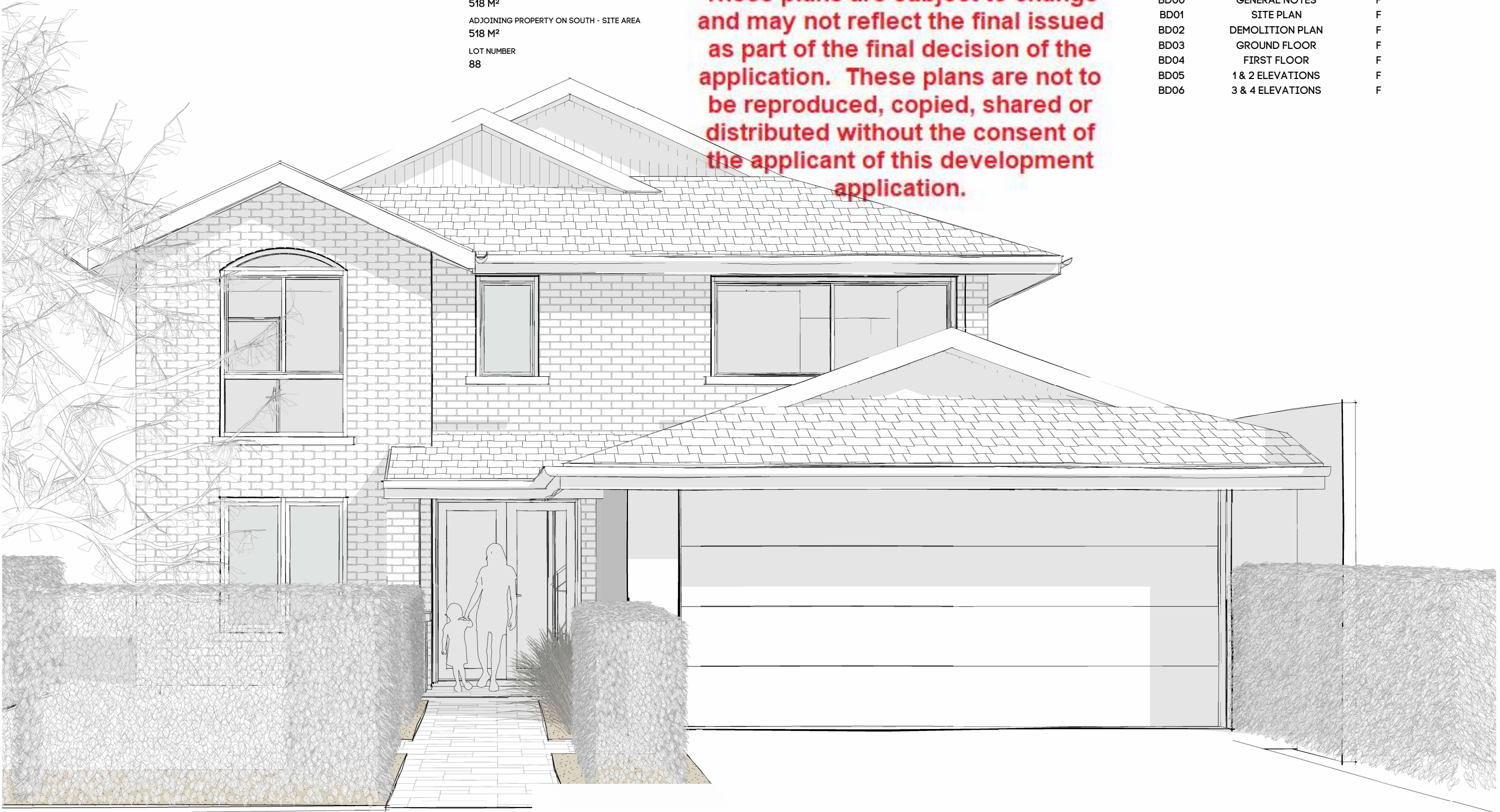


LOCAL AUTHORITY
CITY OF MELVILLE
NEAREST INTERSECTION
DEE RD
SITE AREA
518 M²
ADJOINING PROPERTY ON SOUTH - SITE AREA
518 M²
LOT NUMBER
88

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SHEET LIST

NO	NAME	REV
000	COVER SHEET	F
BD00	GENERAL NOTES	F
BD01	SITE PLAN	F
BD02	DEMOLITION PLAN	F
BD03	GROUND FLOOR	F
BD04	FIRST FLOOR	F
BD05	1 & 2 ELEVATIONS	F
BD06	3 & 4 ELEVATIONS	F



GENERAL SPECIFICATION

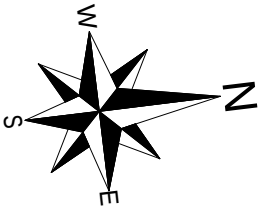
GENERAL	
1.	ALL WORK TO BE IN ACCORDANCE WITH THE PROVISIONS OF THE NCC 2022 VOLUME TWO (CLASS 1 & 10)
2.	ALL MATERIALS TO COMPLY WITH THE CURRENT EDITION OF REFERENCED AUSTRALIAN STANDARDS AT TIME OF CONSTRUCTION
3.	ALL WORKMANSHIP TO COMPLY WITH THE CURRENT EDITION OF REFERENCED AUSTRALIAN STANDARDS AT TIME OF CONSTRUCTION
4.	ALL DETAILS TO BE CHECKED AND MEASURED AS REQUIRED PRIOR TO ORDERING
5.	DO NOT SCALE FROM DRAWINGS
6.	ALL REFERENCED STANDARDS TO BE CURRENT REVISION AT TIME OF CONSTRUCTION
7.	REFER TO ENGINEER'S DETAILS AND SPECIFICATIONS FOR ALL STRUCTURAL NOTES AND REQUIREMENTS
8.	GUTTERS AND DOWNPIPES TO COMPLY WITH NCC 2022 VOL TWO H2D2 AND AS3500
9.	TIMBER ROOF, WALL AND WINDOW FRAMING TO COMPLY WITH AS1684 OR AS1720
10.	TIMBER FLOOR FRAMING AND JOISTS TO ENGINEER'S DETAILS AND AS1684
11.	ALL WINDOWS TO BE SCREENED IN ACCORDANCE WITH NCC 2022 VOL TWO H7P5 AND AS3959
12.	ALL GLAZING TO COMPLY WITH AS2047, AS1288, AS4055 AND NCC 2022 H1D5/H1F1
13.	THIS DRAWING IS TO BE READ IN CONJUNCTION WITH OTHER DOCUMENTATION IN THE DRAWING SET
14.	SUB-FLOOR VENTILATION TO NCC 2022 VOL TWO H2D5
15.	WET AREAS TO NCC 2022 VOL TWO H4D3 AND AS3740
16.	GUTTERS AND DOWNPIPES – AS2179 FOR METAL, AS1273 FOR UPVC
17.	STORMWATER TO COMPLY WITH AS3500, NCC 2022 VOL TWO H1D2 AND LOCAL GOVERNMENT REQUIREMENTS
EARTHWORKS	
1.	EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798
2.	REMOVE ALL TOPSOIL, VEGETATION AND DELETERIOUS FILL MATERIAL FROM THE BUILDING AREA TO A MINIMUM OF 200 MM UNLESS OTHERWISE STATED
3.	WHERE PLUMBING PIPES PASS THROUGH FOUNDATIONS OR GROUND SLAB, SPECIFIED DEPTH OF CONCRETE IS TO BE MAINTAINED
4.	DO NOT EXCAVATE SERVICE TRENCHES WITHIN AN ANGLE OF 45° DOWN FROM THE BOTTOM EDGE OF FOOTING
5.	FOUNDATION MATERIAL SHALL BE COMPACTED TO PROVIDE MINIMUM STANDARD PERTH PENETROMETER READINGS OF 8 BLOWS PER 300 MM
6.	IF CLAY IS ENCOUNTERED, ENGINEER SHALL BE CONSULTED
7.	SAND FILL TO BE CLEAN AND WELL DRAINED WITH MAXIMUM FINES (PARTICLES UP TO 0.7 MM) CONTENT OF 5%
CONCRETE	
1.	CONCRETE TO CONFORM TO REQUIREMENTS OF AS3600
2.	REINFORCEMENT IS TO CONFORM TO AS1302, AS1303 AND AS1304
BRICKWORK	
1.	ALL BRICKWORK SHALL COMPLY WITH AS3700
2.	BRICK GAUGE 7 STANDARD COURSES = 600 MM UNLESS STATED OTHERWISE
3.	WHEN WALLS ARE BRICK, DIMENSIONS ARE TYPICALLY TO BRICK COURSING UNLESS RENDERED. IF WALL DIMENSIONS DON'T MATCH EXTERNALLY, CONTACT THIS OFFICE TO CONFIRM – DO NOT CHANGE OUTSIDE DIMENSIONS OF BUILDING. IF OPENING DIMENSIONS DON'T MATCH BRICK COURSING, CONTACT CLIENT OR THIS OFFICE TO CONFIRM MOVING THESE TO SUIT
TIMBER NOTES	
1.	ALL TIMBERWORK TO BE IN ACCORDANCE WITH AS1720, AS1684 AND NCC 2022 VOL TWO H1D6
2.	ALL FASTENERS AND WASHERS TO BE HOT-DIP GALVANISED. WASHERS TO BE USED FOR ALL TIMBER BOLTED CONNECTIONS
3.	ALL EXTERNAL/EXPOSED TIMBER TO BE H3 HAZARD-LEVEL TREATED
4.	MINIMUM TIMBER GRADE MGP10
ROOFING	
1.	SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, NCC 2022 VOL TWO H2D6 AND RELEVANT AUSTRALIAN STANDARDS
TERMITE	
1.	PHYSICAL AND CHEMICAL TERMITE TREATMENTS TO BE CARRIED OUT IN ACCORDANCE WITH AS3660 AND NCC 2022 VOL TWO H6D1
STEEL	
1.	REFER TO ENGINEER'S DETAILS AND NOTES FOR SPECIFICATIONS
2.	STRUCTURAL STEEL TO BE DESIGNED AND ERECTED IN ACCORDANCE WITH AS4100 OR AS/NZS4600
3.	NOTE THAT STEEL REQUIREMENTS CHANGE IN COASTAL AREAS AS PER AUSTRALIAN STANDARDS. REFER TO ENGINEERING NOTES AND AUSTRALIAN STANDARDS

LEGEND:

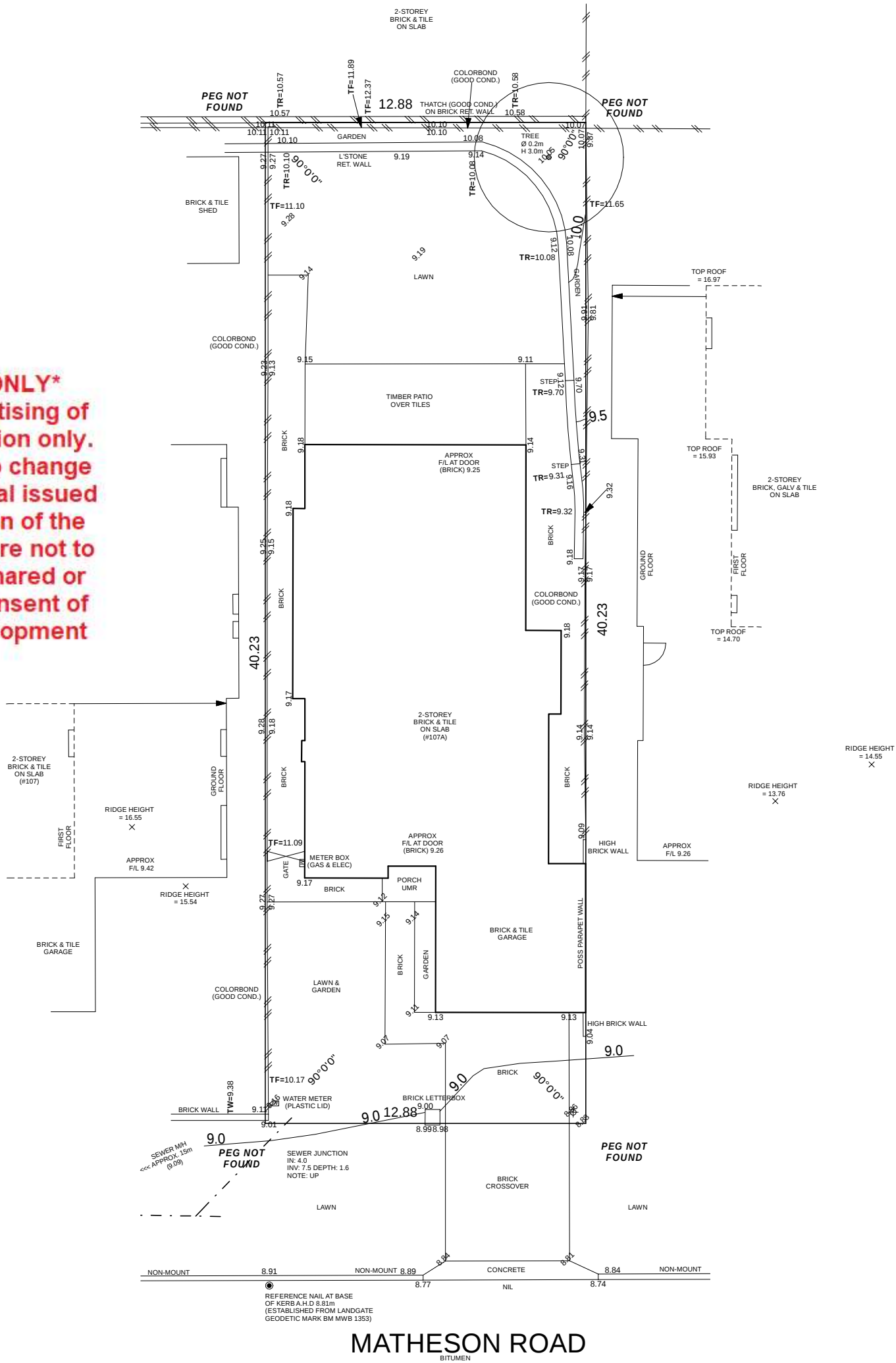
AHD. - AUSTRALIAN HEIGHT DATUM	INT. - INTERIOR
AS. - AUSTRALIAN STANDARD	LVL. - LEVEL
A/C - AIR CONDITIONING	MH. - MAN HOLE
AVG. - AVERAGE	NA. - NOT APPLICABLE
BCA/ NCC. - NATIONAL CONSTRUCTION CODE	NO. - NUMBER
BL. - BUILDING LINE	NTS. - NOT TO SCALE
BLDG. - BUILDING	OA. - OVER ALL
CABT. - CABINET	OD. - OUTSIDE DIAMETRE
CH. - CEILING HEIGHT	P. - PUMP
CLG. - CEILING	PART. - PARTITION
COL. - COLUMN	PWR. - POWER
C. - CENTRE	QTY. - QUANTITY
D. - DOOR	REF. - REFERENCE
DET. - DETAIL	REV. - REVISION
DIA. - DIAMETRE	RL. - REDUCED LEVEL
DIM. - DIMENSION	ROBE - WARDROBE
DR. - DRAIN	SB. - STEEL BEAM
DWG - DRAWING	SC. - STEEL COLUMN
EL. - ELEVATION	SCHED. - SCHEDULE
ELECT. - ELECTRIC/ ELECTRICAL	SECT. - SECTION
EMERG. - EMERGENCY	STD. - STANDARD
EMB. - ELECTRIC METER BOX	SPEC. - SPECIFICATION
EXH. - EXHAUST	SQ.M. - SQUARE METRE
EXIST. - EXISTING	SQ.CM. - SQUARE CENTIMETRE
EXT. - EXTERIOR	STR. - STORAGE
FLR - FLOOR	STRUCT. - STRUCTURAL
GAR. - GARAGE	TYP. - TYPICAL
HC. - HOSE COCK	UNT - UNIT
H.RAIL - HAND RAILING	UTIL - UTILITY
HTR - HEATER	VA. - VOLTAGE
HWS. - HOT WATER SYSTEM	WH. - WALL HEIGHT
HYD. - FIRE HYDRANT	WIR. - WALK IN WARDROBE
HVAC - HEATING, VENTILATION & AIR CONDITIONING	WT. - WATER TANK
ID. - INTERNAL DIAMETRE	
OR FLOOR DRAIN	S SMOKE DETECTOR
DP DOWN PIPE	HOSE COCK

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LEGEND		Power Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence



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LOT MISCLOSE
0.000 m

⚠ DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

⚠ DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

⚠️ DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

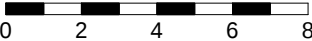
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Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

⚠ DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

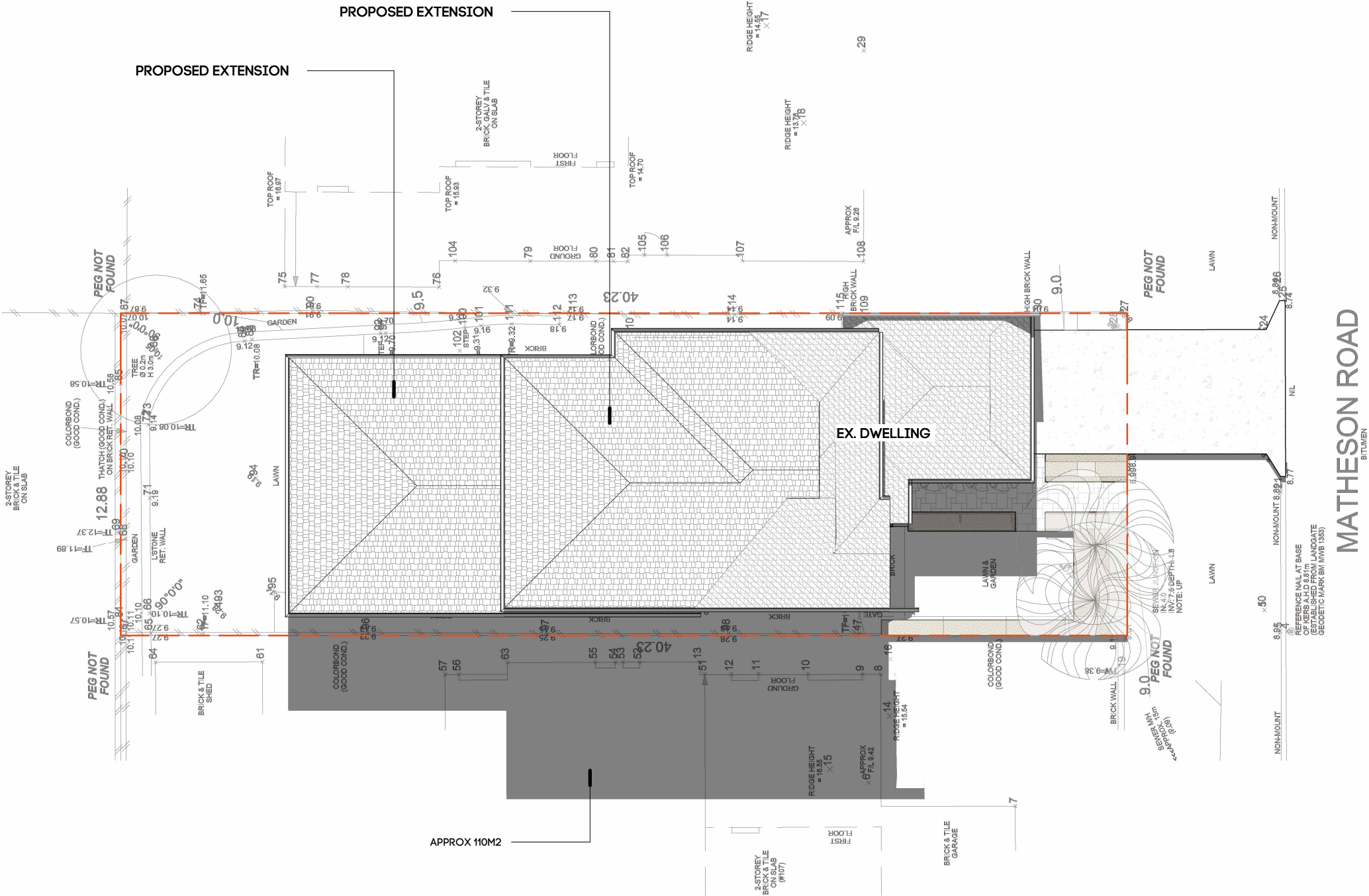
Scale 1:200



COTTAGE SURVEYS Document Set ID: 7480192 REGISTERED SURVEYORS	87-89 Guthrie Street Osborne Park, WA 6017	JOB # 584158	GPS Lat: -32.011062 Long: 115.831628	ROADS Bitumen	ELEC. U/Ground
	PO Box 1611 Osborne Park Business Centre WA 6917	ADDRESS #107A Matheson Road	LOT Lot 88 (Diag. 94145)	KERBS Non-Mount / Nil	COMMS. Not loc.
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	SUBURB Applecross	AREA 518m ² VOL. 2143 FOL. 574	FOOTPATH Nil	WATER Yes
		LGA CITY OF MELVILLE	SOIL Sand	SEWER Yes	GAS Check Alinta
		DRAWN T.Currey	DATE 14 Aug 24 SSA No	DRAINAGE Good	COASTAL 200m To Ocean
				VEGETATION Refer to Survey	(Approximate Only Confirm With Shire)

NOTES:

- LEVELS ARE APPROXIMATE ONLY
- BUILDER TO CONNECT DOWNPIPES TO SOAKWELL
- PROVIDE CERTIFIED TERMITE BARRIER SYSTEM TO AS 3660.1
- THIS DRAWING TO BE READ IN CONJUNCTION WITH OTHER DOCUMENTATION IN THE DRAWING SET
- OBTAIN INFORMATION FROM PRACTICING ENGINEER TO DETERMINE STRUCTURAL REQUIREMENTS



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PROJECT
GROUND & FIRST FLOOR EXTENSION + ALFRESCO
CLIENT
LUX INTERIORS
SITE
107A MATHESON RD, APPLECROSS WA 6153

DRAWING
SITE PLAN
PROJECT NO
0920

SCALE 1: 200
DATE 17/08/26
DRAWN FB
SIZE A3

**Building Design**

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0408277574

Renderings

Drafting

CAD

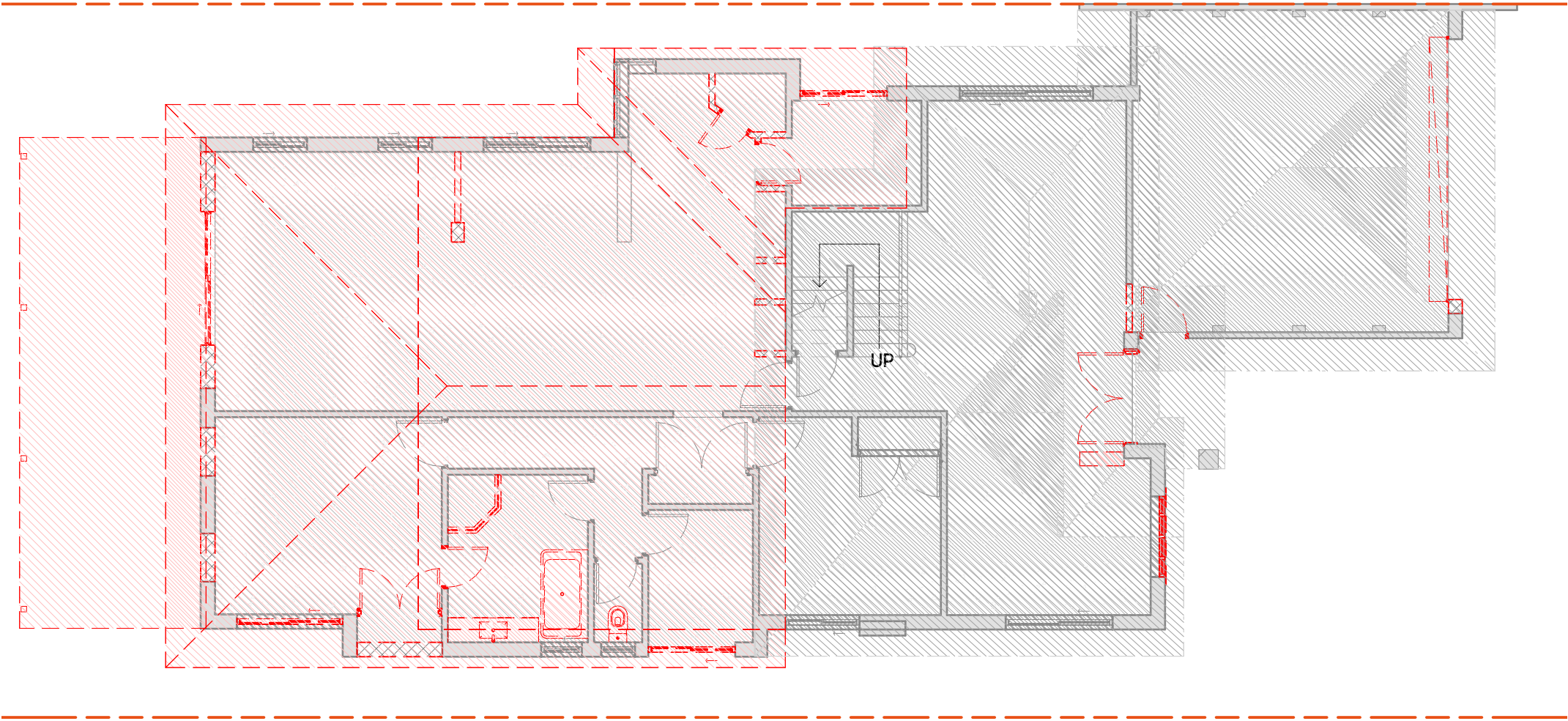
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ALL CONSTRUCTION TO CONFORM TO NCC AND AUSTRALIAN STANDARDS.



REV	DESCRIPTION	DATE
A	DESIGN CONCEPT	08/05/26
B	PRELIMINARY FOR APPROVAL	15/05/26
C	CLIENT COMMENTS	18/06/26
D	DA	21/07/26
E	CLIENT CHANGE	07/08/26
F	CLIENT CHANGES	17/08/26

ISSUE	SHEET NO	REV
APR	BD01	F

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GROUND & FIRST FLOOR EXTENSION + ALFRESCO
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SITE
107A MATHESON RD, APPLECROSS WA 6153

DRAWING
DEMOLITION PLAN
PROJECT NO
0920

SCALE 1:100
DATE 17/08/26
DRAWN FB
SIZE A3

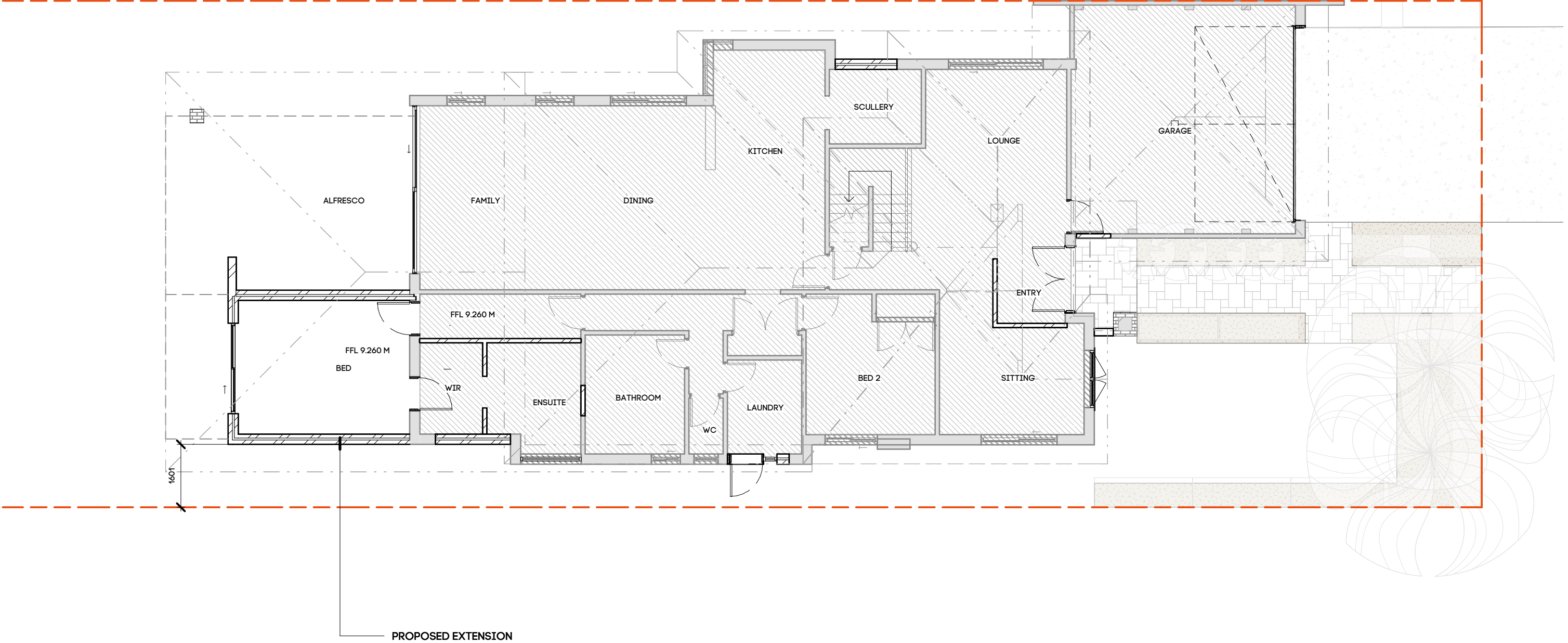
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APR	BD02	F

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GROUND & FIRST FLOOR EXTENSION + ALFRESCO
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LUX INTERIORS
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107A MATHESON RD, APPLECROSS WA 6153

DRAWING
GROUND FLOOR
PROJECT NO
0920

SCALE 1:100
DATE 17/08/26
DRAWN FB
SIZE A3

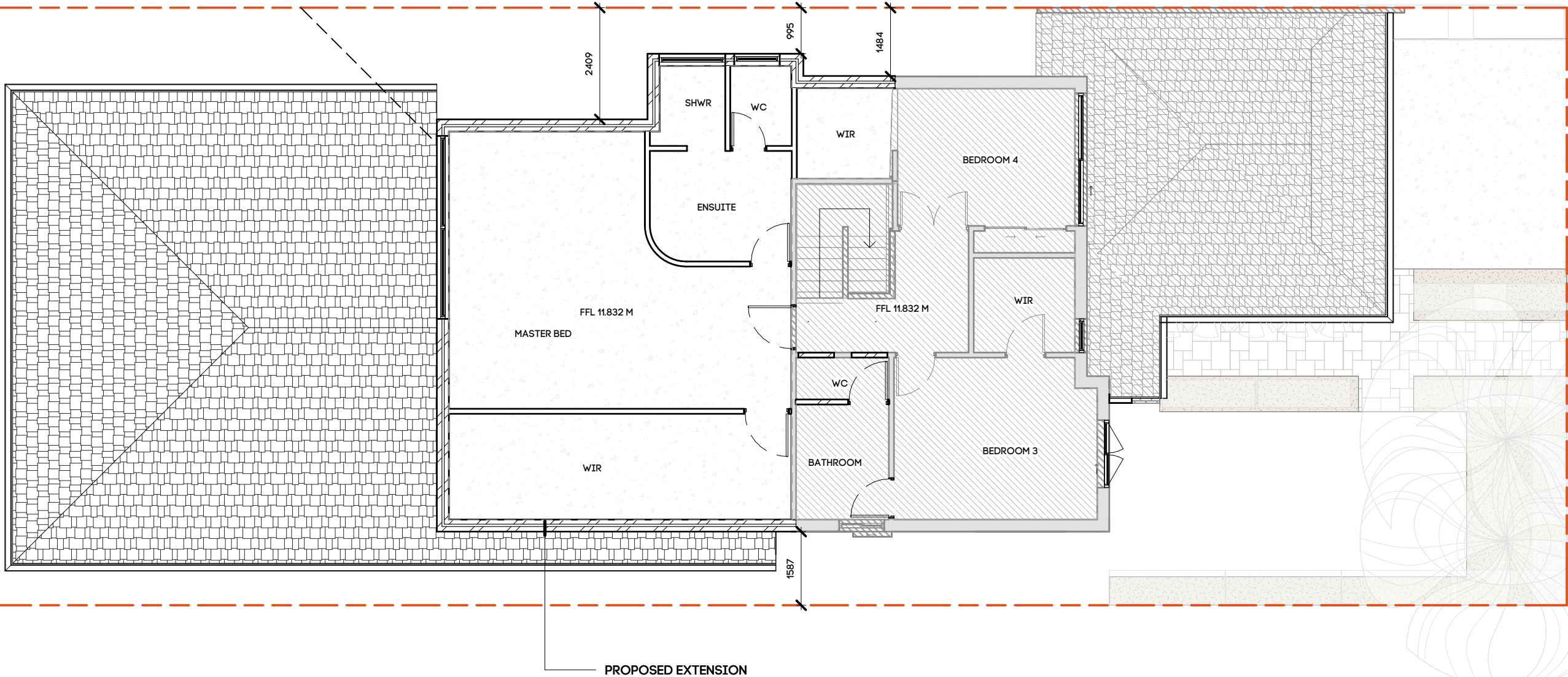
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ISSUE	SHEET NO	REV
APR	BD03	F

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SITE
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DRAWING
FIRST FLOOR
PROJECT NO
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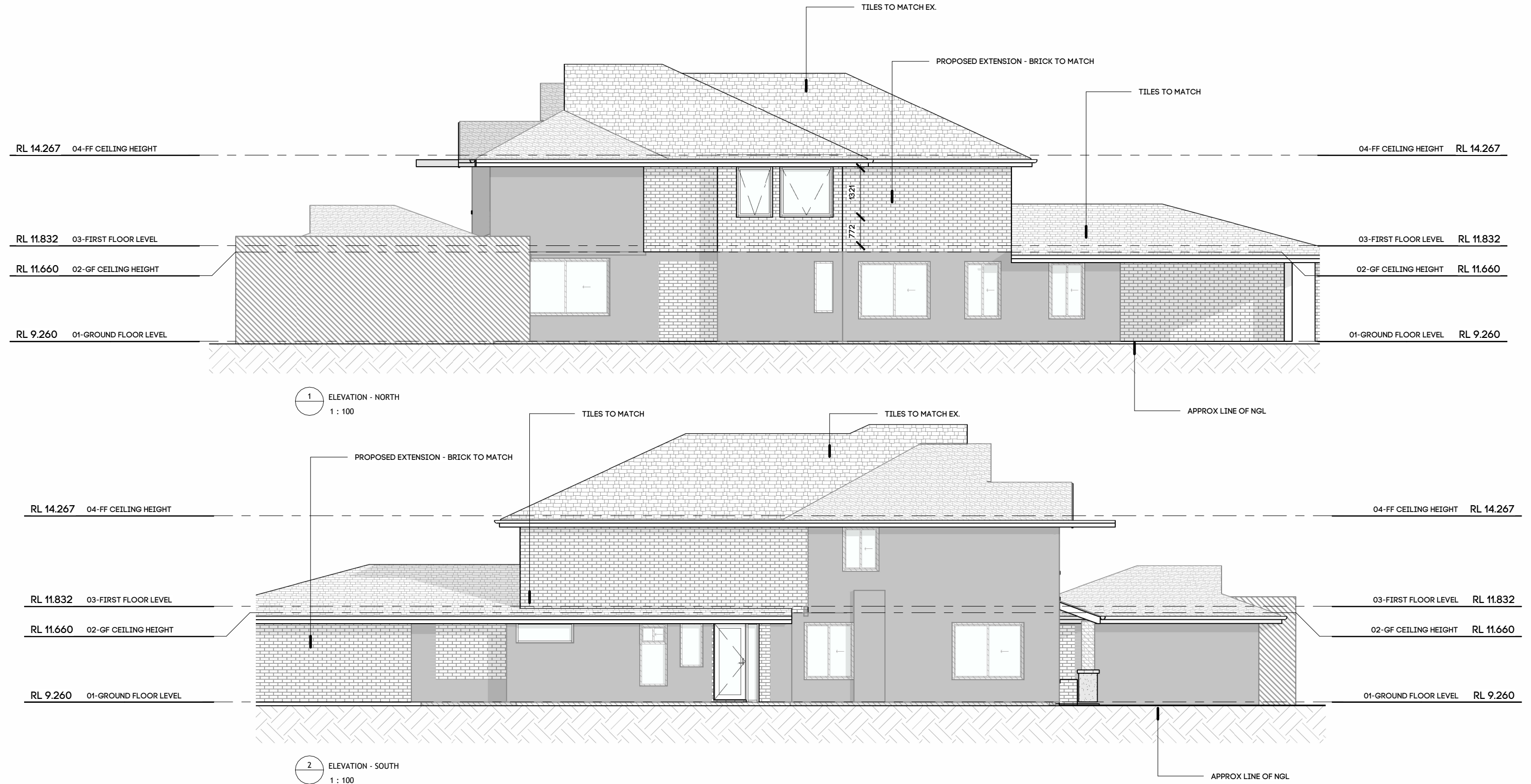
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ISSUE SHEET NO REV
APR BD04 F



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107A MATHESON RD, APPLECROSS WA 6153

DRAWING
1 & 2 ELEVATIONS

PROJECT NO
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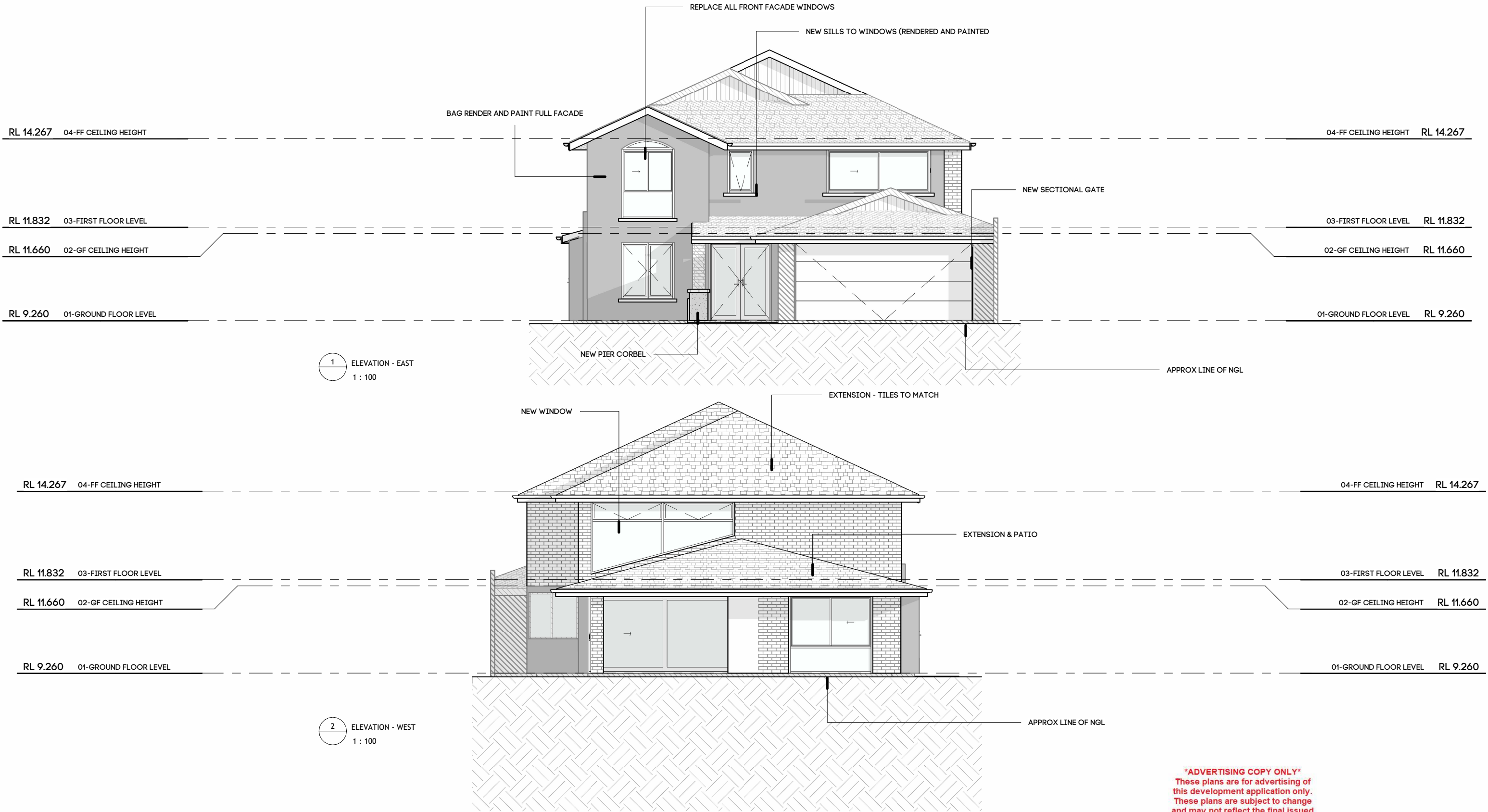
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ISSUE SHEET NO REV

APR BD05 F



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ISSUE	SHEET NO	REV
APR	BD06	F