.P&D. ACT REG 6 SEE DOCUMENT

NOTE: UNDERGROUND POWER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH WESTERN POWER.

⊕	Power Dome
⊖	Power Pole
⊗	Phone Pits
⊕	Water Conn.
⊕	Top Pillar/Post
⊕	Top Wall
⊕	Top Retaining
⊕	Top Fence



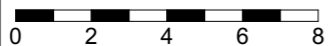
**DISCLAIMER:** Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:** Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:** Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:** Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE: TELSTRA / COMMS PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



**COTTAGE SURVEYS**  
LICENSED SURVEYORS

87-89 Guthrie Street  
Osborne Park, WA 6017

PO Box 1611  
Osborne Park  
Business Centre WA 6917

P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

JOB #	536101	GPS	Lat: -32.008211 Long: 115.845488
CLIENT	Brendan & Anika Lewis	ORDER #	22027
ADDRESS	#13 Killilian Road	LOT	Lot 83 (DP 422296 - Unapproved)
SUBURB	Applecross	AREA	531m²
LGA	CITY OF MELVILLE	DATE	02 Nov 22
DRAWN	J. Genovese	SSA No	

ROADS	Bitumen	ELEC.	U/Ground(Not Loc)
KERBS	Semi-Mount / Nil	COMMS.	Not Loc.
FOOTPATH	Nil	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Refer to Survey	COASTAL	200m To River (Approximate Only Confirm With Shire)

**BEAUMONDE HOMES**

A DIVISION OF AINTREE HOLDINGS PTY LTD REG No: 7082

SUITE 1, 30 HASLER ROAD,  
OSBORNE PARK, WA, 6017  
TEL: (08) 9446 3388 FAX: (08) 9446 3348  
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HOUSE MODEL:	CUSTOM	DRAWING:	SITE PLAN
CLIENT:	LEWIS RESIDENCE	ADDRESS:	LOT 83 (#13) KILLILIAN ROAD APPLECROSS
SCALE:	1:200	PAGE:	2 OF 20
DATE:	8/04/2024	JOB No:	-
DRAWN:	JR	SIZE:	A2

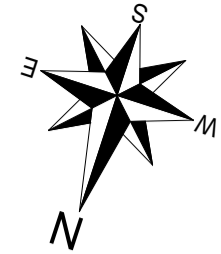
FINAL PLANS DATE:	.....		
OWNER:	.....	WITNESS:	.....
OWNER:	.....	WITNESS:	.....
BUILDER:	.....		

WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

NOTE: EASEMENT (EASMENT). REFER TO SEC 27A T.P.&D. ACT REG 6 SEE DOCUMENT

NOTE: UNDERGROUND POWER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH WESTERN POWER.

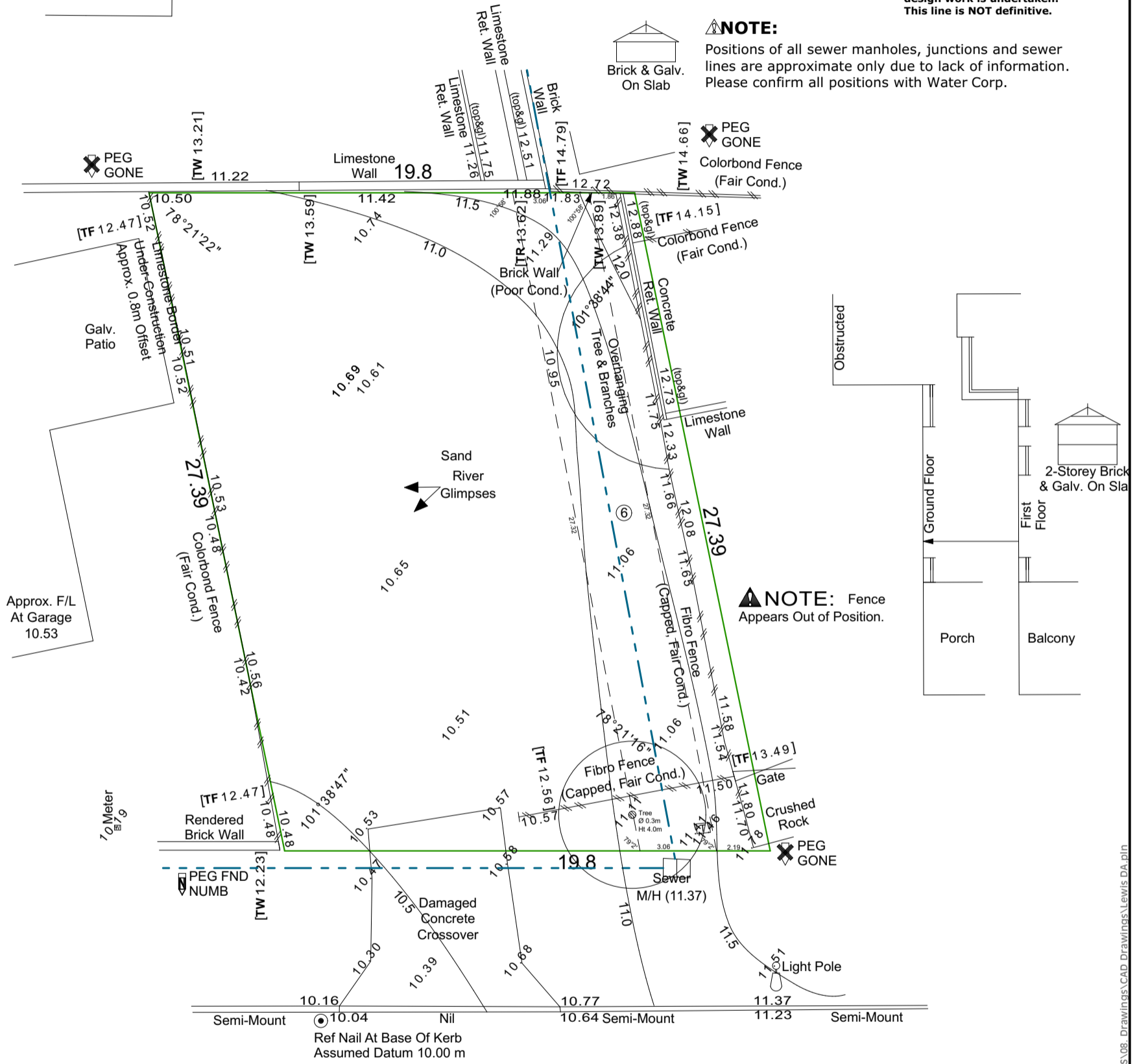
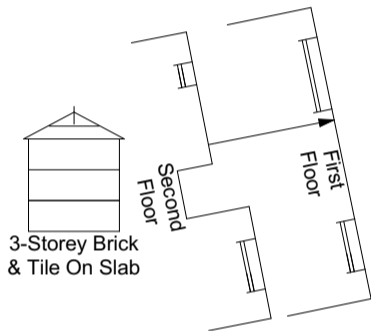
⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



NOTE: No Sewer Junction Shown On Water Corp. E-Plan. Check With Water Corp.

NOTE: Approx. Sewer Clearance Line (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.

NOTE: Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.



DISCLAIMER: Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan.

DISCLAIMER: Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment.

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NOTE: TELSTRA / COMMS PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

<b>COTTAGE SURVEYS</b> LICENSED SURVEYORS	87-89 Guthrie Street Osborne Park, WA 6017	<b>JOB #</b> 536101	<b>GPS</b> Lat: -32.008211 Long: 115.845488	<b>ROADS</b> Bitumen	<b>ELEC.</b> U/Ground(Not Loc)
	PO Box 1611 Osborne Park Business Centre WA 6917	<b>CLIENT</b> Brendan & Ankita Lewis	<b>ORDER #</b> 22027	<b>KERBS</b> Semi-Mount / Nil	<b>COMMS.</b> Not Loc.
P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	<b>ADDRESS</b> #13 Killilan Road	<b>LOT</b> Lot 83 (DP 422296 - Unapproved)	<b>FOOTPATH</b> Nil	<b>SOIL</b> Sand	<b>WATER</b> Yes
	<b>SUBURB</b> Applecross	<b>AREA</b> 531m <sup>2</sup>	<b>DRAINAGE</b> Good	<b>GAS</b> Check Alinta	<b>SEWER</b> Yes
	<b>LGA</b> CITY OF MELVILLE	<b>DATE</b> 02 Nov 22	<b>VEGETATION</b> Refer to Survey	<b>COASTAL</b> 200m To River (Approximate Only Confirm With Shire)	
	<b>DRAWN</b> J. Genovese	<b>SSA</b> No			

PRELIMINARY PLANS NOT FOR CONSTRUCTION

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6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.

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SUITE 1, 30 HASLER ROAD,  
OSBORNE PARK, WA. 6017  
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HOUSE MODEL: CUSTOM  
CLIENT: LEWIS RESIDENCE  
SCALE: 1:200  
DATE: 8/04/2024  
DRAWN: JR

DRAWING: EXISTING SURVEY  
ADDRESS: LOT 83 (#13) KILLILAN ROAD APPLECROSS  
PAGE: 3 of 20  
JOB No: -  
SIZE: A3

FINAL PLANS DATE: .....  
OWNER: ..... WITNESS:.....  
OWNER: ..... WITNESS:.....  
BUILDER: .....

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Location	Area	Perimeter
<b>Ground Floor</b>		
Living	171.55	62.7
Garage	54.20	29.9
Porch	26.18	35.6
Alfresco	18.03	18.0
<b>Total</b>	<b>269.96 m<sup>2</sup></b>	<b>146.2 m</b>
<b>Upper Floor</b>		
Living	215.84	70.1
Balcony	35.50	28.1
<b>Total</b>	<b>251.34 m<sup>2</sup></b>	<b>98.2 m</b>
<b>Overall Total</b>	<b>521.30 m<sup>2</sup></b>	<b>244.4 m</b>

**REV Int. Description Date**

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HOUSE MODEL: **CUSTOM**

CLIENT: **LEWIS RESIDENCE**

SCALE: 1:100

DATE: **8/04/2024**

DRAWN: **JR**

DRAWING: **GROUND FLOOR**

ADDRESS: **LOT 83 (#13) KILLILAN ROAD APPLECROSS**

PAGE: **4 of 20**

JOB No: **-**

SIZE: **A2**

FINAL PLANS DATE: .....

OWNER: ..... WITNESS: .....

OWNER: ..... WITNESS: .....

BUILDER: .....



AREAS		
Location	Area	Perimeter
<b>Ground Floor</b>		
Living	171.55	62.7
Garage	54.20	29.9
Porch	26.18	35.6
Alfresco	18.03	18.0
<b>Total</b>	<b>269.96 m<sup>2</sup></b>	<b>146.2 m</b>
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Living	215.84	70.1
Balcony	35.50	28.1
<b>Total</b>	<b>251.34 m<sup>2</sup></b>	<b>98.2 m</b>
<b>Overall</b>	<b>521.30 m<sup>2</sup></b>	<b>244.4 m</b>

**REV Int. Description Date**

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HOUSE MODEL: **CUSTOM**

CLIENT: **LEWIS RESIDENCE**

SCALE: 1:100

DATE: **8/04/2024**

DRAWN: **JR**

PAGE: **5 of 20**

JOB No: **-**

SIZE: **A2**

DRAWING: **UPPER FLOOR**

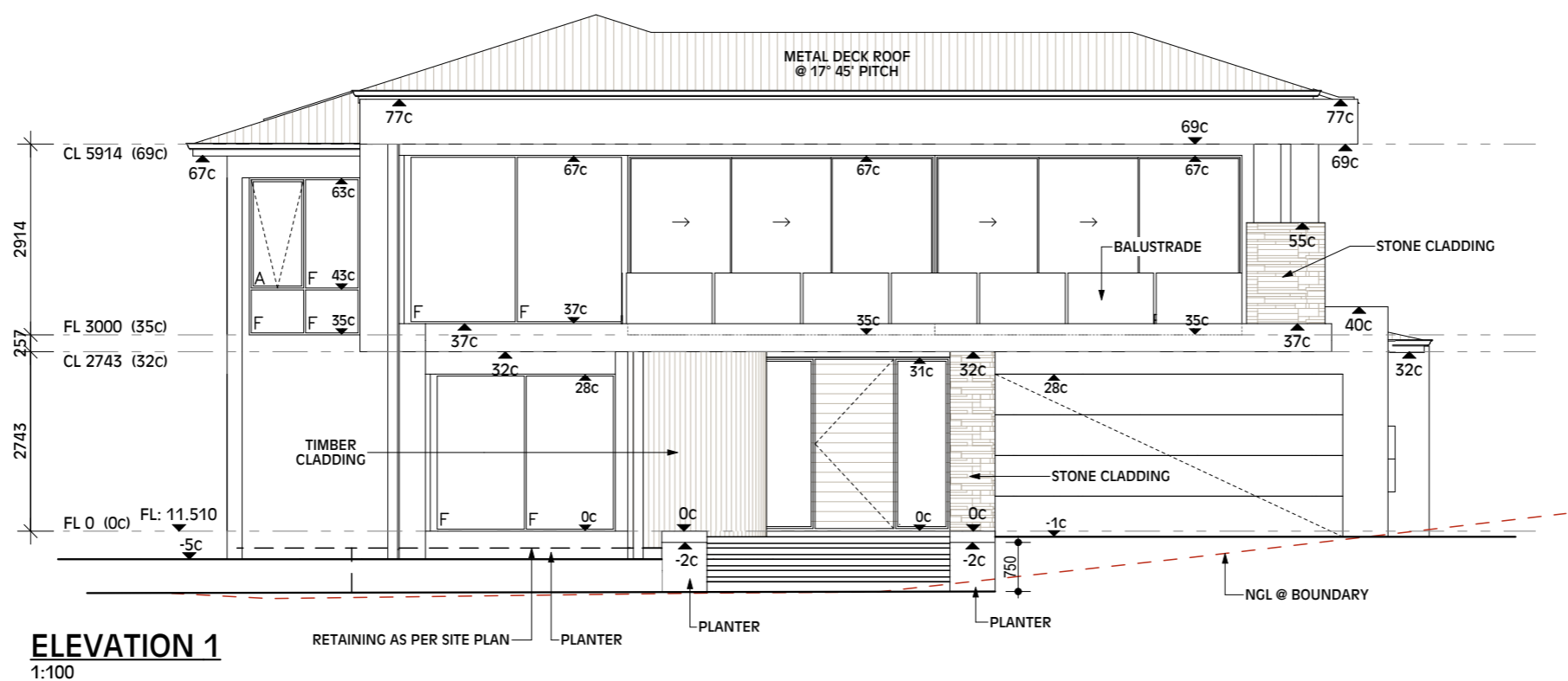
ADDRESS: **LOT 83 (#13) KILLILAN ROAD APPLECROSS**

FINAL PLANS DATE: .....

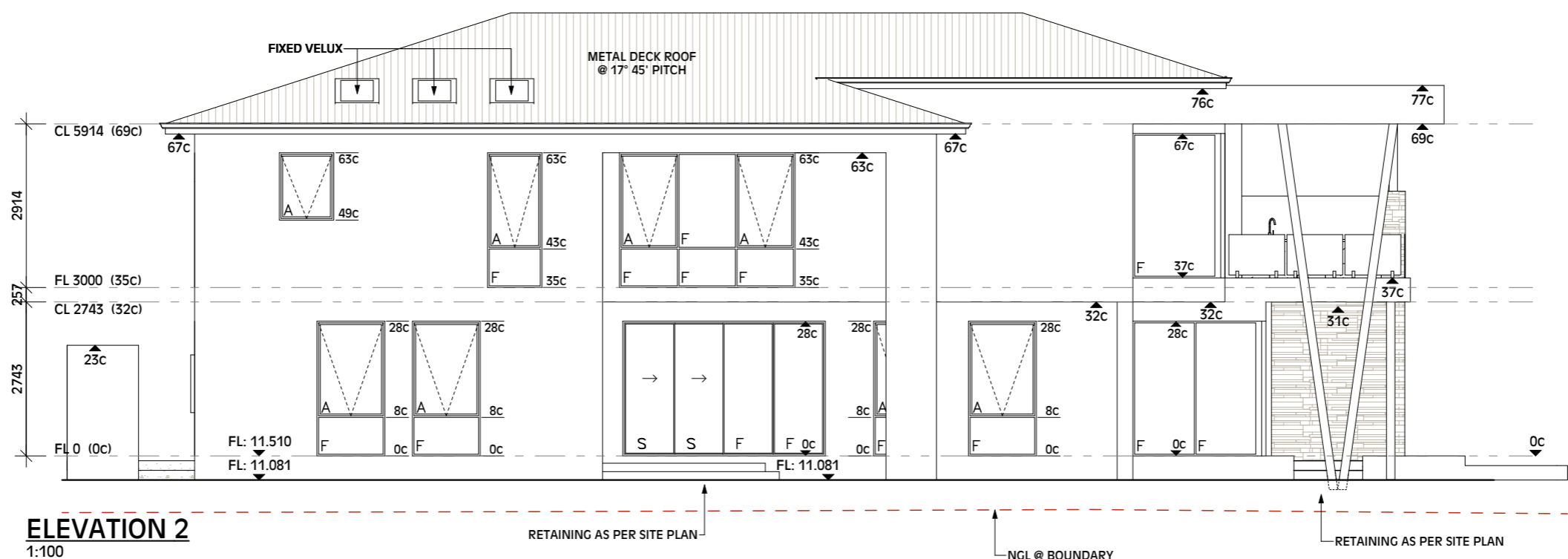
OWNER: ..... WITNESS: .....

OWNER: ..... WITNESS: .....

BUILDER: .....



**ELEVATION 1**  
1:100



**ELEVATION 2**  
1:100

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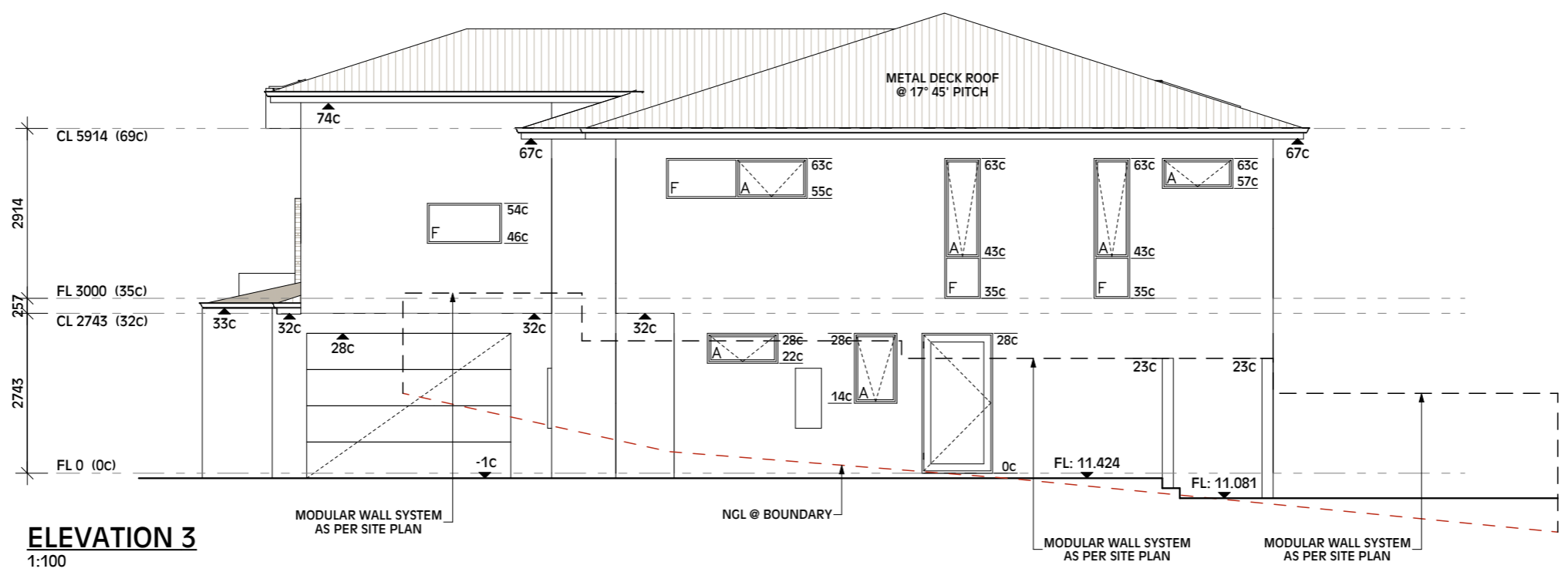
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HOUSE MODEL: **CUSTOM**  
 CLIENT: **LEWIS RESIDENCE**  
 SCALE: 1:100  
 DATE: **8/04/2024**  
 DRAWN: **JR**

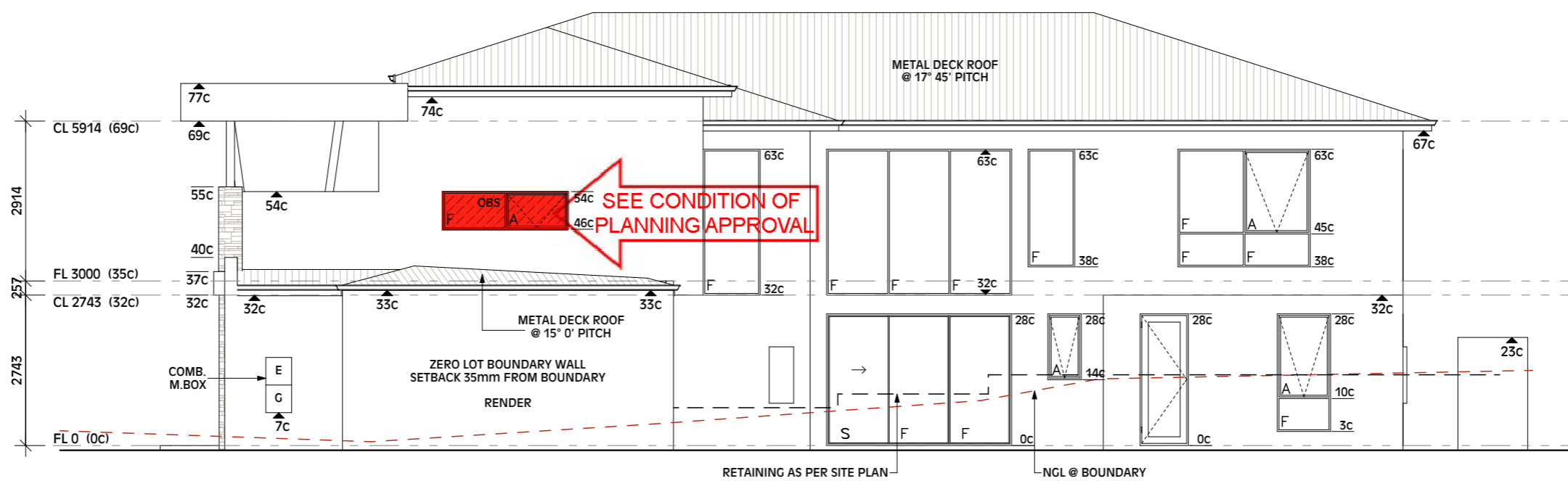
DRAWING: **ELEVATIONS**  
 ADDRESS: **LOT 83 (#13) KILLILAN ROAD APPLECROSS**  
 PAGE: **6 of 20**  
 JOB No: **-**  
 SIZE: **A3**

FINAL PLANS DATE: .....  
 OWNER: ..... WITNESS:.....  
 OWNER: ..... WITNESS:.....  
 BUILDER: .....

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**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100

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HOUSE MODEL: **CUSTOM**  
CLIENT: **LEWIS RESIDENCE**  
SCALE: 1:100  
DATE: **8/04/2024**  
DRAWN: **JR**

DRAWING: **ELEVATIONS 2**  
ADDRESS: **LOT 83 (#13) KILLILAN ROAD APPLECROSS**  
PAGE: **7 of 20**  
JOB No: **-**  
SIZE: **A3**

FINAL PLANS DATE: .....  
OWNER: ..... WITNESS:.....  
OWNER: ..... WITNESS:.....  
BUILDER: .....

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