

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 1 JUNE 2021

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Peter Prendergast, Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: peter.prendergast@melville.wa.gov.au or Tel 9364 0626.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY, 4 JUNE 2021



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 1 JUNE 2021**

PRESENT

P Prendergast
M Scarfone
B Ashwood
T Cappellucci
M Flanagan

Manager Statutory Planning
Planning Services Coordinator
Senior Planning Officer
Senior Planning Officer
Planning Officer

DISCLOSURES OF INTEREST

**DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995****Members' interests in matters to be discussed at meetings to be disclosed**

S.5.65 (1) A member who as an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

TABLE OF CONTENTS

U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)..... 4

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

Ward : Applecross - Mount Pleasant Ward
 Category : Operational
 Application Number : DA-2021-61
 Property : Lot 102 (No.14A) Fraser Road APPLECROSS WA 6153
 Proposal : Single House
 Applicant : Urbane Projects
 Owner : Longsheng Li
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Responsible Officer : Peter Prendergast
 Manager Statutory Planning
 Previous Items : N/A

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (e.g. under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)****KEY ISSUES/SUMMARY**

- Development approval is sought for a proposed three storey single house at Lot 102 (No.14A) Fraser Road; Applecross.
- The details of the proposed development have been assessed against Local Planning Scheme No. 6 (LPS6), the provisions of State Planning Policy 7.3 - Residential Design Codes Volume 1 (R-Codes) and relevant local planning and council policies.
- In accordance with the provisions of the R-Codes and Local Planning Policy 1.1 Planning Process and Decision Making, the proposed development was advertised to the adjoining owners and occupiers.
- Submissions were received which object to the proposed height, boundary setbacks, the proposed level of fill and retaining, the visual privacy variation and the level of shadow cast.
- Notwithstanding the objections received, it is considered that the development is acceptable when assessed against the relevant Design Principles of the R-Codes.
- It is recommended that approval be granted subject to conditions.



Figure 1 – Aerial Photography

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS6 Zoning	: Residential
R-Code	: R12.5
Use Type	: Residential
Use Class	: Permitted

Site Details

Lot Area	: 536.42m ²
Retention of Existing Vegetation	: No
Street Tree(s)	: Yes, to be retained
Street Furniture (drainage, pits, etc.)	: Not applicable
Site Details	: Refer photo above – Figure 1

A copy of the plans forms part of the attachments to the Agenda which were distributed to Elected Members on Friday, 4 June 2021.

DETAIL

In January 2021 a development application was lodged for a three storey single house at Lot 102 (No.14A) Fraser Road, Applecross.

In response to concerns raised by the City, revised plans were submitted in May 2021 which reduced the overall height of the home and increased the southern boundary setback. These amended plans are the subject of this report.

The application has been assessed against the provisions of Local Planning Scheme No. 6 (LPS6), State Planning Policy 7.3 Residential Design Codes Volume 1 (the R-Codes) and relevant local planning and council policies. A performance assessment is required in respect of the matters listed below.

State Planning Policy 7.3 Residential Design Codes Vol. 1

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 5.1.3 Lot Boundary Setbacks	6 metres - Rear Setback	Minimum 2.3 metres on the ground floor and 5 metres on the first floor.	Requires a performance assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)
	4 metres – Northern side setback	3.6 metres		

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

Design Element (cont.)	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
5.2.3 – Street Surveillance	Street elevations of the dwelling to address the street with clearly definable entry points and accessed from the street	Side entry to the home	Requires a performance assessment against the Design Principles of the R-Codes.	Manager Statutory Planning
5.3.7 Site Works and 5.3.8 Retaining Walls	Fill and retaining walls to not exceed 0.5 metres within 1 metre of the lot boundary	Up to 1 metre on the northern boundary; Up to 0.9 metres on the southern boundary; and Up to 0.7 metres on the western boundary	Requires assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)
5.4.1 – Visual Privacy	6 metres - Major openings to habitable rooms other than bedrooms and studies	First floor family room south west <6 metres	Requires assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)
	7.5 metres – unenclosed outdoor active habitable spaces	Ground floor deck west and south west <7.5 metres First floor balcony 1 west <7.5m		
5.4.2 – Solar Access for Adjoining Sites	25% of the site area (135.5sqm)	31% (168sqm)	Requires assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

Local Planning Policy 1.19 Height of Buildings

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 2.1.1 Eave Height	8 metres	Maximum height of 10.5 metres	Requires assessment against the Design Principles of the R-Codes. Refer details in report below.	Development Advisory Unit (DAU)

Local Planning Policy 3.1 Residential Development

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 4 Fences and Street Walls	Walls located within the front setback area are to be visually permeable above 1.2 metres	Portion of the southern fence solid to 1.8m	Requires assessment against the Design Principles of the R-Codes.	Manager Statutory Planning

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comments Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
 Support/Object: 4 objections were received

A summary of the objection received and a response is provided in the table below.

Summary of Issues Raised	Comments	Action (Condition/ Uphold/ Not Uphold)
The proposed height will cause a bulk and shadow impact to the property at 14B Fraser Street	Refer to the comments section of this report.	Not Uphold
The variations to lot boundary setbacks will further add to the bulk and shadow impact to the southern property	Since initial consultation the plans have been amended to ensure that the setbacks to the southern boundary meet the deemed to comply standards of the R-Codes.	Not Uphold

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

Summary of Issues Raised (cont.)	Comments	Action (Condition/ Uphold/ Not Uphold)
The proposed fill and retaining will further add to the bulk and shadow impact to the southern property	Refer to the comments section of this report.	Not Uphold
The proposed fill and retaining will cause structural issues to neighbouring properties	This is not a material planning consideration.	Not Upheld
The home should be compliant in regards to all aspects advertised	The deemed to comply route to approval is one option, but of equal relevance is a performance assessment against the design principles. In this case some aspects of the development seek consideration against the design principles, and this is a route to approval which is as legitimate as the deemed to comply route.	Not Upheld
The proposed northern setbacks to the communal driveway will diminish the ambience of the entrance to all of the properties served by the access leg.	Refer to the comments section of this report	Not Upheld
Views from the proposed home will impact the amenity of surrounding residents	Refer to the comments section of this report	Not Upheld
The proposed height will diminish to streetscape and will set a precedent for building height	Refer to the comments section of this report	Not Upheld

II. OTHER AGENCIES / CONSULTANTS

No consultation with other agencies/consultants is required.

STATUTORY AND LEGAL IMPLICATIONS

Should the City refuse the application or impose a condition that the applicant does not agree with they have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)****STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS**

There is no strategic, risk, or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications for the City relating to this proposal.

COMMENTRear (western) Boundary setback

In this location the deemed to comply provisions of the R Codes calls for a minimum 6m rear setback. The proposed development provides a minimum rear setback of 2.3 metres with an average of 4.9 metres to the ground floor, and a setback minimum of 5 metres and an average of 5.5 metres to the first floor.

The objective of the 6m rear setback requirement is to maintain the low density character for areas zoned R15 and lower thereby reducing bulk, ensuring adequate access to sunlight and ventilation and minimising overlooking. As shown by Figure 1 above, there is no established pattern of a six metre setback being followed within the immediate locality.

The impact of the proposed setback in this case has been assessed based on the relationship that will ensue between neighbouring buildings once the development takes place. On that basis it is concluded that in respect of 14c Fraser Road, located to the immediate west, there is a full length boundary wall on the boundary between the two properties, with no openings and therefore no outlook from 14c towards the proposed development. This wall is sited lower than the natural ground level of the subject lot given the sloping topography which prevails in the locality, with a significant slope west towards the Swan River. (See Figure 2). This also means that there are no adverse impacts in respect of visual privacy or solar access.



Figure 2: Boundary wall located on the common boundary between the subject site and 14C Fraser Road.

U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD APPLECROSS WA 6153 (REC) (ATTACHMENT)

The property to the south at 14B Fraser Road has been designed to take advantage of the topography of the site, optimising views west towards the Swan River. This design response results in a dwelling with no major openings along the upper floors (figure 3). The lack of major openings ensures that the proposed development has a minimal visual impact on the adjoining dwelling. In addition, the applicant has designed the proposal to ensure that the raised patio/deck is located 8 metres from the common boundary, limiting its bulk impact to the pool and rear yard and ensuring that access to northern sunlight is maintained.

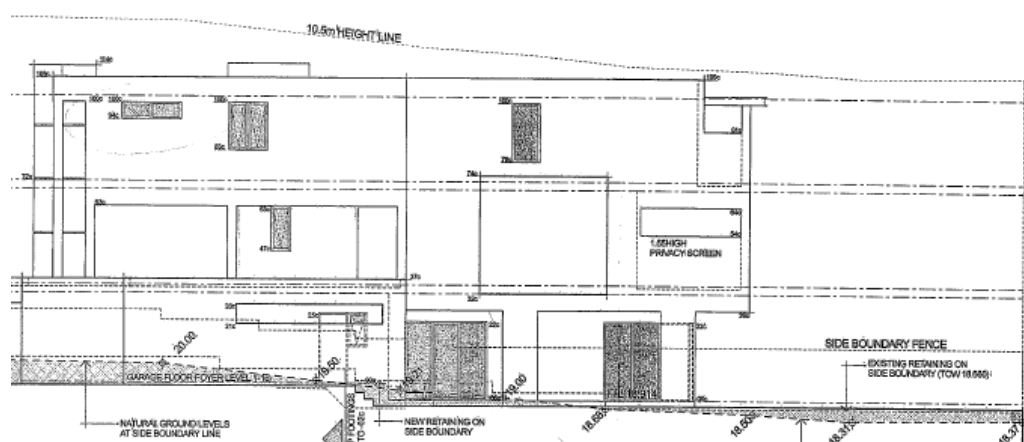


Figure 3: Northern elevation of 14B Fraser Road. Note the lack of major openings on the upper two floors.

Northern Lot Boundary setback

As per Table 2b of the R-Codes, walls 8 metres high and greater than 9 metres in length are to be setback 4 metres off the boundary. Where there is an adjoining communal street/access driveway, the setback requirement can be reduced by half the width of the street. In this case, the setback requirement on the northern side is therefore reduced to 2m, whereas the proposed setback of part of the upper floor is 1.6 metres, a variation of 40cms.

This setback is considered to meet the relevant design principles as the closet property to the north, 12b Fraser Road, is setback an approximate distance of 10 metres from the subject lot due to the location and width of the common access leg between the properties. This serves to mitigate bulk impacts, and ensures that solar access and visual privacy is not compromised.

Site Works and Retaining Walls.

The Deemed to Comply provisions of Clause 5.3.7 and Clause 5.3.8 of the R Codes allow for site fill and the erection of retaining walls within 1 metre of the boundary, to a height of 0.5 metres. The proposal demonstrates variations to site works and retaining along the northern, western and southern boundaries of the subject site.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

The proposed site works and retaining respond to the natural contours of the site, and are required as the site slopes by approximately 4 metres from the street to the rear lot boundary. The proposed levels and associated fill and retaining will allow for a flat sand pad level, creating more useable space for the proposed development.

The impacts of the proposed site works towards the northern boundary are negligible given the existence of the communal driveway which provides space between the development and its nearest neighbour to the north at 12b Fraser Street.

The impact to the west is mitigated by the existing boundary wall located on the shared boundary between 14a and 14c, and the fact that there is no aspect from 14c towards the subject site.

In relation to the impact towards the southern property, the existence of a standard 1.8m high dividing fence will mitigate any adverse amenity impacts that would otherwise result. The impact of the proposed site works and how these contribute to the overall height, bulk and shadow towards 14B Fraser will be expanded further below.

Building Height

As per Local Planning Policy 1.9, the deemed to comply eave height is 8 metres. The development proposes eave heights up to 10.5 metres. The proposed eave height is considered to deliver an acceptable outcome in this case as:

- The building presents as three storeys to Fraser Road, and maintains this height to the rear of the property. This is consistent with other homes within the locality, notably 12A, 12B and 14B Fraser Road. Further, whilst the home exceeds the eave height requirement, it still meets the 10.5m maximum height requirement expressed in LPP 1.9. Given the consistency of the built form, the eave height of the proposed house will not have a negative impact on the established streetscape, nor create a precedent for future builds;
- Views of significance for homes to the north, south and west will be maintained as the proposed build will not impede views west towards the Swan River. Furthermore, the subject site is designed to focus views towards the river and not into neighbouring properties, thus reducing impacts to visual privacy.
- The proposed development has been designed to site the upper floors away from the rear boundary and aligning the development with the home to the south. This will assist in reducing the bulk and shadow impact to the pool and rear yard area of the property to the south. The bulk impact from the development will be further reduced by the numerous articulations on the south facing walls and the lack of major openings on the upper floors on the neighbouring property, with said property being orientated west to maximise views to the river;
- While the third storey of the proposed development will be visible from the central courtyard of the adjoining dwelling, the primary aspect from that space is towards the river. As noted above, the setback of the third floor walls meet the deemed to comply provisions thus reducing the bulk impact of this floor; and
- The proposed development is considered acceptable having regard to solar access to the adjoining dwelling, as discussed below (see section r Solar Access).

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

Visual Privacy

As outlined, the proposed development requires a performance assessment in respect of visual privacy. The proposed visual privacy setbacks are considered to meet the relevant design principles as:

- As seen from Figure 4 below, views from the ground floor elevated deck primarily fall onto the roof of 14C Fraser Road, with an oblique angle falling against a minor opening on the upper floor (Figure 5). Much like the lower levels, views from the upper floor will primarily land onto the roof of 14C Fraser Road.
- A small portion of the ground floor and upper floor cone of vision falls into 14B Fraser Road. This space is not part of the outdoor living area of the adjoining dwelling, nor is it a sensitive portion of the back yard where people are expected to enjoy outdoor living. In addition, the oblique angle of view ensures that any potential adverse overlooking impacts are avoided.

The proposed dwelling is therefore considered to meet the design principles of the R-Codes in terms of visual privacy and is considered to be acceptable on that basis.

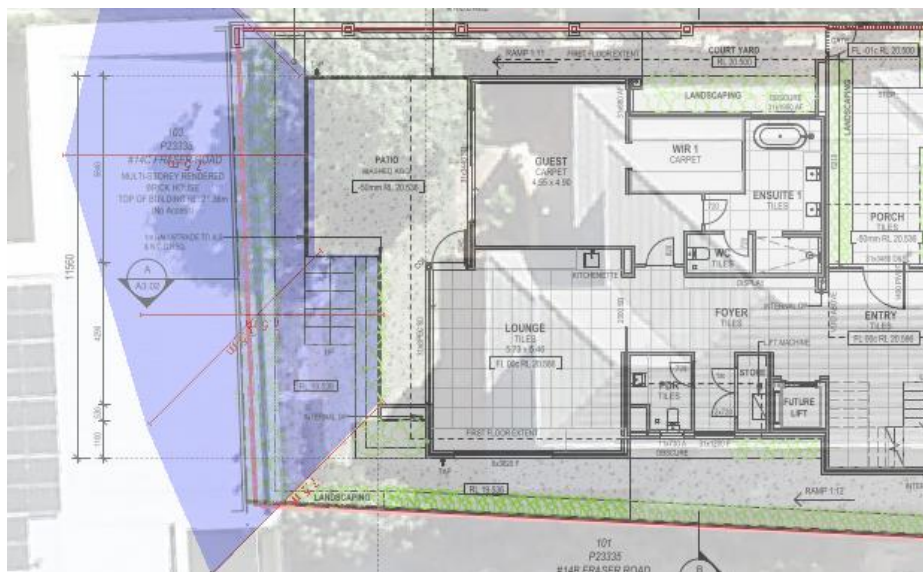


Figure 4: Cone of vision from the elevated deck.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

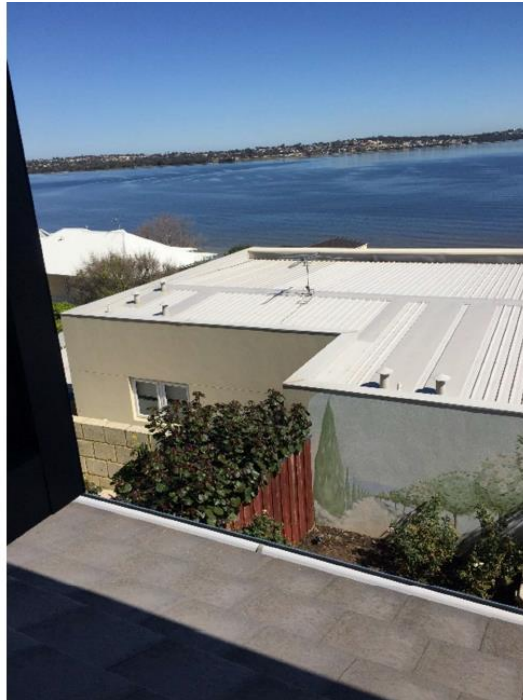


Figure 5: Views west from the existing dwelling at 14A Fraser Road.

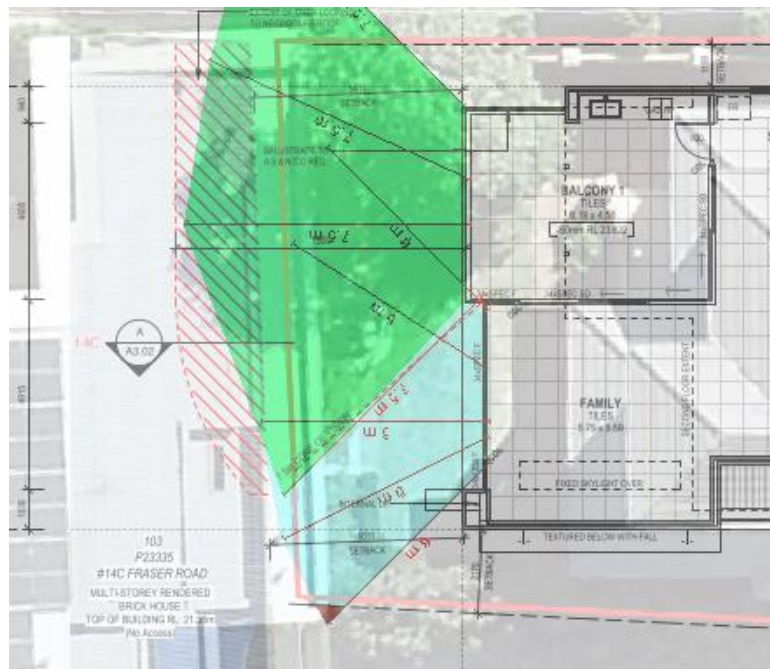


Figure 6: Cone of vision from the first floor balcony (expressed in green), family room (expressed in blue) and where views from the family room fall into 14B (expressed in red)

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**Solar Access

The proposed overshadowing from the development exceeds the deemed to comply provisions and as such requires a performance assessment in relation to solar access. The Design Principles contained in Clause 5.4.2 of the R-Codes seek to ensure sufficient solar access for the development site and the protection of outdoor living areas, major openings and solar collectors on adjoining properties. It is considered that the proposed design satisfies the Design Principles as:

- The design elements contained within the Explanatory Guidelines of the R-Codes state that areas most vulnerable to overshadowing are east-west orientated sites on the south side of a development site, especially if they are also lower or on a south facing slope as is the case with this proposal. In such cases, even a relatively low building may cast a mid-winter shadow over a greater proportion of a site than allowed under the deemed-to-comply provisions. The overshadowing impact, is exacerbated in this case, as the ground floor of the dwelling at 14B Fraser Road has a central courtyard which is located on its northern side boundary (Figure 7 and 8). An outdoor living area in this location is more susceptible to shadow encroachment from developments to the north than it would be if it was located towards the rear of the dwelling. In addition, the outdoor and indoor living areas in this central location are shadowed by the existing covered alfresco area. The impact to this central area is offset by southern properties pool/rear yard being relatively unaffected by the proposed development and with the upper floors containing no major openings to habitable spaces. The proposed development does not cause any overshadowing of major openings on the adjoining property. The primary outdoor living area which is connected to the central courtyard is covered by a roof structure and as such will be shaded by this in the winter months. While the courtyard area will be impacted, the adjoining landowners have access to a number of other outdoor spaces which will not be impacted. The proposed development is considered to meet the design principles on that basis.

U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)



Figure 9: View of the existing two storey home from Fraser Road. This home is to be demolished.



Figure 10: View of the neighbouring property at 14B Fraser Road.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**



Figure 11: View of the access leg between the subject site and 12B Fraser Road.



Figure 12: View of the interface between the subject site and 12B Fraser Road.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)****ALTERNATE OPTIONS AND THEIR IMPLICATIONS**

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide an opportunity to call this matter up for formal Council consideration.

CONCLUSION

Given the design principle assessment that has been applied in this case concludes that the development is acceptable in principle, it is recommended that approval for the amendment be granted, subject to conditions.

OFFICER RECOMMENDATION**APPROVAL**

- 1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 2. All stormwater generated on site is to be retained on site.**
- 3. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;**
 - A maximum width of 6m;**
 - located a minimum of 2m away from the outside of the trunk of any street tree; and**
 - A minimum of 1m from any existing street infrastructure.**

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

- 4. Any street walls and fences (including the height of any retaining walls) constructed within the primary street setback area shall meet the requirements contained under clause 4 of LPP-3.1: Residential Development to the satisfaction of the City.**
- 5. Where a driveway meets the street, walls or fencing within sight line areas (including the adjoining property to the south) are to meet the requirements contained under clause 5 of LPP-3.1: Residential Development, to the satisfaction of the City.**
- 6. Where a driveway meets the street, walls or fencing within sight line areas are to meet the requirements contained under clause 5 of Local Planning Policy LPP3.1 Residential Development, to the satisfaction of the City.**

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

7. Prior to the initial occupation of the development, the external surface of the retaining wall/s which are visible from the adjoining properties shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.
8. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
9. Prior to commencement of development, a detailed landscaping and reticulation plan for the subject site and/or the road verge(s) adjacent to the site shall be submitted to and approved in writing by the City. The landscaping plan is to include proposed details of (but is not limited to):
 - a. The location, number and type of proposed trees and shrubs including planter size and planting density;
 - b. Any lawns to be established;
 - c. Any existing vegetation and/or landscaped areas to be retained; and
 - d. Any verge treatments

The approved landscaping and reticulation plan shall be fully implemented within the first available planting season after the initial occupation of the development and maintained thereafter, to the satisfaction of the City. Any species which fail to establish within the first two planting seasons following implementation shall be replaced in accordance with the City's requirements.

10. All trees on the City's verge to be managed in accordance with Tree Policy (CP-029) unless otherwise approved in writing by the City, all street tree/s shall be protected throughout construction via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to commencement of development, in accordance with the following criteria to the satisfaction of the City:
 - A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.
 - If an approved crossover, front fence, footpath, road or similar is located within the 2m radius, the TPZ fencing shall be amended to be the minimum distance necessary to allow the works to be completed.
 - Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.

**U21/0563 – THREE STOREY SINGLE HOUSE AT LOT 102 (NO.14A) FRASER ROAD
APPLECROSS WA 6153 (REC) (ATTACHMENT)**

10. (cont).

- **The following actions shall not be undertaken within any TPZ:**
 - **Storage of materials, equipment fuel, oil dumps or chemicals**
 - **Servicing and refuelling of equipment and vehicles**
 - **Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device)**
 - **Open-cut trenching or excavation works (whether or not for laying of services)**
 - **Changes to the natural ground level of the verge**
 - **Location of any temporary buildings including portable toilets**
 - **The unauthorised entry by any person, vehicle or machinery**
- **No unauthorised pruning of the canopy or roots of any Street Tree is permissible under the City of Melville's Tree Policy CP-029. Pruning may only be undertaken by the City's approved contractors following a written submission to and approval by the City.**