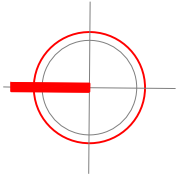


BUILDER NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERING DRAWINGS AND CONTRACT DOCUMENTATION, INCLUDING ADDENDA, VARIATIONS, AND SPECIFICATIONS.
BUILDER TO CONSTRUCT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 VOLUME TWO AMENDMENT ONE, THE ABCB HOUSING PROVISIONS STANDARD 2022, AND ALL APPLICABLE AUSTRALIAN STANDARDS.



SITE PLAN

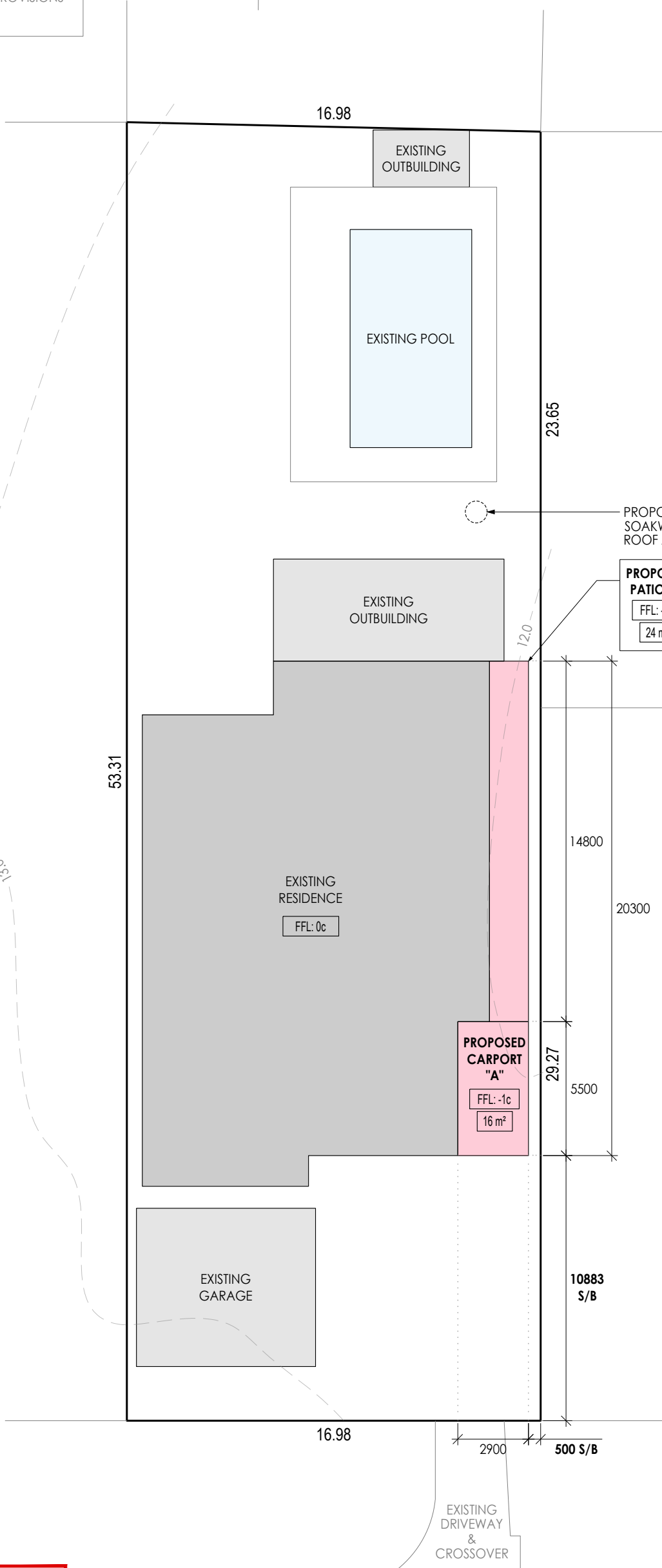
SCALE 1:200

PROPOSED SOAKWELL NOTES:
(PROPOSED SOAKWELL BY OWNER - NOT IN CONTRACTORS SCOPE OF WORKS)

PROPOSED Ø900mm x 900mm SOAKWELL TO BE INSTALLED TO SERVICE NEW ROOF AREAS "A" & "B".

NEW ROOF AREAS "A" & "B" = 40m²
(40 x 0.0130 = 0.52m³)
900 x 900mm SOAKWELL PROVIDES 0.57m³ OF STORAGE.
(0.05m³ OF EXTRA STORAGE)

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Proposed Carport and Patio to replace existing patios

Existing drive and cross over to remain unchanged

CLASS 10A COMPLIANCE NOTES

1. All storm water to be contained on site.
2. Ground levels to remain unaltered.
3. Where applicable, the BAL construction requirements applicable to the existing dwelling are to be applied to the proposed patio/carport/shed.
4. Steps must be taken to ensure that existing structures on adjoining properties are not undermined.
5. Concrete must comply with AS 3600.
6. Metal sheet roofing shall adhere with AS 1562.1, and where necessary be protected from corrosion.
7. Plastic sheet roofing shall adhere with AS 1562.3.



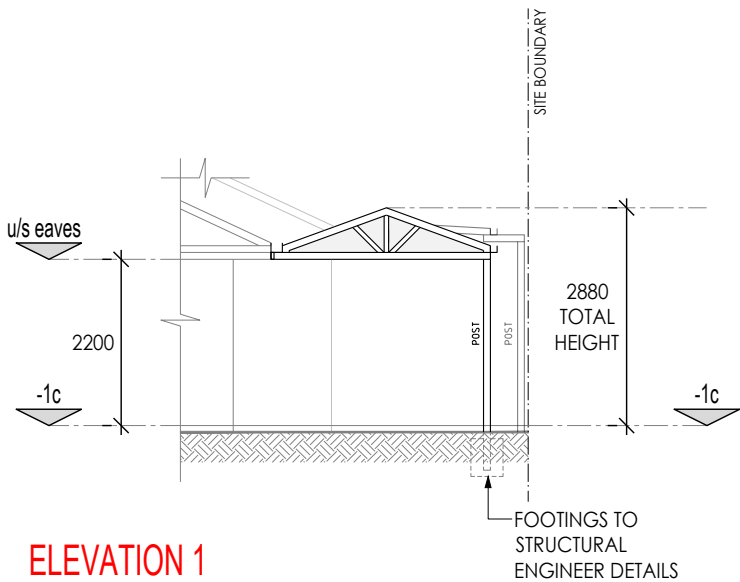
DRAWING TITLE: SITE PLAN	
PROJECT NAME: PROPOSED CARPORT & PATIO	
PROJECT ADDRESS: LOT 30 (#54) POINT WALTER ROAD, BICTON	
PROJECT NUMBER : C12994	REVISION : A
SHEET : 1 OF 2	SCALE : AS NOTED

BUILDER NOTE:

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BUILDER TO CONSTRUCT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 VOLUME TWO AMENDMENT ONE, THE ABCB HOUSING PROVISIONS STANDARD 2022, AND ALL APPLICABLE AUSTRALIAN STANDARDS.

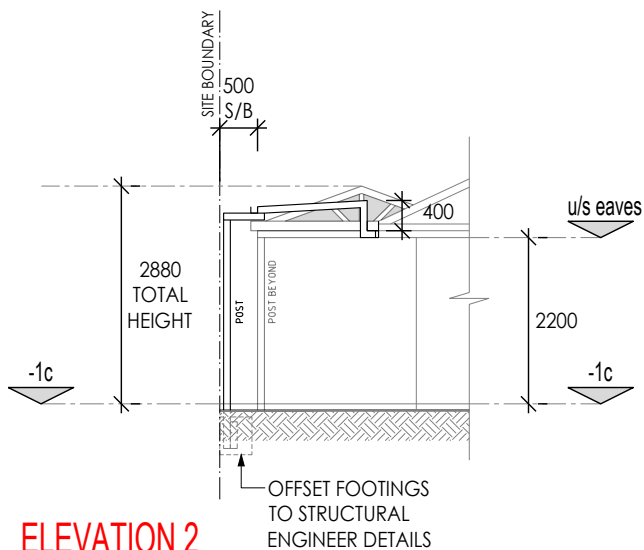
NOTE:

NO CHANGES TO BE MADE TO EXISTING FLOOR LEVELS



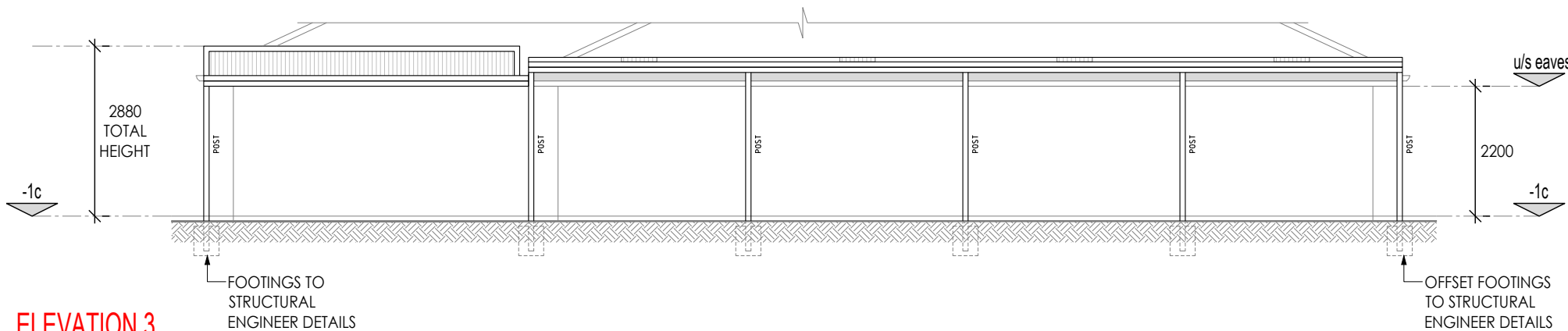
ELEVATION 1

SCALE 1:100



ELEVATION 2

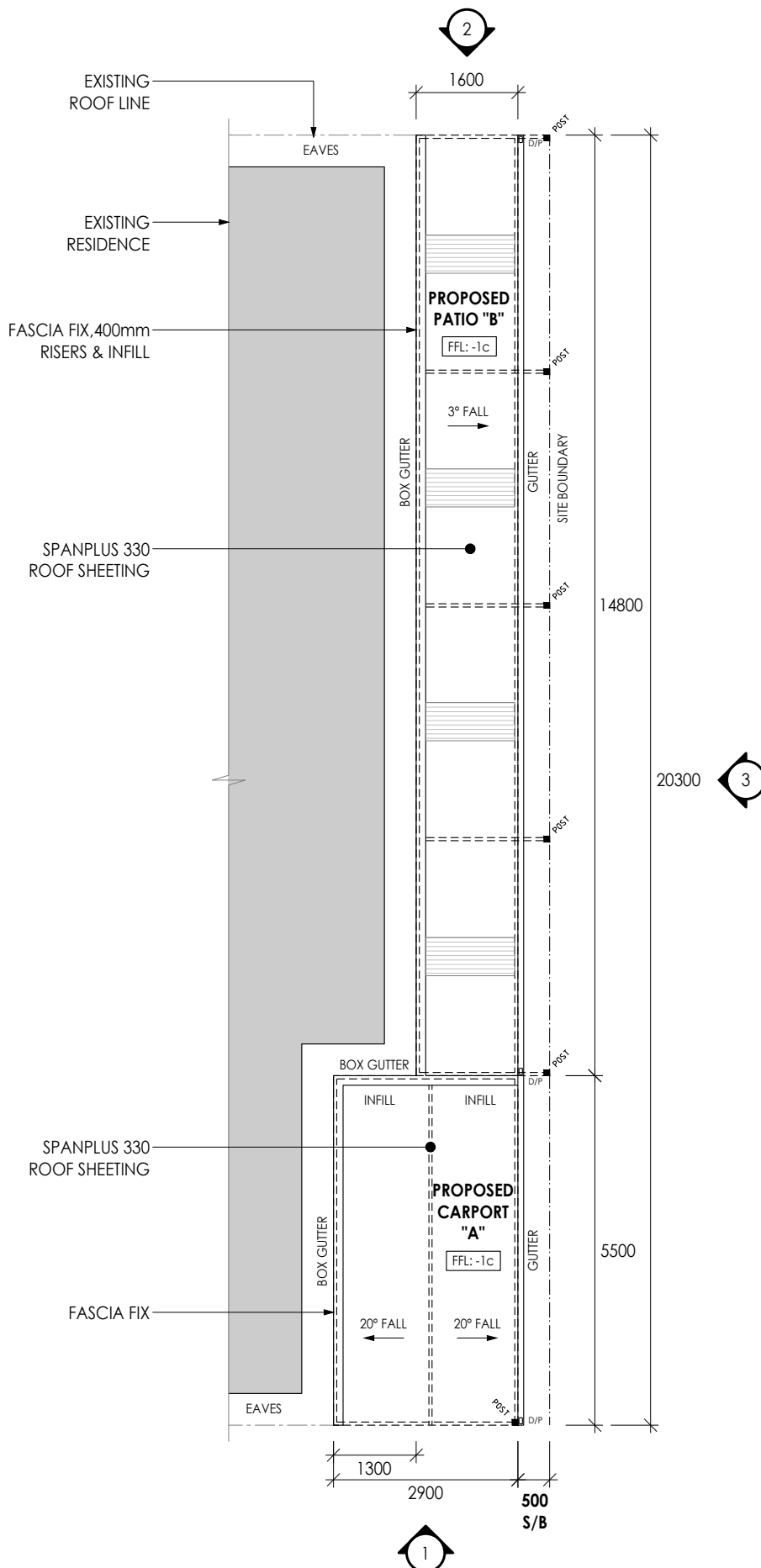
SCALE 1:100



ELEVATION 3

SCALE 1:100

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PATIO PLAN

SCALE 1:100

CLASS 10A COMPLIANCE NOTES

1. All storm water to be contained on site.
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3. Where applicable, the BAL construction requirements applicable to the existing dwelling are to be applied to the proposed patio/carport/shed.
4. Steps must be taken to ensure that existing structures on adjoining properties are not undermined.
5. Concrete must comply with AS 3600.
6. Metal sheet roofing shall adhere with AS 1562.1, and where necessary be protected from corrosion.
7. Plastic sheet roofing shall adhere with AS 1562.3.

Colours - Materials Schedule
Frame, Downpipes, Flashings - Colorbond DUNE
Gutters - Colorbond SURFMIST
Posts - 90 x 90 SHS - Colorbond DUNE
Roof Sheetting - Spanplus 330 - Colorbnd SURFMIST



DRAWING TITLE:
CARPORT & PATIO PLAN & ELEVATIONS

PROJECT NAME:
PROPOSED CARPORT & PATIO

PROJECT ADDRESS:
LOT 30 (#54) POINT WALTER ROAD, BICTON

PROJECT NUMBER : **C12994**

REVISION : **A**

SHEET : **2 OF 2**

SCALE : **AS NOTED**



0458 001 913
494 Great Eastern Hwy, Ascot
councils@perthpatiomagic.com.au

28.7.2026

City of Melville
Attention: Planning Department

RE: APPLICATION FOR DEVELOPMENT APPROVAL

Property Address: 54 Point Walter Road BICTON WA 6157
Proposal: Carport/Patio Addition

Dear Planning Officer,

Please find attached our application for Development Approval for the proposed carport/patio addition at the above property.

We acknowledge that the proposal includes a variation to the deemed-to-comply provisions of the Residential Design Codes (R-Codes), specifically relating to a reduced lot boundary setback. In support of this variation, we provide the following justification for the City/Shire's consideration:

Assessment Against Design Principles – Clause 5.1.3 (Lot Boundary Setback)

- The structure is designed to have minimal impact on access to sunlight and ventilation for both the subject and adjoining properties.
- The open design reduces any sense of bulk or building mass close to the boundary.
- No alterations to the existing natural ground levels are proposed – given this the proposal will not result in any loss of privacy to the adjoining property.

We respectfully request the City/Shire's favourable consideration of this application and the proposed variation. Should you require any further information or clarification, please do not hesitate to contact me directly.

Yours sincerely,

Adrian Hryb
PERTH PATIO MAGIC
0458 001 913

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