

SSL 2

SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	372.39m ²
SITE COV. AREA	162.25m ²

SITE COVER = 43.6%

COMMON AREA (83m ² /2)	42m ²
SITE AREA + COMMON AREA	414m ²

ADJUSTED SITE COVERAGE = 39.20%

Soak Well Type	No.	
SW 1200x900	1	1.0 m ³
SW 1200x1200	2	2.7 m ³
Total Capacity		3.7 m³
Roof Area GF		87.7 m ²
Paved Area		74.8 m ²
Roof Area UF		120.2 m ²
Total Area		282.8 m²
Capacity Required (Area x 0.0125)		3.5 m ³
Extra Capacity Provided		0.2 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

SSL 1

SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	285.09m ²
SITE COV. AREA	155.18m ²

SITE COVER = 54.4%

COMMON AREA (83m ² /2)	42m ²
SITE AREA + COMMON AREA	327m ²

ADJUSTED SITE COVERAGE = 47.51%

Soak Well Type	No.	
SW 1200x900	4	4.1 m ³
Total Capacity		4.1 m³
Roof Area GF		97.4 m ²
Paved Area		110.1 m ²
Roof Area UF		103.1 m ²
Total Area		310.6 m²
Capacity Required (Area x 0.0125)		3.9 m ³
Extra Capacity Provided		0.2 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

Proposed L'stone Retaining. Limestone Retaining (required) By Owner

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 OWNERDATE.....
 BUILDERDATE.....

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BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

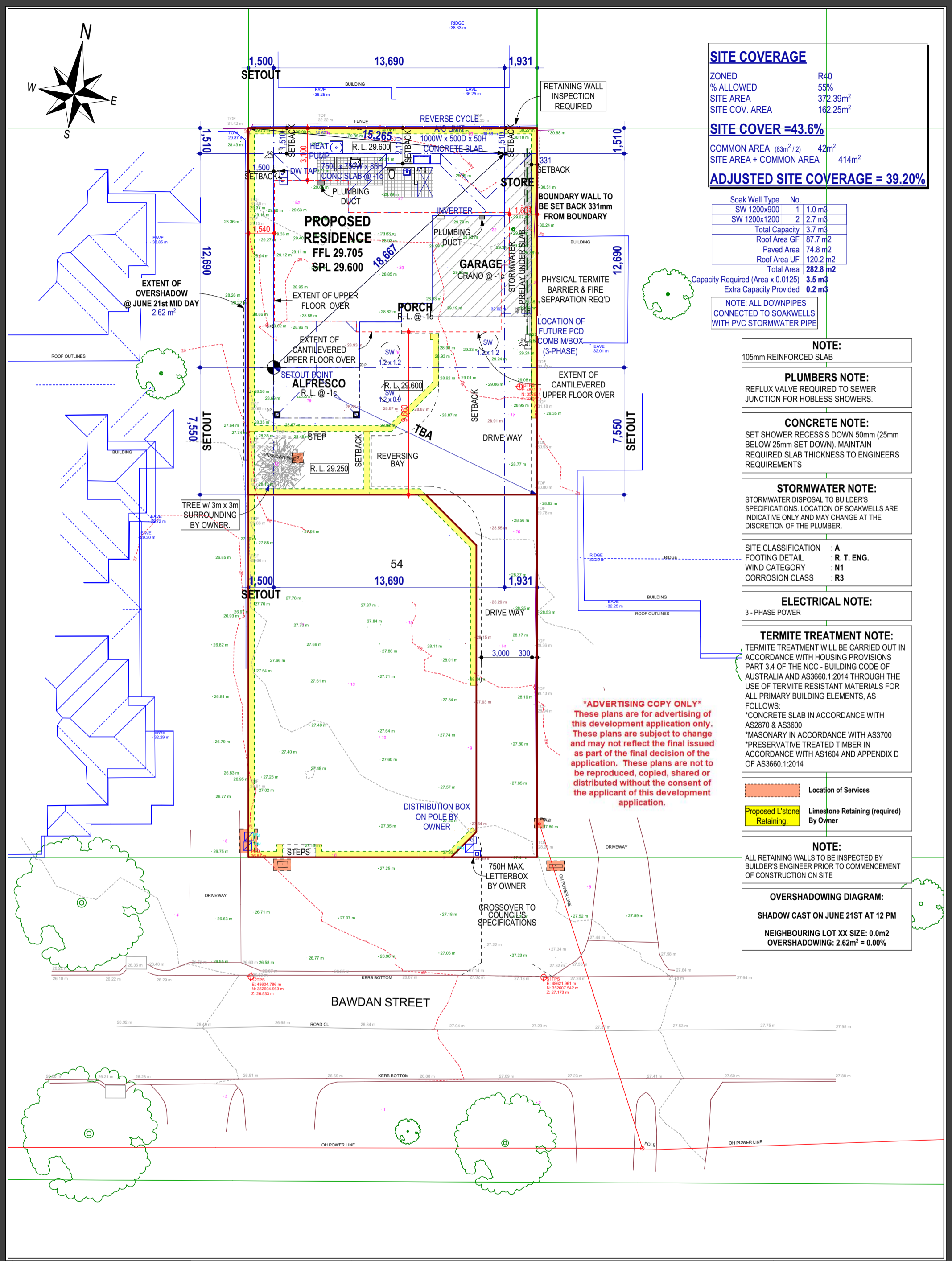
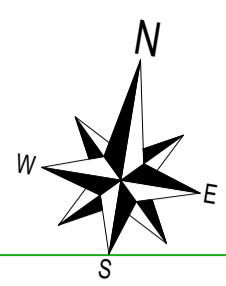
REV:	DESCRIPTION:	INT:	DATE:
1'	CONTRACT DRAWING & QUOTE SSL163 (ITEMS 1-38 & 1-10)	ZL	26.01.2026
2'	SUBDIVISION PLAN AMEND	CS	16.03.2026

CLIENT: **SPRATT**

SITE ADDRESS: **LOT 209 SSL2 (#54) BAWDAN STREET WILLAGEE WA 6153**

SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL COMBINED SITE PLAN	
DATE: 16/03/2026	SHEET N°: 04 of 21
SCALE: 1:200	JOB N°: 2510032R
REVISION N°: 01	



SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	372.39m ²
SITE COV. AREA	162.25m ²
SITE COVER = 43.6%	
COMMON AREA (83m ² /2)	42m ²
SITE AREA + COMMON AREA	414m ²
ADJUSTED SITE COVERAGE = 39.20%	

Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m ³
SW 1200x1200	2	2.7 m ³
Total Capacity		3.7 m ³
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Paved Area		74.8 m ²
Roof Area UF		120.2 m ²
Total Area		282.8 m ²
Capacity Required (Area x 0.0125)		3.5 m ³
Extra Capacity Provided		0.2 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

- NOTE:**
105mm REINFORCED SLAB
- PLUMBERS NOTE:**
REFLUX VALVE REQUIRED TO SEWER JUNCTION FOR HOBBLES SHOWERS.
- CONCRETE NOTE:**
SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN). MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS
- STORMWATER NOTE:**
STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS. LOCATION OF SOAKWELLS ARE INDICATIVE ONLY AND MAY CHANGE AT THE DISCRETION OF THE PLUMBER.
- SITE CLASSIFICATION : A
FOOTING DETAIL : R. T. ENG.
WIND CATEGORY : N1
CORROSION CLASS : R3

- ELECTRICAL NOTE:**
3 - PHASE POWER
- TERMITE TREATMENT NOTE:**
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH HOUSING PROVISIONS PART 3.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

- Location of Services
- Proposed L'stone Retaining
- Limestone Retaining (required) By Owner

NOTE:
ALL RETAINING WALLS TO BE INSPECTED BY BUILDER'S ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION ON SITE

OVERSHADOWING DIAGRAM:
SHADOW CAST ON JUNE 21ST AT 12 PM
NEIGHBOURING LOT XX SIZE: 0.0m²
OVERSHADOWING: 2.62m² = 0.00%

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9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

REV:	DESCRIPTION:	INT:	DATE:
1'	CONTRACT DRAWING & QUOTE SSL163 (ITEMS 1-38 & 1-10)	ZL	26.01.2026
2'	SUBDIVISION PLAN AMEND	CS	16.03.2026

CLIENT: **SPRATT**
SITE ADDRESS: **LOT 209 SSL2 (#54) BAWDAN STREET WILLAGEE WA 6153**
SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL SITE PLAN	
DATE: 16/03/2026	SHEET N°: 05 of 21
SCALE: 1:200	JOB N°: 2510032R
REVISION N°: 01	

CL @ 2435 AFL THRU'OUT UF
CL @ 30c THRU'OUT - GF
 ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
 CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
 (NO PLASTER)
 EXTENT OF RENDER AS MARKED.
 REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
 CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
 TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
 TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
 FRAME CONSTRUCTION
 CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO
 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
 OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE
 INDICATIVE ONLY & MAY CHANGE AT THE
 DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
 GROUND FLOOR: Double Brick, Slab on Ground
 UPPER FLOOR SLAB: Concrete on Metal Truss
 UPPER FLOOR WALLS: Timber Wall, 100mm Thermal Clad
 ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
 FOOTING DETAIL : R. T. ENG.
 WIND CATEGORY : N1
 CORROSION CLASS : R3

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN
 ACCORDANCE WITH HOUSING PROVISIONS PART 3.4 OF THE
 NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014
 THROUGH THE USE OF TERMITE RESISTANT MATERIALS
 FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
 *CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
 *MASONRY IN ACCORDANCE WITH AS3700 *PRESERVATIVE
 TREATED TIMBER IN ACCORDANCE WITH AS1604 AND
 APPENDIX D OF AS3660.1:2014

BRICK LAYER NOTE:

RUN KITCHEN & SCULLERY BENCHTOP UNDER
 WINDOW FRAME. CUT BWK DOWN TO SUIT
 BENCHTOP SELECTION.

NCC NOTE:

LIFT OFF HINGES WHERE REQUIRED IN
 ACCORDANCE WITH PART 10.4.2 OF HOUSING
 PROVISIONS

NCC NOTE:

GUTTERS & DOWNPIPES IN ACCORDANCE WITH
 AS3500.3 AND NCC

BRICK LAYER NOTES:

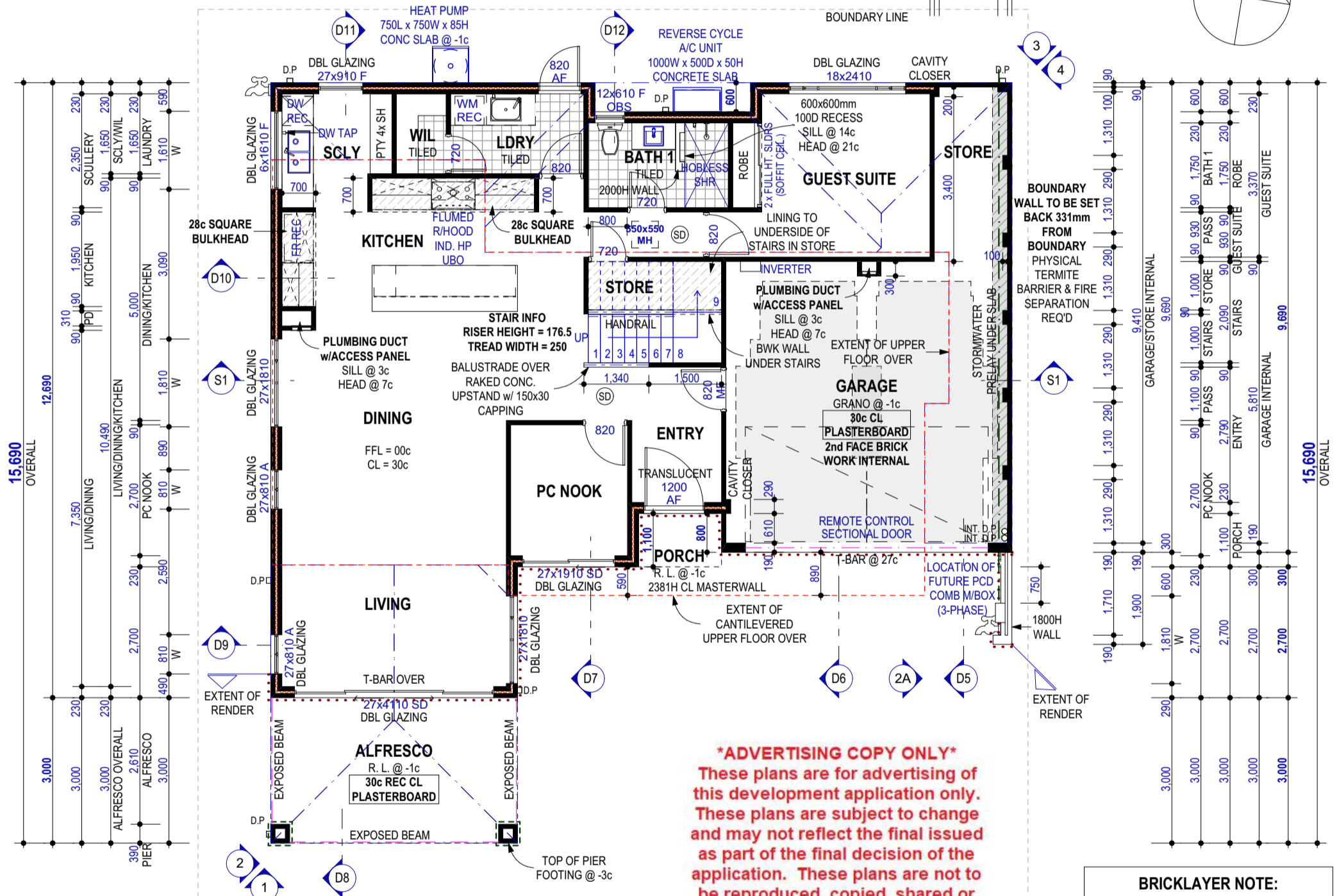
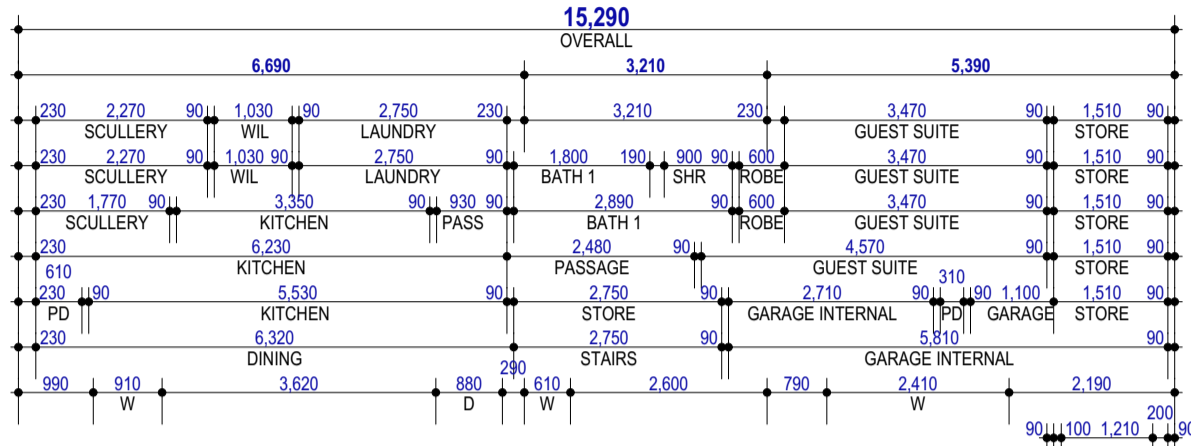
EXTENT OF RENDER TO FRONT ELEVATION
 GROUND FLOOR, RETURN & ENTIRE UPPER
 FLOOR.
 RENDER COLOUR 1 : - - - - -
 RENDER COLOUR 2 :
 EXTENT AS SHOWN ON PLAN.

ACOUSTIC NOTE:

ACOUSTIC REPORT REQUIRED. WINDOWS,
 WALLS & CEILINGS CONFIGURATION MAY
 CHANGE UPON RECEIPT.

ENERGY COMPLIANCE :

- CAVITY INSULATION TO ALL CAVITY BWK
 SHOWN
 - DOUBLE GLAZING THROUGHOUT EXCLUDING
 ENTRY & WET AREA
 - EXTERNAL WALL COLOUR NO DARKER THAN
 SA<0.70
 - ROOF COLOUR NO DARKER THAN SA<0.64



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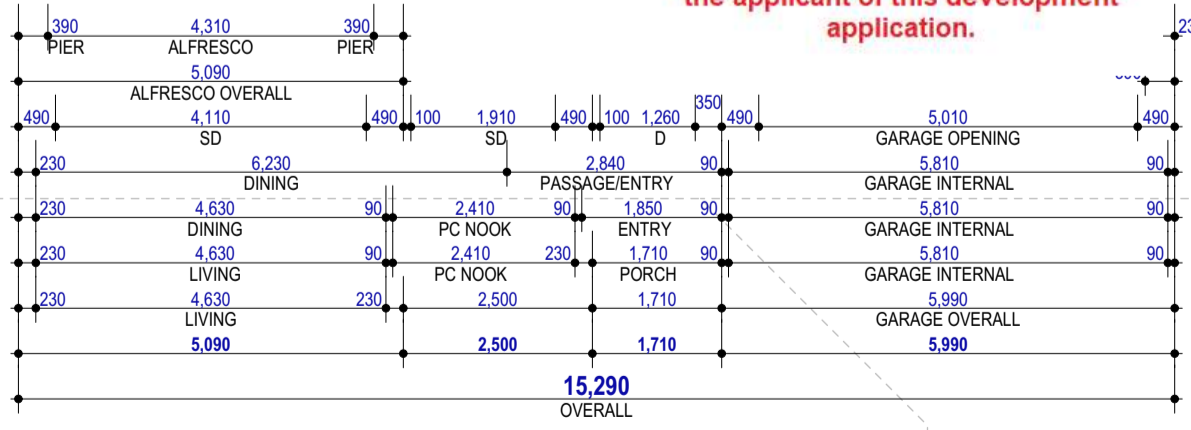
FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
 450W
 ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES
 TO HAVE 4X SHELVES @ 400 CTS 450W
 BROOM & CLOAK CUPD'S TO HAVE 1X SHELF
 ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

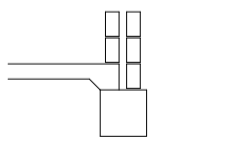
OTHER NOTES

PROVIDE R4.1 INSULATION TO CEILING THRU'
 OUT HOUSE AND GARAGE ONLY TO BCA REQ.
 UPPER FLOOR TO BE TIED DOWN TO GROUND
 FLOOR AS PER ENGINEERS SPECIFICATION
 ALL GLAZING TO COMPLY WITH AS2047



BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X
 162 X 90 (1st external course to be 2
 course bricks laid in THIRD BOND)



AREAS		
Name	Area	Perimeter
HOUSE - GROUND	119.510	53.960
HOUSE - UPPER	102.090	45.880
GARAGE/STORE	41.419	31.360
ALFRESCO	15.270	16.180
PORCH	1.881	5.620
TOTAL	280.170 m²	

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 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

REV:	DESCRIPTION:	INT:	DATE:
1'	CONTRACT DRAWING & QUOTE SSL163 (ITEMS 1-38 & 1-10)	ZL	26.01.2026
2'	SUBDIVISION PLAN AMEND	CS	16.03.2026

CLIENT:
SPRATT
 SITE ADDRESS:
LOT 209 SSL2 (#54) BAWDAN STREET WILLAGEE WA 6153
 SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL GROUND FLOOR PLAN
 DATE: 16/03/2026 SHEET N°: 08 of 21
 SCALE: 1:100
 REVISION N°: 01 JOB N°: 2510032R

CL @ 2435 AFL THRU'OUT UF
CL @ 30c THRU'OUT - GF
 ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
 CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
 (NO PLASTER)
 EXTENT OF RENDER AS MARKED.
 REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
 CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
 TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
 TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
 FRAME CONSTRUCTION
 CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO
 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
 OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE
 INDICATIVE ONLY & MAY CHANGE AT THE
 DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
 GROUND FLOOR: Double Brick, Slab on Ground
 UPPER FLOOR SLAB: Concrete on Metal Truss
 UPPER FLOOR WALLS: Timber Wall, 100mm Thermal Clad
 ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
 FOOTING DETAIL : R. T. ENG.
 WIND CATEGORY : N1
 CORROSION CLASS : R3

ENERGY COMPLIANCE :

- CAVITY INSULATION TO ALL CAVITY BWK SHOWN
- DOUBLE GLAZING THROUGHOUT EXCLUDING ENTRY & WET AREA
- EXTERNAL WALL COLOUR NO DARKER THAN SA<0.70
- ROOF COLOUR NO DARKER THAN SA<0.64

UPPER FLOOR CONSTRUCTION NOTE

- ALLOW EXTRA STUDWORK FOR:
- WC ROLL HOLDER @ 750mm
 - TOWEL RAIL @ 1000mm
 - TOWEL RING @ 1200mm
 - TOILET @ 750mm

UPPER FLOOR HEIGHTS
 FFL = 3000mm
 CL = 5435mm
 HEIGHT O/A = 2435mm (28c + PL)

UPPER FLOOR GLAZING
 UPPER FLOOR WINDOWS TO COMPLY WITH HOUSING PROVISIONS 11.3.7

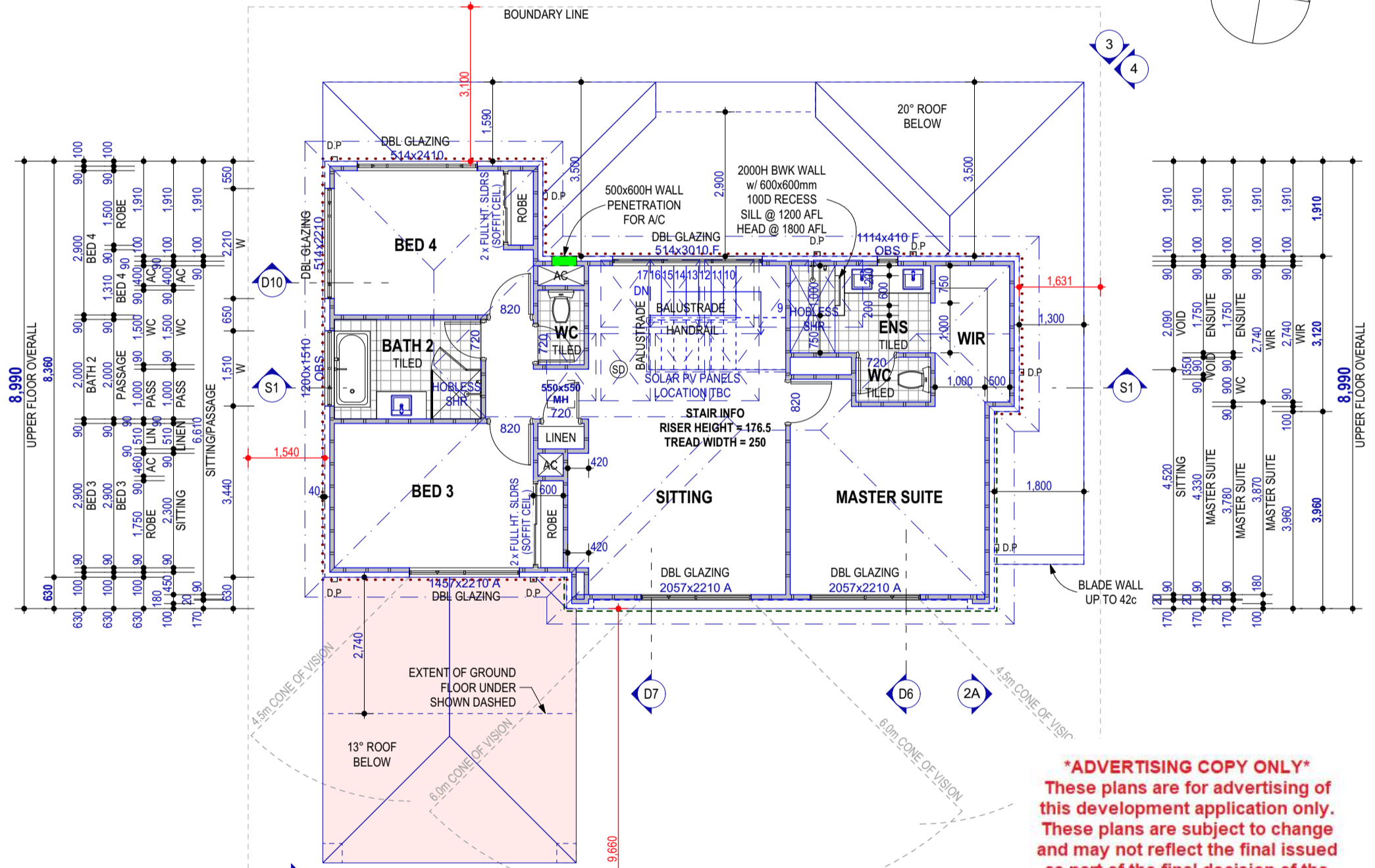
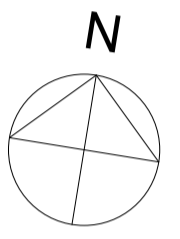
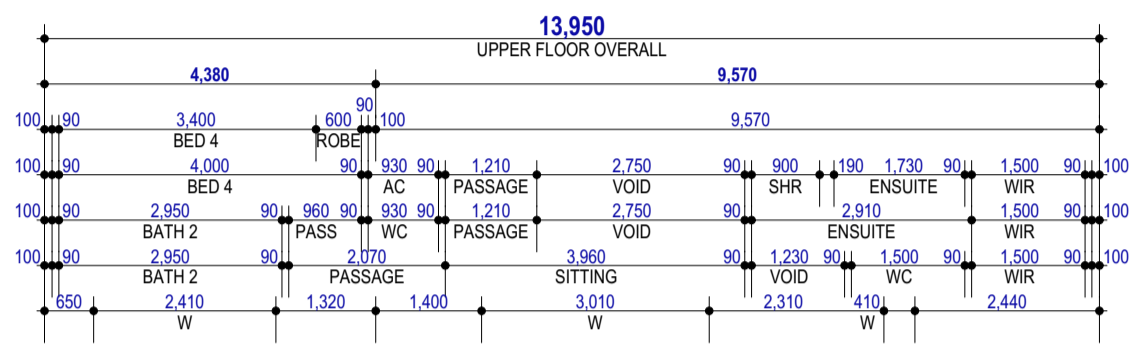
NCC NOTE:
 LIFT OFF HINGES WHERE REQUIRED IN ACCORDANCE WITH PART 10.4.2 OF HOUSING PROVISIONS

NCC NOTE:
 GUTTERS & DOWNPIPES IN ACCORDANCE WITH AS3500.3 AND NCC

BRICK LAYER NOTES:
 EXTENT OF RENDER TO FRONT ELEVATION GROUND FLOOR, RETURN & ENTIRE UPPER FLOOR.
 RENDER COLOUR 1 : - - - - -
 RENDER COLOUR 2 :
 EXTENT AS SHOWN ON PLAN.

ACOUSTIC NOTE:
 ACOUSTIC REPORT REQUIRED. WINDOWS, WALLS & CEILINGS CONFIGURATION MAY CHANGE UPON RECEIPT.

NOMINATED CLADDING :
CLADDING : JAMES HARDIES SCYON AXON133 CLADDING LAID VERTICALLY AS PER PLANS.
WINDOW MOULDINGS : JAMES HARDIES AXENT TRIM 89mm x 38mm
CORNER TRIMS : TO SUIT NOMINATED CLADDING.

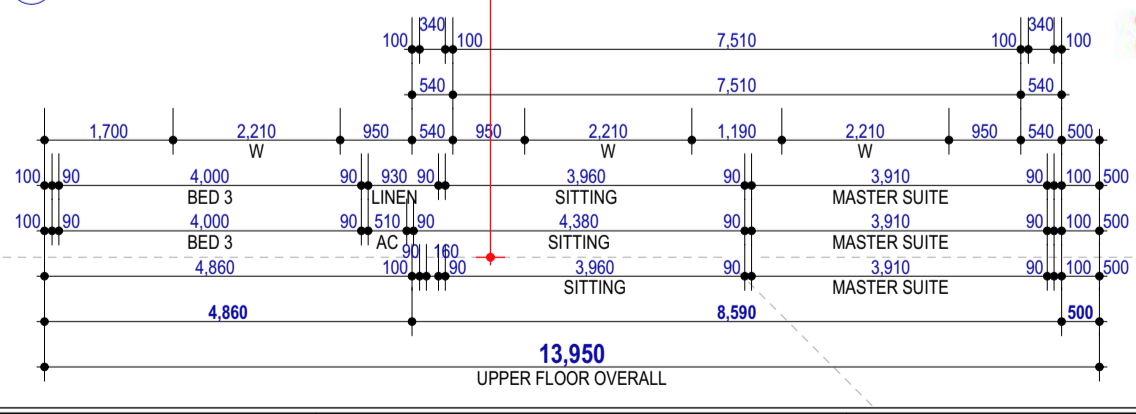


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FIXING CARPENTER NOTE
 ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W
 ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
 BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
 ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES
 PROVIDE R4.1 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.
 UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION
 ALL GLAZING TO COMPLY WITH AS2047



AREAS		
Name	Area	Perimeter
HOUSE - GROUND	119.510	53.960
HOUSE - UPPER	102.090	45.880
GARAGE/STORE	41.419	31.360
ALFRESCO	15.270	16.180
PORCH	1.881	5.620
TOTAL	280.170 m²	

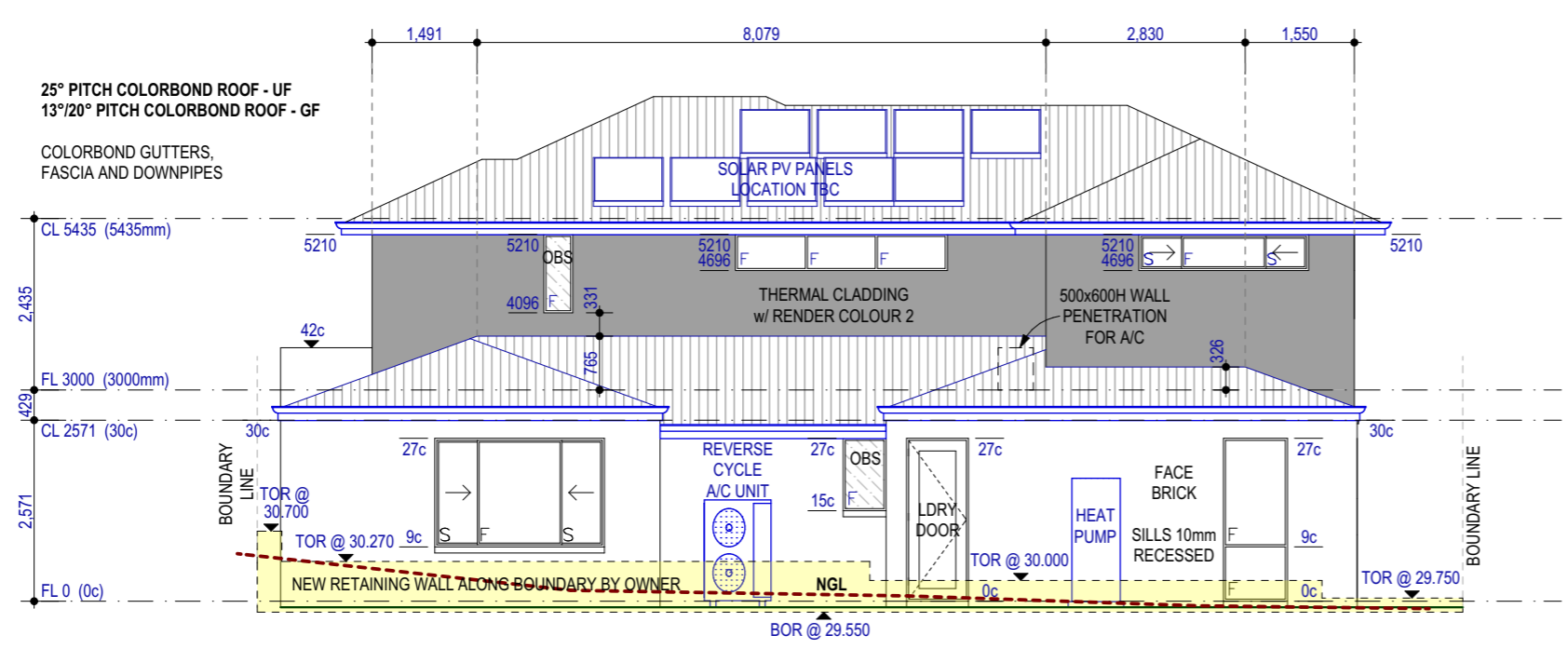
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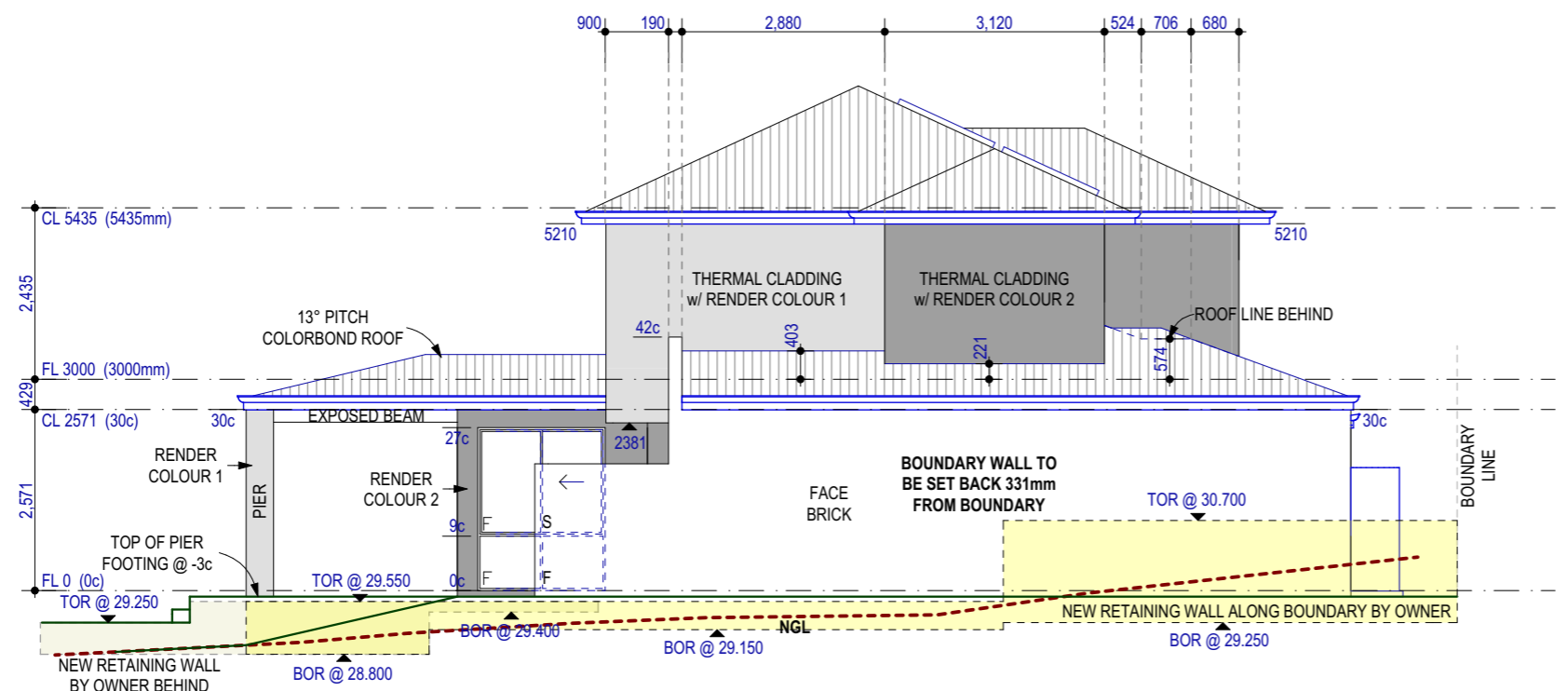
VARIATIONS:	DESCRIPTION:	INT:	DATE:
REV: '1'	CONTRACT DRAWING & QUOTE SSL163 (ITEMS 1-38 & 1-10)	ZL	26.01.2026
2'	SUBDIVISION PLAN AMEND	CS	16.03.2026

CLIENT: **SPRATT**
 SITE ADDRESS: **LOT 209 SSL2 (#54) BAWDAN STREET WILLAGEE WA 6153**
 SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL UPPER FLOOR PLAN
 DATE: 16/03/2026 SHEET N°: 09 of 21
 SCALE: 1:100
 REVISION N°: 01 JOB N°: 2510032R



3 ELEVATION
1:100



4 ELEVATION
1:100

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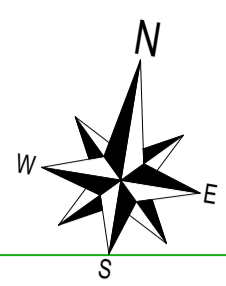
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REV: 1'	DESCRIPTION: CONTRACT DRAWING & QUOTE SSL153 (ITEMS 1-38 & 1-10) SUBDIVISION PLAN AMEND	ZL	26.01.2026
2'		CS	16.03.2026
3'			
4'			
5'			
6'			
7'			
8'			

CLIENT: **SPRATT**

SITE ADDRESS: **LOT 209 SSL2 (#54) BAWDAN STREET WILLAGEE WA 6153**

SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL ELEVATIONS 02	
DATE: 16/03/2026	SHEET N°: 11 of 21
SCALE: 1:100	
REVISION N°: 01	JOB N°: 2510032R



SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	285.09m ²
SITE COV. AREA	155.18m ²
SITE COVER = 54.4%	
COMMON AREA (83m ² / 1)	83m ²
SITE AREA + COMMON AREA	368m ²
ADJUSTED SITE COVERAGE = 42.16%	

Soak Well Type	No.	Capacity
SW 1200x900	4	4.1 m ³
Total Capacity		4.1 m³
Roof Area GF		97.4 m ²
Paved Area		110.1 m ²
Roof Area UF		103.1 m ²
Total Area		310.6 m²
Capacity Required (Area x 0.0125)		3.9 m³
Extra Capacity Provided		0.2 m³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

NOTE:
105mm REINFORCED SLAB

PLUMBERS NOTE:
REFLUX VALVE REQUIRED TO SEWER JUNCTION FOR HOBLESS SHOWERS.

CONCRETE NOTE:
SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN). MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:
STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS. LOCATION OF SOAKWELLS ARE INDICATIVE ONLY AND MAY CHANGE AT THE DISCRETION OF THE PLUMBER.

SITE CLASSIFICATION : A
FOOTING DETAIL : R. T. ENG.
WIND CATEGORY : N1
CORROSION CLASS : R3

ELECTRICAL NOTE:
3 - PHASE POWER

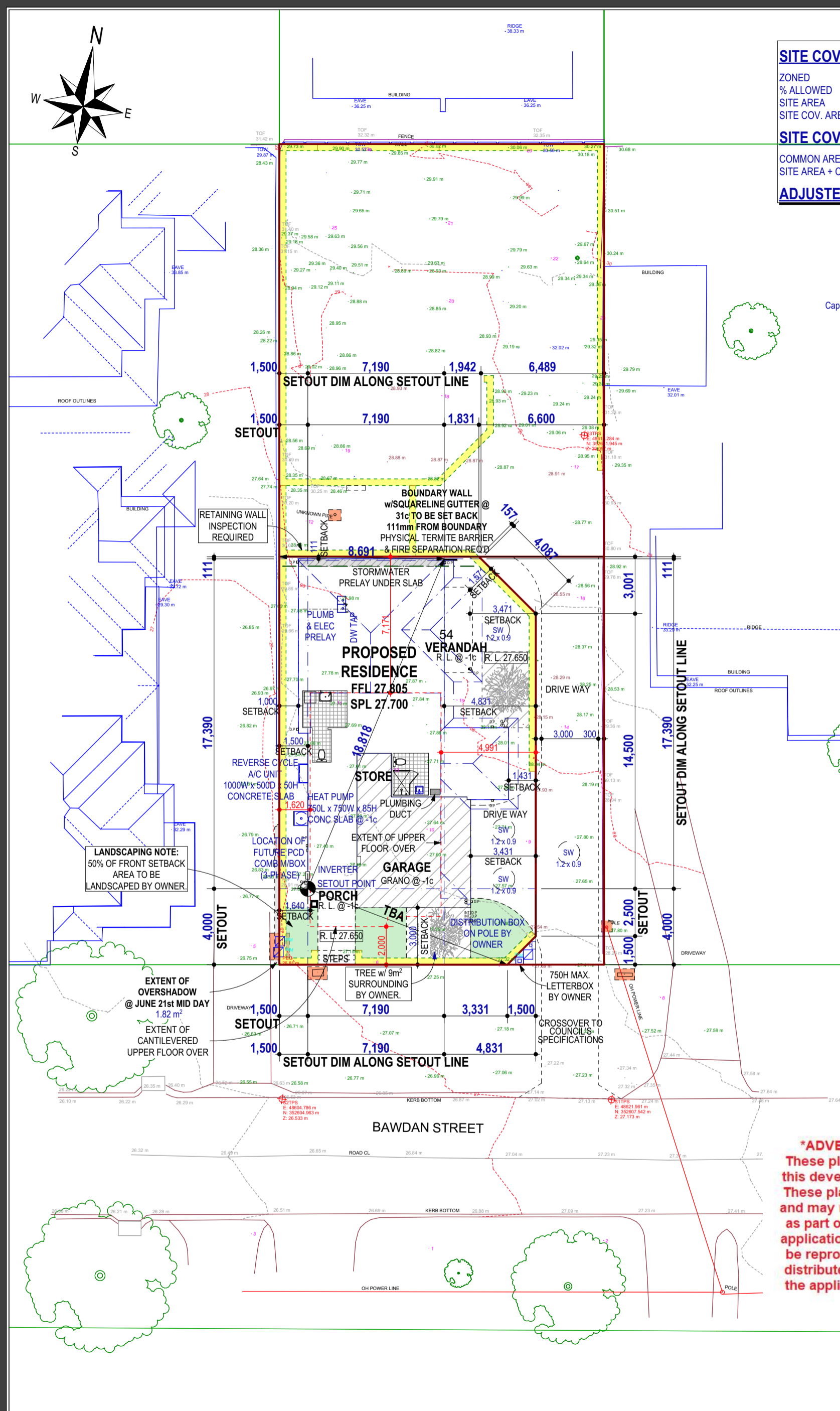
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*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

PRELAY NOTE:
PLUMBING & ELECTRICAL PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

	Location of Services
	Proposed L'stone Retaining (required) By Owner

NOTE:
ALL RETAINING WALLS TO BE INSPECTED BY BUILDER'S ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION ON SITE

OVERSHADOWING DIAGRAM:
SHADOW CAST ON JUNE 21ST AT 12 PM
NEIGHBOURING LOT XX SIZE: 0.0m²
OVERSHADOWING: 1.82m² = 0.00%



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REV:	DESCRIPTION:	INT:	DATE:
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6'			
7'			
8'			

CLIENT: **SPRATT**
SITE ADDRESS: **LOT 209 SSL1 (#54) BAWDAN STREET WILLAGEE WA 6153**
SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL	
SITE PLAN	
DATE: 16/03/2026	SHEET N°: 05 of 20
SCALE: 1:200	
REVISION N°: 01	JOB N°: 2510031R

CL @ 2435 AFL THRU'OUT UF
CL @ 30c THRU'OUT - GF
 ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
 CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
 (NO PLASTER)
 EXTENT OF RENDER AS MARKED.
 REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
 CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
 TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
 TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
 FRAME CONSTRUCTION
 CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO
 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
 OF RANGEHOOD FLUE

INTERNAL DOORS NOTE:
 ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
 GROUND FLOOR: Double Brick, Slab on Ground
 UPPER FLOOR SLAB: Concrete on Metal Truss
 UPPER FLOOR WALLS: Timber Wall, Nominated Cladding
 ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
 FOOTING DETAIL : R. T. ENG.
 WIND CATEGORY : N1
 CORROSION CLASS : R3

BRICK LAYER NOTES:

EXTENT OF RENDER TO GROUND FLOOR FRONT
 ELEVATION, GARAGE, GUEST SUITE & RETURNS
 ONLY.
 ACRYLIC RENDER :
 EXTENT AS SHOWN ON PLAN.

ACOUSTIC NOTE:

ACOUSTIC REPORT REQUIRED. WINDOWS,
 WALLS & CEILINGS CONFIGURATION MAY
 CHANGE UPON RECEIPT.

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED
 OUT IN ACCORDANCE WITH HOUSING
 PROVISIONS PART 3.4 OF THE NCC -
 BUILDING CODE OF AUSTRALIA AND
 AS3660.1:2014 THROUGH THE USE OF
 TERMITE RESISTANT MATERIALS FOR ALL
 PRIMARY BUILDING ELEMENTS, AS
 FOLLOWS:
 *CONCRETE SLAB IN ACCORDANCE WITH
 AS2870 & AS3600
 *MASONRY IN ACCORDANCE WITH
 AS3700 *PRESERVATIVE TREATED TIMBER
 IN ACCORDANCE WITH AS1604 AND
 APPENDIX D OF AS3660.1:2014

OTHER NOTES

PROVIDE R4.1 INSULATION TO CEILING THRU'
 OUT HOUSE AND GARAGE ONLY TO BCA REQ.
 UPPER FLOOR TO BE TIED DOWN TO GROUND
 FLOOR AS PER ENGINEERS SPECIFICATION
 ALL GLAZING TO COMPLY WITH AS2047

NCC NOTE:

LIFT OFF HINGES WHERE REQUIRED IN
 ACCORDANCE WITH PART 10.4.2 OF HOUSING
 PROVISIONS

NCC NOTE:

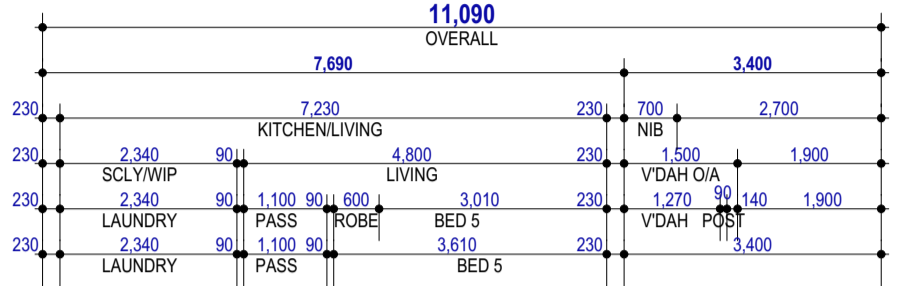
GUTTERS & DOWNPIPES IN ACCORDANCE WITH
 AS3500.3 AND NCC

ENERGY COMPLIANCE :

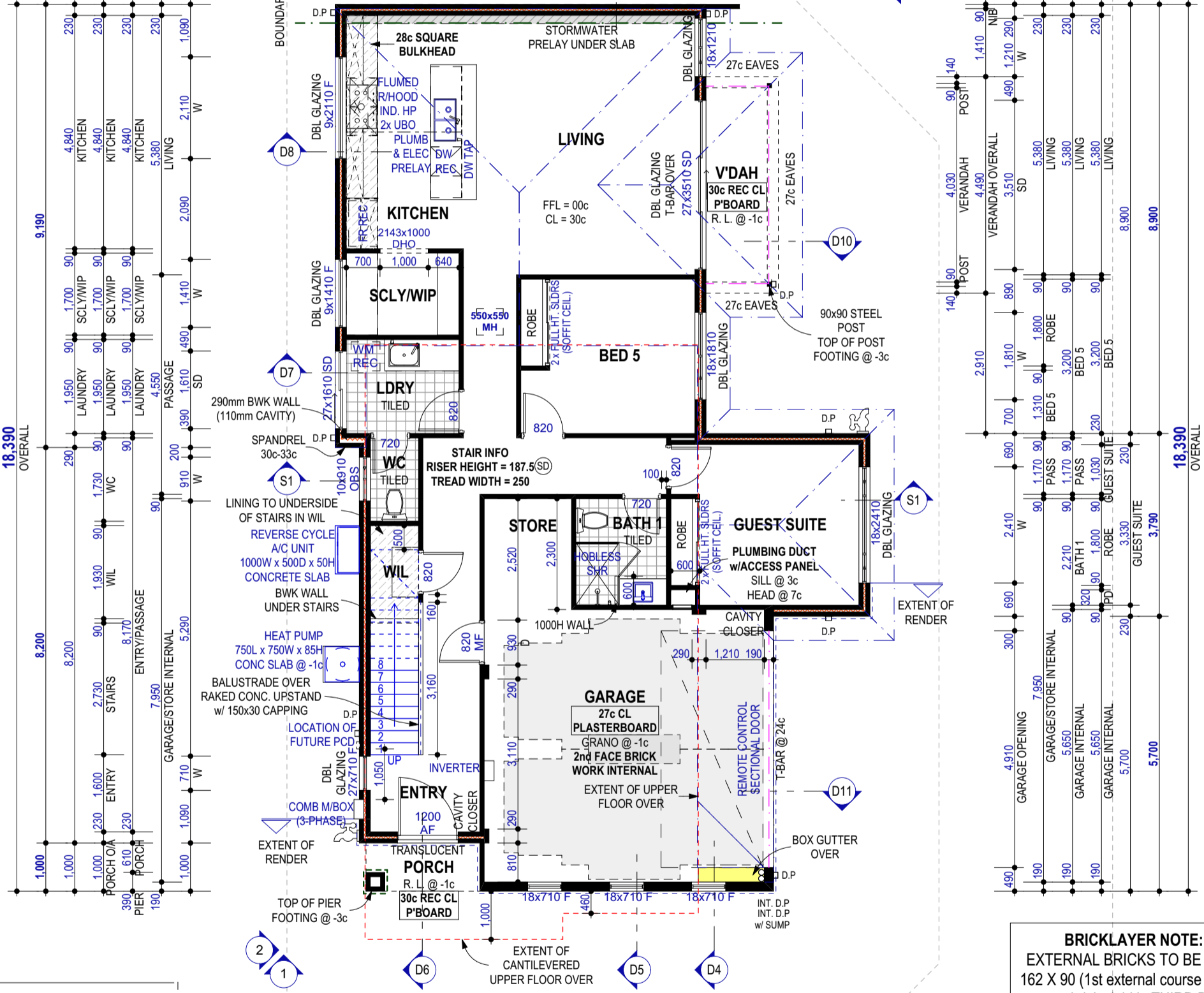
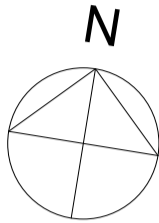
- CAVITY INSULATION TO ALL CAVITY BWK
 SHOWN
 - DOUBLE GLAZING THROUGHOUT EXCLUDING
 ENTRY & WET AREA
 - EXTERNAL WALL COLOUR NO DARKER THAN
 SA<0.70
 - ROOF COLOUR NO DARKER THAN SA<0.64

BRICK LAYER NOTE:

RUN KITCHEN & SCULLERY BENCHTOP UNDER
 WINDOW FRAME. CUT BWK DOWN TO SUIT
 BENCHTOP SELECTION.



BOUNDARY WALL
 w/SQUARELINE GUTTER @
 31c TO BE SET BACK
 111mm FROM BOUNDARY
 PHYSICAL TERMITE BARRIER
 & FIRE SEPARATION REQ'D



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 the applicant of this development
 application.

BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X
 162 X 90 (1st external course to be 2
 course bricks laid in THIRD BOND)

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	115.981	63.240
HOUSE - UPPER	83.683	38.480
GARAGE/STORE	39.266	28.460
VERANDAH	6.735	11.980
PORCH	2.360	6.720
TOTAL	248.025 m²	

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT :
 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

101
 BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

REV:	DESCRIPTION:	INT:	DATE:
1'	CONTRACT DRAWING & QUOTE SSL162 (ITEMS 1-33 & 1-10)	ZL	26.01.2026
2'	SUBDIVISION PLAN AMEND	CS	16.03.2026

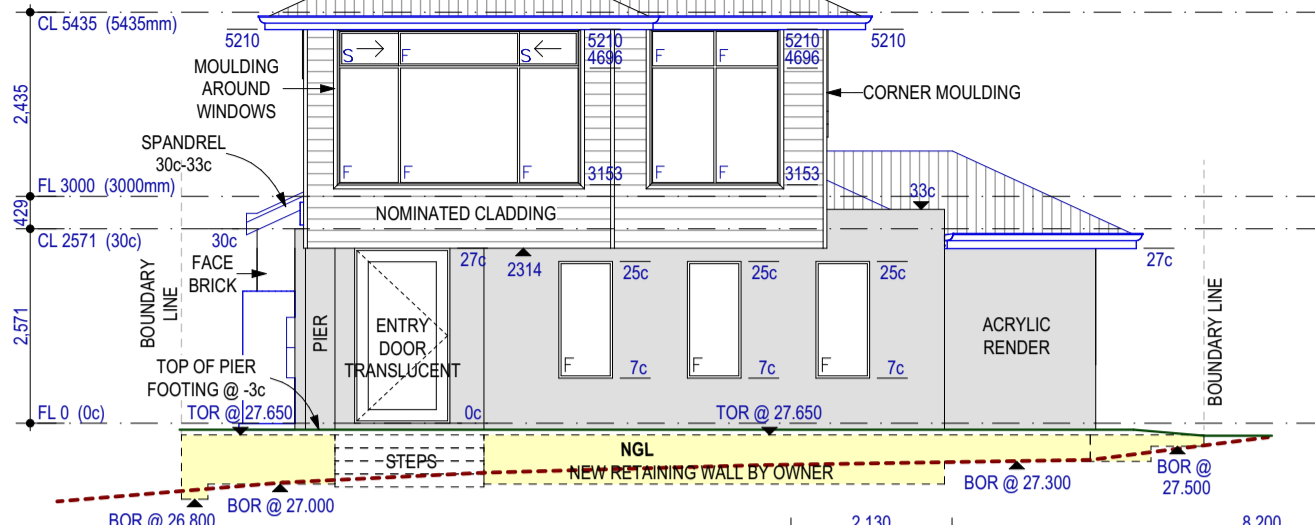
CLIENT:
SPRATT
 SITE ADDRESS:
LOT 209 SSL1 (#54) BAWDAN STREET WILLAGEE WA 6153
 SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL
GROUND FLOOR PLAN
 DATE: 16/03/2026 SHEET N°:
 SCALE: 1:100 **08** of 20
 REVISION N°: **01** JOB N°: **2510031R**

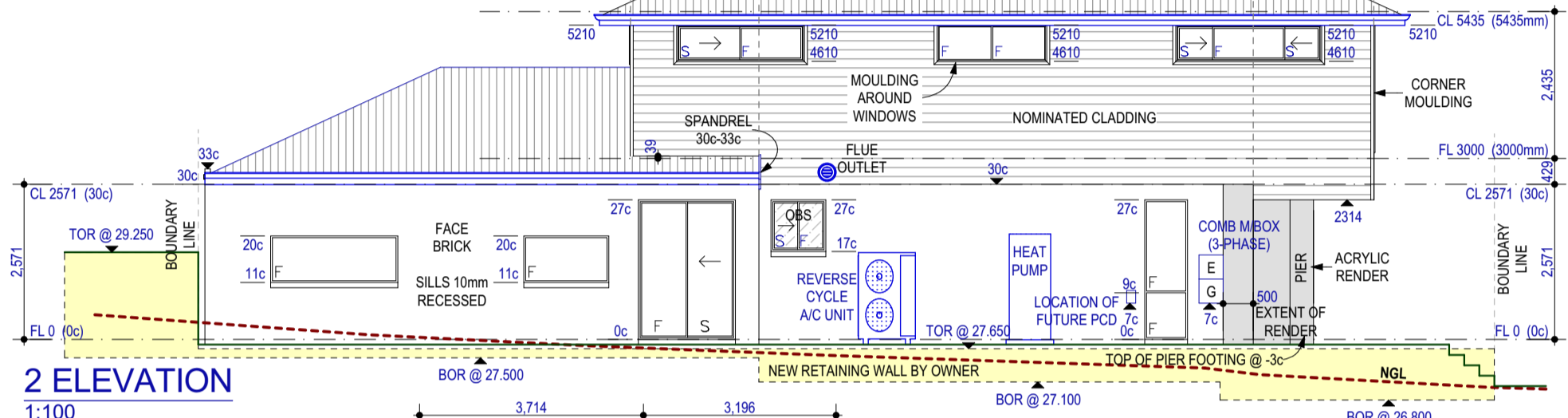
25° PITCH COLORBOND ROOF

COLORBOND GUTTERS, FASCIA AND DOWNPIPES

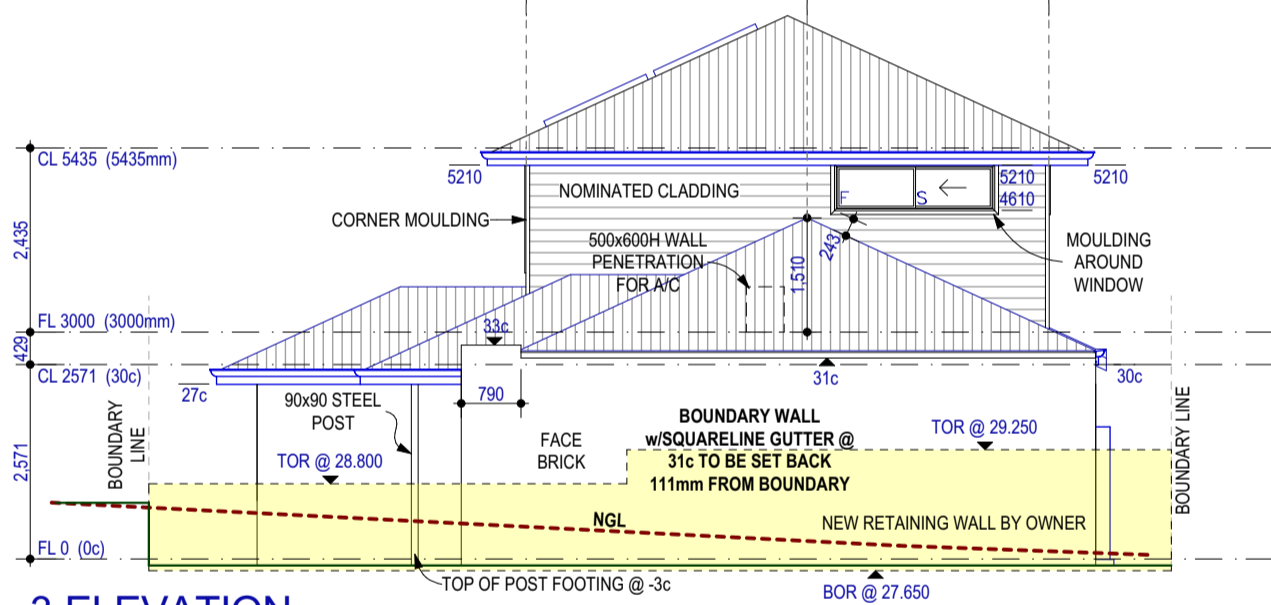
NOMINATED CLADDING :
CLADDING : JAMES HARDIES WEATHERBOARD CLADDING LAID HORIZONTALLY AS PER PLANS.
WINDOW MOULDINGS : JAMES HARDIES AXENT TRIM 89mm x 38mm
CORNER TRIMS : TO SUIT NOMINATED CLADDING.
BRICK LAYER NOTE:
 RUN KITCHEN & SCULLERY BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION.



1 ELEVATION
1:100

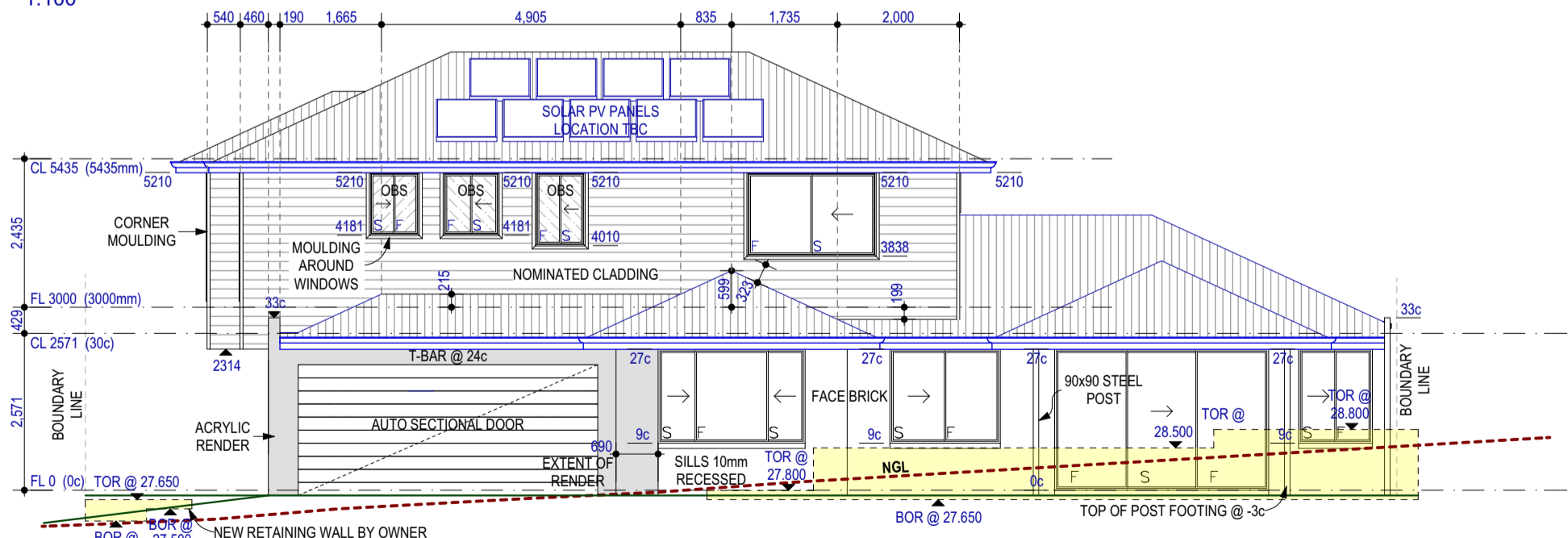


2 ELEVATION
1:100



3 ELEVATION
1:100

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4 ELEVATION
1:100

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :
 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

101
 BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:		INT:	DATE:
REV:	DESCRIPTION:	ZL	26.01.2026
1'	CONTRACT DRAWING & QUOTE SSL162 (ITEMS 1-33 & 1-10)	CS	16.03.2026
2'	SUBDIVISION PLAN AMEND		
3'			
4'			
5'			
6'			
7'			
8'			

CLIENT: **SPRATT**
 SITE ADDRESS:
LOT 209 SSL1 (#54) BAWDAN STREET WILLAGEE WA 6153
 SALES: SS DRAWN: ZL CHECKED: KB

101 INDIVIDUAL ELEVATIONS	
DATE: 16/03/2026	SHEET N°: 10 of 20
SCALE: 1:100	JOB N°: 2510031R
REVISION N°: 01	