



City of
Melville

AGENDA

DEVELOPMENT ADVISORY UNIT MEETING

NOTICE OF MEETING

I respectfully bring to the attention of Committee Members that a Development Advisory Unit Meeting will be held in the Melville Civic Centre, 10 Almondbury Road, Booragoon on Tuesday, 1 September 2026 commencing at 3:00 PM.

Kate Bainbridge
Manager Development Approvals

The City of Melville acknowledges the Bibbulmun people as the Traditional Custodians of the land on which the City stands today and pays its respects to the Whadjuk people, and Elders past, present and future.

Use this link to access the [City of Melville Council Meetings YouTube channel](#) to watch the live stream or access the recordings of public Council meetings.



OFFICIAL**Development Advisory Unit**

1. The DAU is not a decision making forum – it is an operational meeting to inform the recommendation to the Manager Statutory Planning on Development Applications and other planning proposals.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Kate Bainbridge, Manager Statutory Planning and Building. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: Tel 9364 0626 or via the Elected Members Portal.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by DAU Terms of Reference contained within Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by DAU Terms of Reference contained within Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning and Building, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU Agenda is not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: 18 SEPTEMBER 2026

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OFFICIAL**1 ATTENDANCE AND APOLOGIES****In Attendance**OfficerRole

Ms K Bainbridge	Manager Statutory Planning
Mr T Cappellucci	Principal Statutory Planner
Mr J Caracciolo	Senior Statutory Planner
Mr C Sturges	Acting Senior Statutory Planner
Mr P O'Connor	Statutory Planner
Ms M Baines	Senior Building Surveyor

Apologies

Mr L Johnson	Senior Statutory Planner
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2 BUSINESS

	Matters for consideration	Notes from meeting
UP26/123	DA-2026-270 - 57 (Lot 208) Redwood Crescent, Melville - Use Not Listed (Display Home)	

3 OUTCOMES

The following items are to have recommendations created and included in the next agenda:

- N/A

The following items are to be deferred to the next DAU and represented with more information:

- N/A

OFFICIAL**4 ITEMS****UP26/123 Use Not Listed (Display Home) at No. 57 (Lot 208) Redwood Crescent, Melville**

Ward	Palmyra – Melville - Willagee
Category	Operational
File Number:	UP26/123
Responsible Officer:	Principal Statutory Planner
Voting Requirements:	Simple Majority
Officer Disclosure of Interest:	None
Application Number:	DA-2026-270
Applicant:	Webb & Brown-Neaves Pty Ltd
Owner:	Elmsfield Properties Pty Ltd
Proposal:	Use Not Listed (Display Home)
Attachments:	1. Development Plans

COUNCIL'S ROLE

Quasi-Judicial: When the Council determines an application/matter that directly affects a person's rights and interests. The judicial character arises from the obligation to abide by the principles of natural justice.

SUMMARY

- Development approval is sought for a Use Not Listed (Display Home) at No. 57 (Lot 208) Redwood Crescent, Melville.
- The site formerly contained a single house which has been demolished, and the land has now been cleared for redevelopment.
- The development application has been assessed against Local Planning Scheme No. 6 (LPS6), relevant local planning policies including Local Planning Policy 3.3 – Exhibition and Display Homes (LPP3.3) and Residential Design Codes Volume 1 Part B (R-Codes).
- The subject site is located within the Residential zone and a 'Display Home' land use is not listed within Table 3 of LPS6.
- The development application was advertised in accordance with the provisions of Local Planning Policy 1.1 – Planning Processes and Decision Making (LPP 1.1) and LPP 3.3 to properties (owners and occupiers) within a 200-metre radius of the subject site with two objections received. The objections raised concerns in relation to traffic, adequate off-street parking, signage, noise and land use within a residential area.
- A further information request (FIR) was sent to the applicant requesting the applicant considers the submissions received. In addition, the relocation of the signage outside of the sight lines truncation area, reduce the size of the signage, include landscaping around the visitor parking and indicate retained trees on-site or in the verge, provide further justification for the number of visitor bays, and reduce the visitor parking crossover width.
- In response, the applicant amended the signage to comply with LPP 3.3 and relocated it outside of the vehicle access sight line area, proposed additional landscaping around the visitor parking, indicated trees on-site and in the verge, and removed one visitor bay

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reducing it from four to three including reducing the amount of hardstand area.

- This application was discussed in accordance with LPP 1.1 at the Development Advisory Unit (DAU) meeting held on 1 September 2026.
- At the DAU meeting, it was noted that the discretion being sort in relation to the amount of site works (fill) proposed was not supportable against the relevant design principles of the R-Codes. In response, the applicant amended the proposal to reduce the amount of fill proposed which is now considered supportable against the applicable design principles of the R-Codes.
- The City recommends that approval be granted subject to conditions.
- Conditions of development approval have been recommended for the Display Home to operate during the proposed operational hours only, to limit the staff to one person on site, for the garage door to remain open during operation, and for the use to cease after a 24-month period.

OFFICER RECOMMENDATION

That the Development Advisory Unit recommends approval of the development subject to the following conditions:

- 1. The Display Home use is for a maximum period of 24 months from the date of this approval letter. On or prior to this date, the signage and any other equipment associated with the display home is to be permanently removed from the lot and the use is to cease and revert to a residential use.**
- 2. The Display Home is not to be open to the general public outside of 2pm to 5pm Wednesday and 12pm to 5pm Saturday and Sunday. This includes access and egress of service delivery vehicles.**
- 3. No more than one staff member is to occupy the premises at any one time.**
- 4. The garage door of the Display Home is to be open during the approved hours of operation to enable on-site parking.**
- 5. The parking area to support the Display Home is to be constructed including sealing, drainage and line marking prior to the commencement of the display home land use to the City's specifications and satisfaction.**
- 6. All storm water generated from the development hereby approved shall be retained on site in accordance with the City's Stormwater guidelines.**
- 7. The on-site tree/s (as marked in red on the approved plans) and associated supporting deep soil area/s is/are to be planted and fully implemented within the first available planting season after the initial occupation of the development and maintained thereafter in perpetuity in accordance with the approved plans, to the ongoing satisfaction of the City.**
- 8. Prior to the initial occupation of the development, the external surface of the retaining wall/s which are visible from the street and adjoining property/properties are to be as a minimum, finished to a clean face brick standard, to the satisfaction of the City.**
- 9. Prior to the initial occupation of the development, the boundary wall/s is to be finished to either the same finish as the rest of the dwelling walls or at a minimum, be finished to a clean face brick standard, to the satisfaction of the City.**

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10. Prior to the occupation of the development, the subject site is to be served by an approved vehicle crossover constructed to the City's specifications and satisfaction.

PURPOSE

The purpose of this report is to provide an outline of the key matters of consideration for the proposed development, outline where discretion is required to be exercised and appropriateness of this discretion against the relevant performance criteria and outline the DAU reasoning for support.

STRATEGIC ALIGNMENT

Outcome	3	Sustainable, connected development and transport infrastructure across our City.
Objective	3	Sustainable and Connected Development
	3.1	Facilitate enhanced and sustainable urban development and amenity.
	3.4	Protect and promote the City's character and heritage.

BACKGROUND

The development application seeks approval for a Use Not Listed (Display Home) at No. 57 (Lot 208) Redwood Crescent, Melville.

As the proposed land use is a Use Not Listed within the LPS6, the proposal needs to be considered against Clause 18 (4) of LPS6. Under the provisions of LPS6, the subject site is zoned 'Residential' with a density coding of R40. In considering the merits of the application, the development has been assessed in accordance with LPS6, the R-Codes and the City's relevant Local Planning Policies.

The development comprises of a two-storey residential dwelling for use as a display home with associated site works, three visitor parking bays and associated landscaping.

As the land use is not listed within LPS6, the application is considered a complex application as per the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) and therefore requires advertising for 28 days to properties (owners and occupiers) within a 200-metre radius of the subject site, and a sign on site, in accordance with Clause 64 of the Regulations.

The application was advertised from 19 June to 19 July 2026 with two submissions received, both objecting to the proposed land use. A summary of the submissions is provided below within the 'engagement' section of this report.

Following referral of the submission content to the applicant, amended plans were submitted providing a reduced amount of signage, reduction in the number of car bays from four bays to three (excluding the bays within the garage or driveway) and additional landscaping. There are outstanding concerns in relation to the land use which require this application is progressed through the City's DAU process.

At the City's DAU meeting held on 1 September 2026, it was identified that the site works component of the development was not supported, but that the display home use was capable of support subject to conditions. Therefore, a request to the applicant to reduce the level of fill proposed across the site took place after the DAU meeting. In response, the applicant provided amended plans addressing the DAU's concerns with the site works which was reviewed and deemed acceptable by the DAU members. Therefore, the subject application has now progressed with a recommendation of approval subject to conditions.

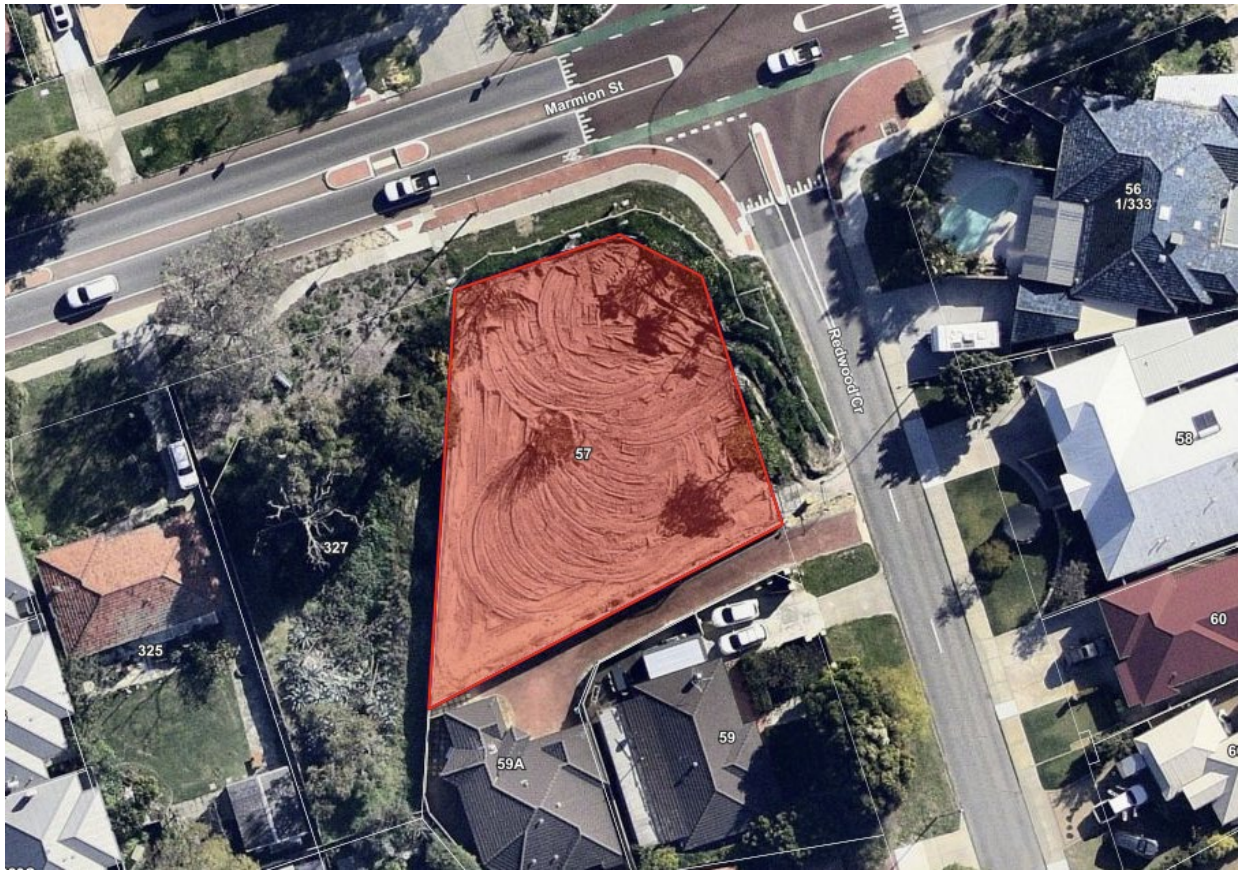
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Figure 1. Aerial Image of Subject Site (marked in red)

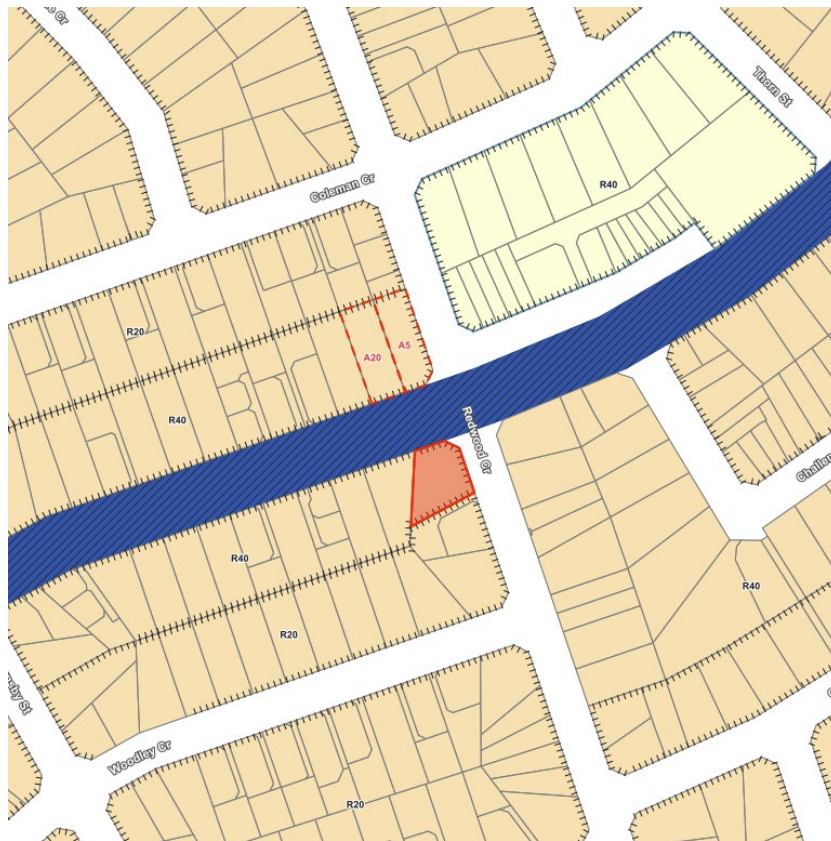


Figure 2. LPS6 Zoning Map Context with Subject Site (marked in red)

OFFICIAL**Scheme Provisions**

MRS Zoning	Urban
LPS Zoning	Residential
R-Code	R40
Use Type	Use Not Listed - Display Home
Use Class	N/A

Site Details

Lot Area	931m ²
Retention of Existing Vegetation	Three trees retained (frangipanis)
Street Tree(s)	Four street trees
Street Furniture (drainage pits etc.)	N/A
Site Details	Vacant lot

CONSIDERATION

The application has been assessed against the provisions of LPS6, the R-Codes and relevant Local Planning and Council Policies. The proposal complies with all the relevant development requirements except for those matters listed below, for which a performance assessment is required.

Local Planning Scheme and Local Policy RequirementsCity of Melville Local Planning Scheme No. 6

Scheme Provision	Scheme Requirement	Proposed	Comments
Land Use Permissibility	Use Not Listed within LPS6	Display Home which is not specifically referred to in the zoning table of LPS6.	Refer to the comments section below for discussion on the suitability of this use.

Residential Design Codes Volume 1 Part B

Development Requirement	Deemed to Comply	Proposed	Comments
Clause 5.1.3 - Lot Boundary Setbacks	Buildings set back from lot boundaries in accordance with Table B and Tables 2a and 2b: 2m setback	1.5m setback proposed along western boundary for living room wall.	Through the assessment against the design principles, the City has deemed this element as being

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	required		acceptable.
Clause 5.3.5 - Vehicular Access	Access to on-site car parking spaces to be: • From a communal street or right of way; or • From a secondary street where the above is unavailable; or • From the primary street where access from a communal street, right of way or secondary street is unavailable.	Primary street access (Redwood Crescent) in lieu of secondary street (Marmion Street).	Through the assessment against the design principles, the City has deemed this element as being acceptable.
Clause 5.3.7 - Site Works	Retaining walls, fill and excavation between the street boundary and the street setback, not more than 0.5m above or below the natural ground level, except where necessary to provide for pedestrian, universal and/or vehicle access, drainage works or natural light to a dwelling. Retaining walls within the site and behind the required street setback line up to a height of 1m are to be setback a minimum of 1m from the adjacent side boundary.	Up to 670mm fill along visitor parking driveway and 600mm fill along northwestern corner adjacent to Marmion Street. Up to 700mm of fill along the western boundary behind the alfresco, stepped down to 550mm along the western boundary.	Through the assessment against the design principles, the City has deemed this element as being acceptable.

CommentLand Use

In considering the discretionary nature of the use proposed, it is necessary to take into consideration the zone objectives table of LPS6, the other matters for consideration under Clause 67 of the Deemed Provisions of the Regulations and any relevant local planning policies or strategies.

The subject site is zoned Residential under LPS6 with the Display Home being a Use Not Listed within Table 3 of LPS6. In considering the appropriateness of the use, as per Clause 18 (4) of LPS6, the City is to assess the use in the context of the listed Residential zone objectives of LPS6. The listed zone objectives and the City's comments regarding the appropriateness of the use are listed below:

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Residential Zone Objectives	Assessment
<i>To provide for a range of housing and a choice of residential densities to meet the needs of the community.</i> <i>To facilitate and encourage high-quality design, built form and streetscapes throughout residential areas.</i> <i>To provide for a range of non-residential uses, which are compatible with and complementary to residential development to promote sustainable residential development.</i> <i>To maintain the compatibility with the general streetscape, for all new buildings in terms of scale, height, style, materials, street alignment and design of facades.</i>	The proposed land use is consistent with the relevant Residential zone objectives of LPS6 for the following reasons: - The development comprises a single house that provides a quality design and built form outcome that is compatible with the applicable density coding and established streetscape character of the surrounding residential locality; - While the proposed Display Home is a non-residential land use, and it operates differently from a dwelling – but has been designed and constructed in accordance with the applicable density coding and Residential Design Codes. The use is directly associated with residential development by providing prospective purchasers with the opportunity to view and assess contemporary housing designs, supporting community housing choice; - The development maintains a residential built form with the scale, materials, façade and alignment being consistent with the surrounding residential development and does not adversely impact the local character; - The use is limited in nature to select times during the week and not expected to generate impacts that would adversely affect residential amenity; and - Display homes are temporary by nature with the use generally limited to 24 to 48 months and then reverts back to a residential use.

The proposed change of use would temporarily defer, rather than permanently prevent, the future residential development of the site. Although the land can accommodate increased density consistent with its R40 coding and is an accessible location on a high frequency public transport route, the proposal seeks approval for a limited period of 24 months. As display homes are temporary by nature, the site's long-term capacity to contribute to housing choice and increased residential density would be retained.

Submission Concerns

Submissions raised concerns regarding traffic congestion, safety, adequate off-street parking, noise from visitors, the proposed signage and land use within a residential area. The land use is supported through meeting LPS6 zone objectives and LPP3.3 which allows for exhibition and display homes to be constructed within Residential zones with the provisions of the policy

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regulating the parking, signage, temporary use and advertising to the community. The signage has been reduced from the original proposal to align with LPP3.3 being minimal and not surplus to community expectation.

The traffic concerns in relation to customers visiting the Display Home are addressed through the combination of the proposed on-site parking and the proposed operational hours to manage the availability for visitors to attend the site. Parking within the site is to be provided in accordance with the R-Codes which requires one car parking bay due to its proximity to a high frequency bus route. The display home provides two parking bays within the garage as well as three visitor parking bays adjacent – this exceeds the requirements of the LPP3.3 and the R-Codes.

Consideration was given to the suitability of the visitor parking within a residential setting, its siting and design, including the views from the primary and secondary street. The applicant reduced the visitor parking from the original proposal of four bays and the reversing area to reduce the amount of hardstand on site, including widening the aisle width and bays as recommended by Traffic Safety due to it being for visitor use. Landscaping was requested to be included around the visitor parking to assist in softening the visual impact of the visitor parking from each street in combination with the retained verge landscaping.

The development proposes the following operating hours for the display home throughout a 24-month period:

- Wednesday: 2pm – 5pm;
- Saturday: 12pm – 5pm; and
- Sunday: 12pm – 5pm

While the visitor parking is in excess of the requirements set out in the policy and R-Codes for the display home, this is supported as providing additional off-street parking and assists in alleviating concerns raised during the consultation period around visitors parking on the street. When considering the use is to operate only one weekday and during the weekend, this will limit the number of visitors to the site during peak traffic times, reducing the potential safety concerns and limiting the impact to surrounding residential amenity.

Additionally, concerns were raised regarding potential noise and disturbance from visitors to the display home. The proposal contains operational controls that limit public access to daytime hours three days per week, thereby avoiding activity during the evening and overnight periods when residential amenity is most sensitive. Given the limited hours of operation, the temporary nature of the use, and the support for display homes within residential areas under LPP 3.3, any visitor related noise is not expected to result in an unreasonable impact on the amenity of adjoining residents.

Accordingly, the matters raised in the submissions have been appropriately addressed and the proposal is not expected to adversely affect the amenity of adjoining residential properties. The objections are therefore not upheld.

ENGAGEMENT

Advertising Required	Yes
Neighbour's Comment Supplied	Yes
Reason	Required pursuant to the Deemed Provisions within the Regulations
Support/Object	Two objections

A summary of the content of the objections received and a response is provided in the table below:

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Submission Number	Summary of Submission	Support / Objection	Officer's Comment	Action (Condition / Uphold / Not Uphold)
1	Concern with traffic congestion & safety, adequacy of off-street parking, and signage & land use within a residential area.	Objection	See justification of the proposed land use against LPS6, the Regulations and policies in the Comments section of this report.	Not Uphold
2	Concern with traffic congestion & safety, adequacy of off-street parking, and visitor noise.	Objection	See justification of the proposed land use against LPS6, the Regulations and policies in the Comments section of this report.	Not Uphold

SUSTAINABILITY IMPLICATIONS

There is no sustainability implications presented as part of this report.

LEGISLATIVE AND POLICY ALIGNMENT

The proposal has been assessed in accordance with the Regulations, LPS6, LPP 1.1, LPP3.3 and the R-Codes. The requirements of the Regulations and LPP 1.1 necessitated the advertising of the application. Based on objections received regarding the amenity impact from the display home, the application has been referred through the City's DAU process prior to determination at either Council or by officers under delegation.

FINANCIAL IMPLICATIONS

There are no direct financial implications for the City relating to this proposal.

CONSEQUENCE

This application is proposed to be approved under delegation as per the officer recommendation through the DAU Process. However, should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration at the next available Council meeting following call up.

BRIEFING FORUM – FURTHER INFORMATION

This section may be updated if called up by Council following the Agenda Briefing Forum to include any Elected Members questions and responses, or requests for further information.

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5 OUTCOMES FOLLOWING CALL UP PERIOD

This section will be updated following the closure of the call up period – please refer to the DAU Terms of Reference for further information.

6 CLOSURE

3:30PM

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WEBB & BROWN-NEAVES



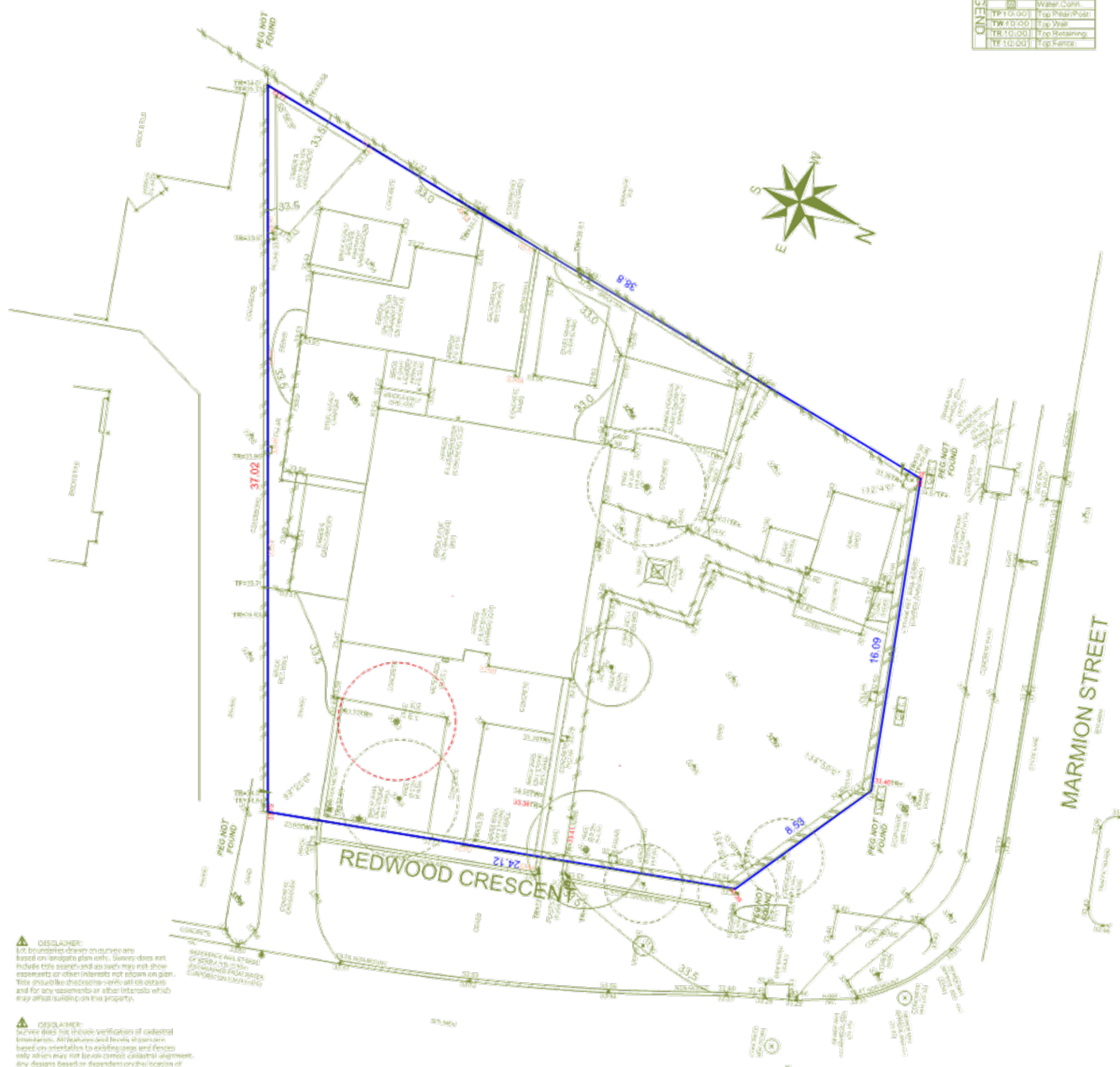
CLIENT	Webb and Brown-Neaves
ADDRESS	Lot 208 (#57) Redwood Crescent, Melville
JOB NUMBER	90236
CONSULTANT	Office
DESIGNER	Joseph Calasara

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Document Set ID: 7399338
Version: 10/VersionDate: 15/09/2026

LEGEND		Power Pole
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining



DISCLAIMER: Lot boundaries shown on survey are based on imagery plan only. Suncoy does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked on title off site and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Service does not include verification of cadastral boundaries. All features and lines are depicted based on orientation in existing maps and fences only which may not be in correct cadastral alignment. Any claims based on boundaries or the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER: Survey shows visible features only and will not show features of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be performed prior to finalisation of any design work.

⚠ Important:
 Cottage & Engineering surveys accept no responsibility for any physical or life claims to the parcel or portion of the parcel of land shown on the survey. Injuries are injuries to neighbors, trees, and features that have occurred after the date of this survey. All owner obtains physical forms of information furnished by the surveyor.

LOT MISCLOSE
0.024 m

Design approach: Over 40,000 US military families/pregn. will be affected. Effectiveness of treatment and approach to be determined by comparison from existing practices and with which may not be in the current alignment. New design that involves addition to new structures shown in planning of structures remaining after any demolitions has taken place has been initiated.

As the Engineer and each effects provided to your designer/architect before any plans are produced and before any work is started on site.

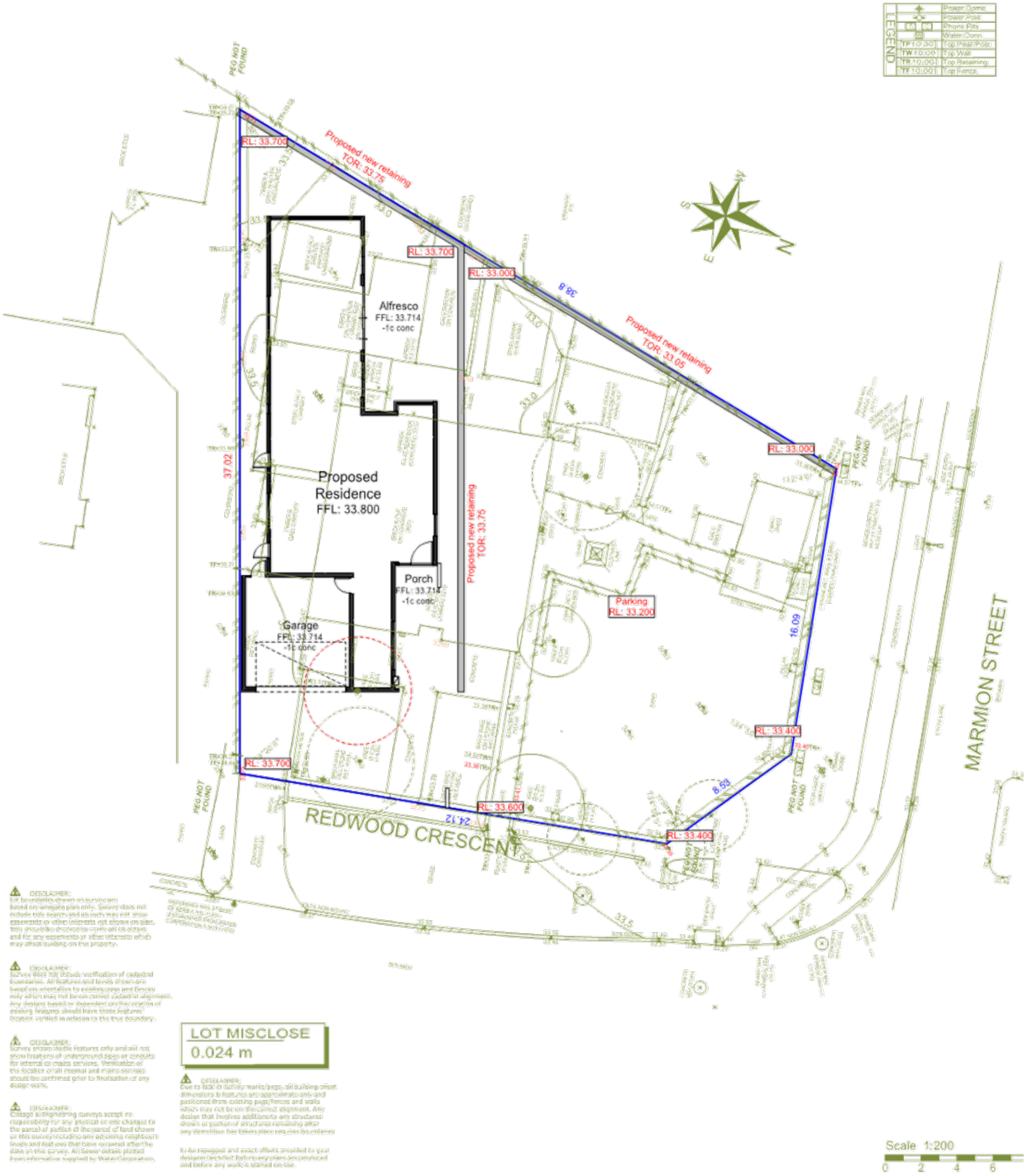
Existing Site Plan
1:200

Scale 1:200



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	PO Box 16111 Osborne Park Business Centre WA 6017	CLIENT Elmsfield Properties Pty Ltd	ORDER # 90236	KERBS Non-Mount / Nil	COMMS. Yes
		ADDRESS #57 Redwood Crescent	LOT Lot 208 (Plan 6750)	FOOTPATH Concrete	WATER Yes
		SUBURB Melville		SOIL Sand	GAS Check Alinta
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	LGA CITY OF MELVILLE	AREA 931m ² VOL. 1219 FOL. 798	DRAINAGE Good	SEWER Yes
	DRAWN T. Currey	DATE 14 May 24	SSA No.	VEGETATION Refer to Survey	COASTAL No

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	PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Elmsfield Properties Pty Ltd	ORDER # 90236	KERBS Non-Mount / Nil	COMMS. Yes
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #57 Redwood Crescent	LOT Lot 208 (Plan 6750)	FOOTPATH Concrete	WATER Yes
		SUBURB Melville	AREA 931m ² VOL. 12.19 FOL. 798	SOIL Sand	GAS Check Alinta
		LGA CITY OF MELVILLE	DATE 14 May 24 SSA No	DRAINAGE Good	SEWER Yes
		DRAWN T.Currey		VEGETATION Refer to Survey	COASTAL No



WEBB & BROWN-NEAVES

CLIENT Webb and Brown-Neaves
ADDRESS Lot 208 (#57) Redwood Crescent, Melville
JOB NUMBER 90236
CONSULTANT Office

CONCEPTS
Planning V1 21/01/26 JC
Planning V2 04/02/26 JC
Planning V3 27/07/26 JC
Planning V6 07/09/26 JC

CLIENT
CLIENT
BUILDER

[illegible]

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	Ps (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #57 Redwood Crescent	LOT Lot 208 (Plan 6750)	FOOTPATH Concrete	WATER Yes
		SUBURB Melville		SOIL Sand	GAS Check Alinta
		LGA CITY OF MELVILLE	AREA 931m ² VOL. 1219 FOL. 798	DRAINAGE Good	SEWER Yes
	DRAWN T.Currey	DATE 14 May 24	SSA No	VEGETATION Refer to Survey	COASTAL No

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PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
Display Home

NON COMPLIANCE ITEMS:
DISPLAY

CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements , we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design may be required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

The client acknowledges the items listed under the non-compliance notes above.

Client: [REDACTED]

Client: [REDACTED]

GREEN TITLE SITE / SURVEY STRATA SITE

DESIGN NOTES

ROOF
03°26' Roof Pitch to Upper Floor
15°39' Roof Pitch to Garage
11°19' Roof Pitch to Ground Floor
Metal ROOF

32c ceilings throughout

SITE REQUIREMENTS

ZONING - R40

SITE COVER % ALLOWED - 55%
SITE AREA - 931 sqm
PROPOSED SITE COVER - 205.86 sqm
SITE COVER % PROPOSED - 22.11%



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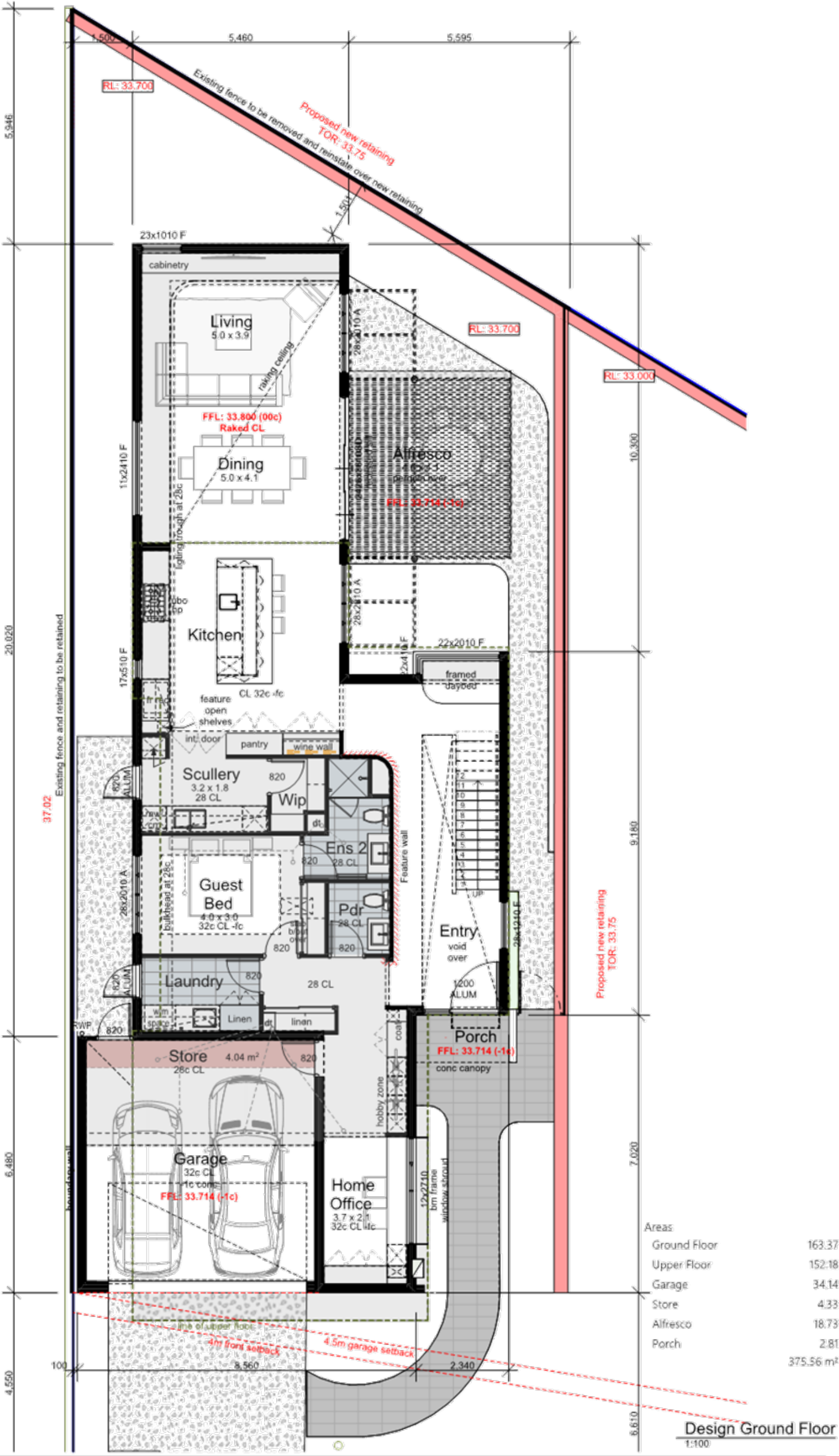
WEBB & BROWN-NEAVES

CLIENT Webb and Brown-Neaves
ADDRESS Lot 208 (#57) Redwood Crescent, Melville
JOB NUMBER 90236
CONSULTANT Office

CONCEPTS
Planning V1 21/01/26 JC
Planning V2 04/02/26 JC
Planning V3 27/07/26 JC
Planning V6 07/09/26 JC

CLIENT _____
CLIENT _____
BUILDER _____

Document Set ID: 7499338
Version: 10 / Version Date: 15/09/2026



Areas:	
Ground Floor	163.37
Upper Floor	152.18
Garage	34.14
Store	4.33
Alfresco	18.73
Porch	2.81
	375.56 m²

Design Ground Floor
1:100

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PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
Display Home

NON COMPLIANCE ITEMS:
DISPLAY

CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements, we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design may be required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

The client acknowledges the items listed under the non-compliance notes above.

Client

Client

GREEN TITLE SITE / SURVEY STRATA SITE

DESIGN NOTES

ROOF
03°26' Roof Pitch to Upper Floor
15°39' Roof Pitch to Garage
11°19' Roof Pitch to Ground Floor
Metal ROOF

32c ceilings throughout

SITE REQUIREMENTS

ZONING - R40

SITE COVER % ALLOWED - 55%
SITE AREA - 931 sqm
PROPOSED SITE COVER - 205.86 sqm
SITE COVER % PROPOSED - 22.11%



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WEBB & BROWN-NEAVES

CLIENT Webb and Brown-Neaves
ADDRESS Lot 208 (#57) Redwood Crescent, Melville
JOB NUMBER 90236
CONSULTANT Office

CONCEPTS
Planning V1 21/01/26 JC
Planning V2 04/02/26 JC
Planning V3 27/07/26 JC
Planning V6 07/09/26 JC

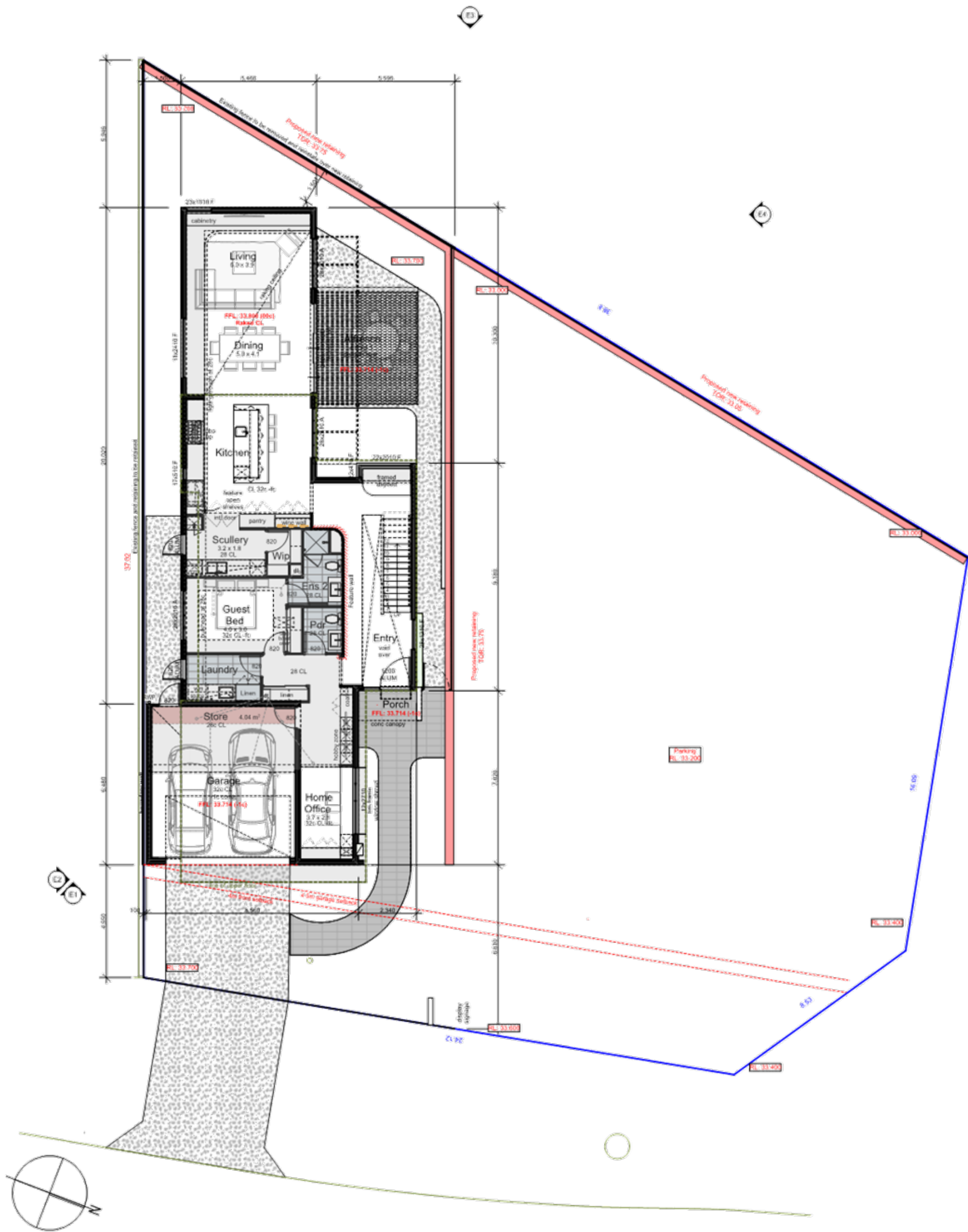
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Version: 10/Version Date: 15/09/2026



Areas:	
Ground Floor	163.37
Upper Floor	152.18
Garage	34.14
Store	4.33
Alfresco	18.73
Porch	2.81
375.56 m ²	

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1:150 Ground Floor Plan

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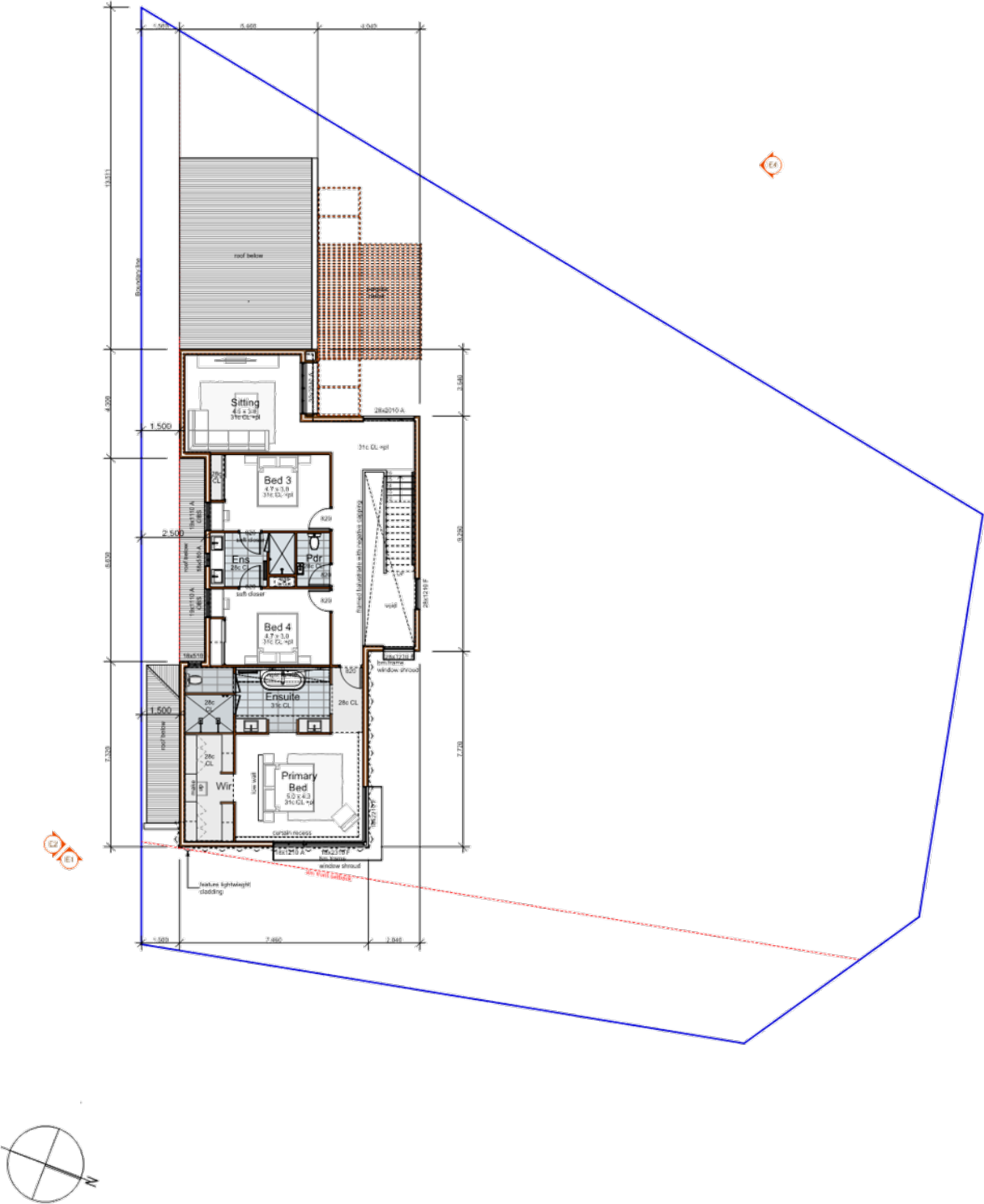
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1:150 Upper Floor Plan



WEBB & BROWN-NEAVES

CLIENT Webb and Brown-Neaves
ADDRESS Lot 208 (#57) Redwood Crescent, Melville
JOB NUMBER 90236
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Planning V3 27/07/26 JC
Planning V6 07/09/26 JC

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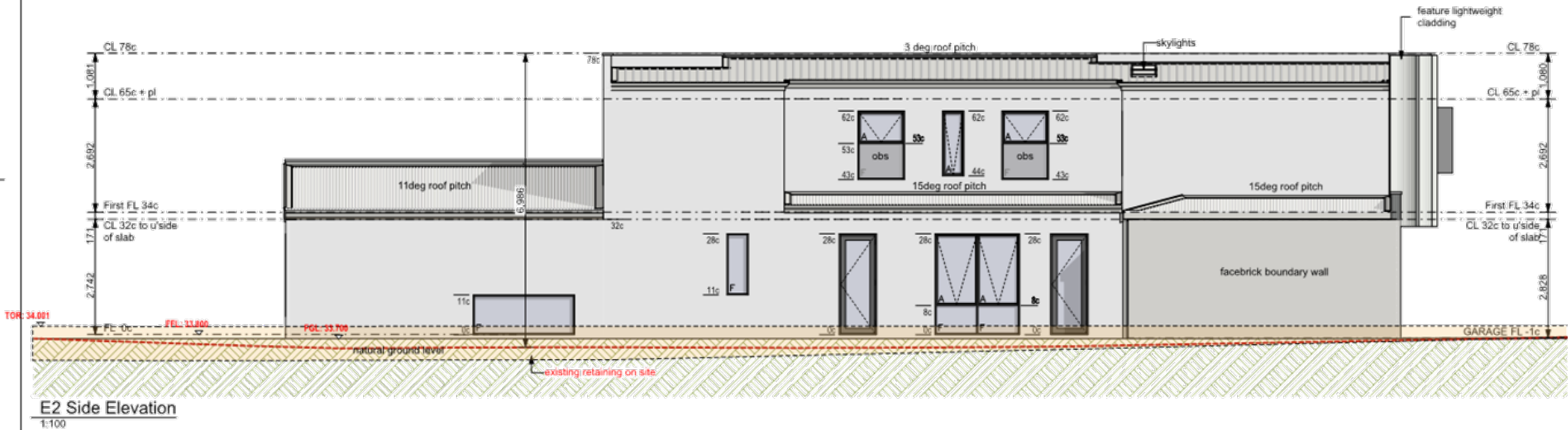
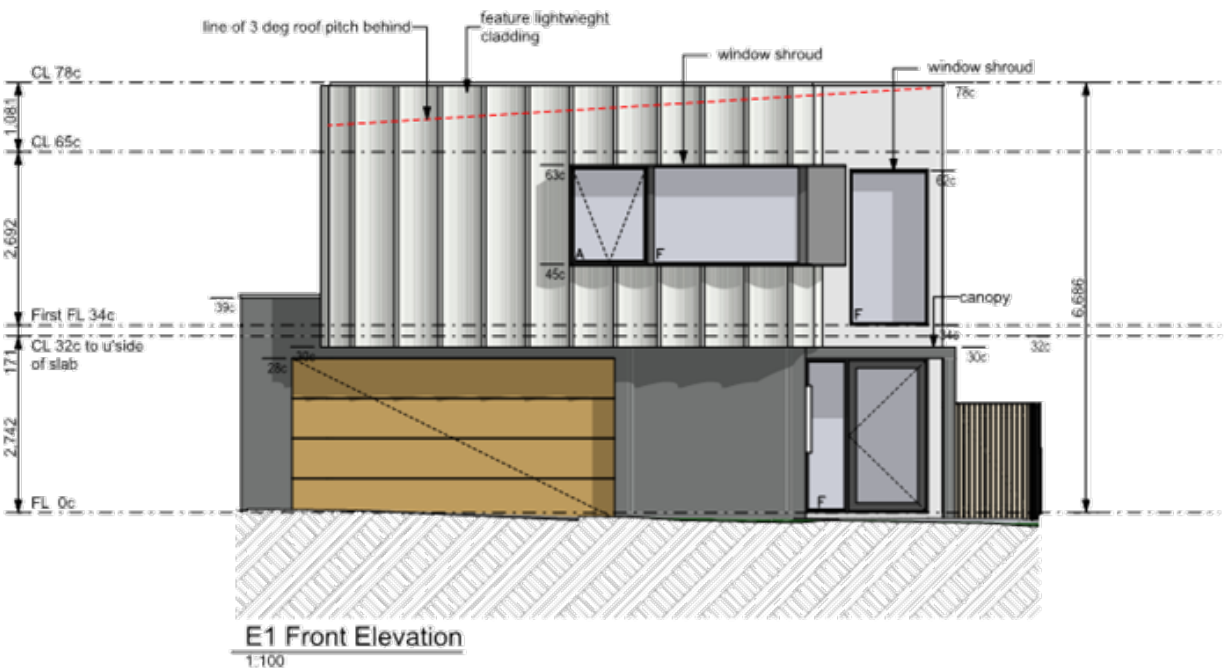
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