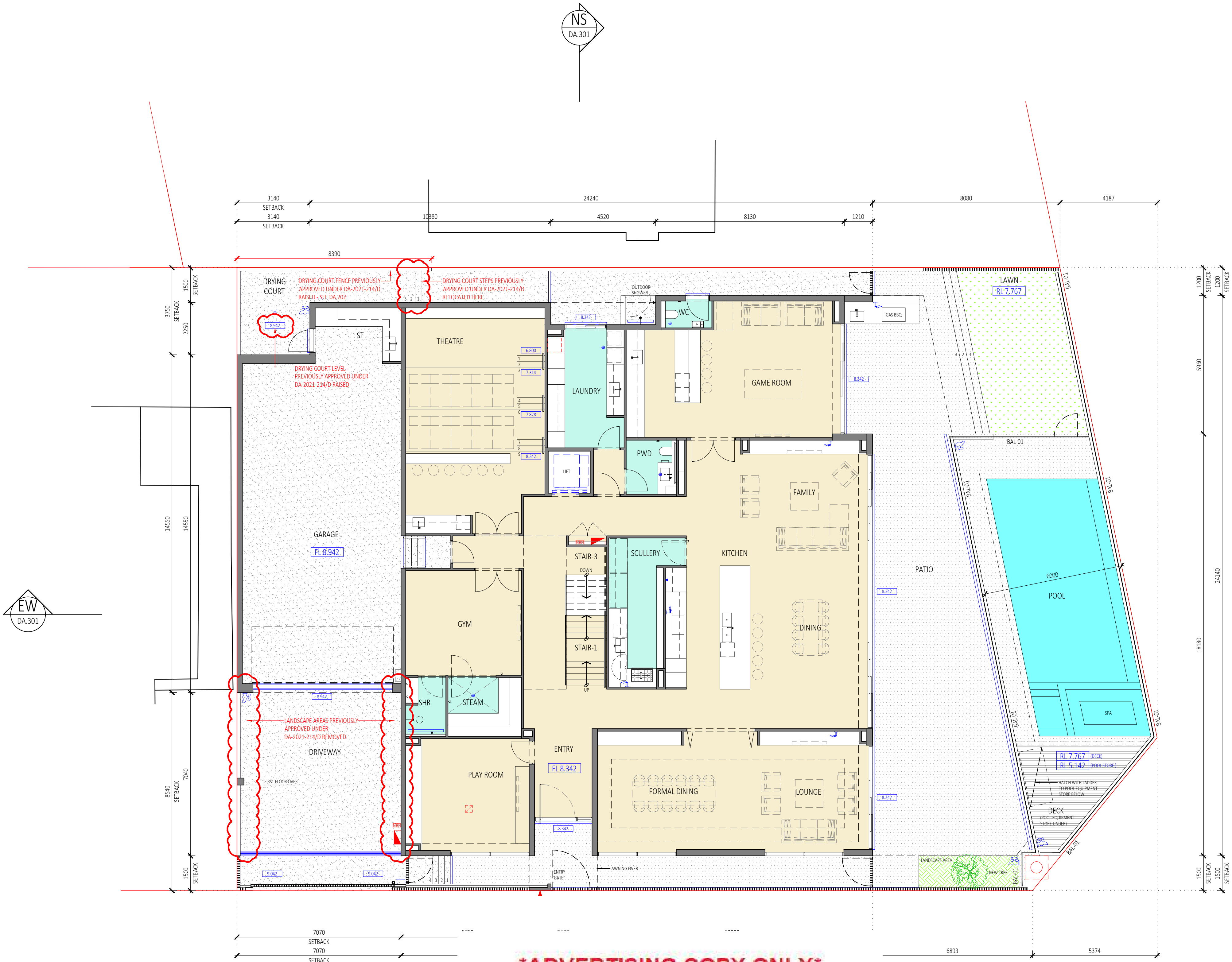




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DATE	REV	DESCRIPTION
19.04.24	A	ISSUED FOR AMENDED DEVELOPMENT APPROVAL
12.06.26	B	ISSUED FOR AMENDED DEVELOPMENT APPROVAL

LEGEND

FB	FACE BRICKWORK / SPLIT-FACE BLOCKWORK (WHERE FACING NEIGHBOUR)
RP	RENDER & PAINT FINISH (TEXTURE COATING) (TO BRICKWORK OR CONCRETE)
SC	STONE CLADDING (OVER BRICKWORK OR CONCRETE SUBSTRATE)
BAL-01	1200mm HIGH FRAMELESS GLASS BALUSTRADE/ POOL FENCE (IN RECESSED CONCRETE CHANNEL)
BAL-02	1600mm HIGH FRAMELESS OBSCURED GLASS BALUSTRADE/ PRIVACY SCREEN (IN RECESSED CONCRETE CHANNEL)
SC-01	1600mm HIGH POWDER-COATED ALUMINIUM PERFORATED SCREEN (PERFORATED SHEET OPEN AREA TO BE MINIMUM 50%)
GFL	GROUND FLOOR LEVEL
FFL	FIRST FLOOR LEVEL
RTFL	ROOF TERRACE FLOOR LEVEL
PREFIX	"A" = ABOVE; "B" = BELOW

FLOOR	FLOOR LEVEL	ENCLOSED AREA (m ²)
GROUND FLOOR	8.342	583.6
BASEMENT	4.742	578.9
FIRST FLOOR	12.285	526.8
ROOF TERRACE	15.971	62.1
ROOF TERRACE OUTDOOR AREA		400.5

SITE AREA : 1004 m²

PROJECT STATUS:
DEVELOPMENT APPROVAL

- ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO EXECUTION OF WORK.
- FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING.
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DESIGNER / CLIENT:



PROJECT:
RESIDENTIAL DEVELOPMENT
23 CARRON ROAD, APPLECROSS

DRAWN BY: IPG	CHECKED BY: IPG	SCALE: 1:100 @ A1
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DRAWING NAME:
GROUND FLOOR PLAN

PROJECT NUMBER: 2009	DRAWING NUMBER: DA.101	REVISION: B
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DATE	REV	DESCRIPTION
19.04.24	A	ISSUED FOR AMENDED DEVELOPMENT APPROVAL
11.12.24	B	OUTDOOR DINING ROOF SHORTENED
12.06.26	C	ISSUED FOR AMENDED DEVELOPMENT APPROVAL

FB FACE BRICKWORK / SPLIT-FACE BLOCKWORK
(WHERE FACING NEIGHBOUR)

RP RENDER & PAINT FINISH (TEXTURE COATING
(TO BRICKWORK OR CONCRETE))

SC STONE CLADDING
(OVER BRICKWORK OR CONCRETE SUBSTRATE)

BAL-01 1200mm HIGH FRAMELESS GLASS BALUSTRADE
POOL FENCE
(IN RECESSED CONCRETE CHANNEL)

BAL-02 1600mm HIGH FRAMELESS OBSCURED GLASS
BALUSTRADE/ PRIVACY SCREEN
(IN RECESSED CONCRETE CHANNEL)

SC-01 1600mm HIGH POWDER-COATED ALUMINIUM
PERFORATED SCREEN
(PERFORATED SHEET OPEN AREA TO BE MINIMUM 50%)

GFL GROUND FLOOR LEVEL

FFL FIRST FLOOR LEVEL

RTFL ROOF TERRACE FLOOR LEVE

PREFIX "A" = ABOVE; "B" = BELOW

FLOOR	FLOOR LEVEL	ENCLOSED AREA (m ²)
GROUND FLOOR	8.342	583.6
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ROOF TERRACE	15.971	62.1
ROOF TERRACE OUTDOOR AREA		400.5

SITE AREA : 1004 m²

Architectural site plan for a building with a pool, spa, and outdoor seating. The plan includes dimensions, setbacks, and various annotations. Key features include a pool, spa, pool deck, kids area, lobby, stairs, and outdoor sitting/dining areas. Annotations include 'NS DA.301', 'EW DA.301', and 'ADVERTISING COPY ONLY'.

Dimensions and Setbacks:

- Top setbacks: 3140, 1220, 3275, 7670, 10285, 7230, 6000, 11541, 5879, 4187.
- Left setbacks: 4550, 1500, 3050, 16875, 5415, 3415, 2000, 3005.
- Right setbacks: 4685, 1500, 3050, 19150, 24140.
- Bottom setbacks: 1220, 3275, 5850, 7070.

Key Features and Annotations:

- Pool Area:** Includes SPA, POOL DECK, and 1200mm HIGH CONCRETE PLANTER BOX.
- Kids Area:** Located adjacent to the pool.
- Lobby:** FL 15.971, includes STAIR-2 and GAS INLET.
- Outdoor Seating:** Includes OUTDOOR SITTING and OUTDOOR DINING areas.
- Services:** SC-01, SC-02, and SERVICES SC-01.
- Other:** BAL-01, BAL-02, BAL-03, BAL-04, BAL-05, BAL-06, BAL-07, BAL-08, BAL-09, BAL-10, BAL-11, BAL-12, BAL-13, BAL-14, BAL-15, BAL-16, BAL-17, BAL-18, BAL-19, BAL-20, BAL-21, BAL-22, BAL-23, BAL-24, BAL-25, BAL-26, BAL-27, BAL-28, BAL-29, BAL-30, BAL-31, BAL-32, BAL-33, BAL-34, BAL-35, BAL-36, BAL-37, BAL-38, BAL-39, BAL-40, BAL-41, BAL-42, BAL-43, BAL-44, BAL-45, BAL-46, BAL-47, BAL-48, BAL-49, BAL-50, BAL-51, BAL-52, BAL-53, BAL-54, BAL-55, BAL-56, BAL-57, BAL-58, BAL-59, BAL-60, BAL-61, BAL-62, BAL-63, BAL-64, BAL-65, BAL-66, BAL-67, BAL-68, BAL-69, BAL-70, BAL-71, BAL-72, BAL-73, BAL-74, BAL-75, BAL-76, BAL-77, BAL-78, BAL-79, BAL-80, BAL-81, BAL-82, BAL-83, BAL-84, BAL-85, BAL-86, BAL-87, BAL-88, BAL-89, BAL-90, BAL-91, BAL-92, BAL-93, BAL-94, BAL-95, BAL-96, BAL-97, BAL-98, BAL-99, BAL-100.

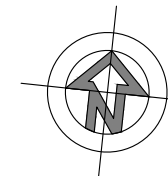
Annotations:

- NS DA.301
- EW DA.301
- ADVERTISING COPY ONLY
- These plans are for advertising of

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3.	THE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS & ASSOCIATED DRAWINGS.



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DESIGNER / CLIENT



LEVEL 3, 59 PARRY STREET, PERTH WA 6000
P.O. BOX 967, SOUTH PERTH WA 6951
T: (08) 9325 9500

PROJECT:
RESIDENTIAL DEVELOPMENT
23 CARRON ROAD, APPLECROSS

DRAWN BY: IPG	CHECKED BY: IPG	SCALE: 1:100 @ A1
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DRAWING NAME:
ROOF TERRACE PLAN

PROJECT NUMBER:	DRAWING NUMBER:	REVISION:
2009	DA.131	C

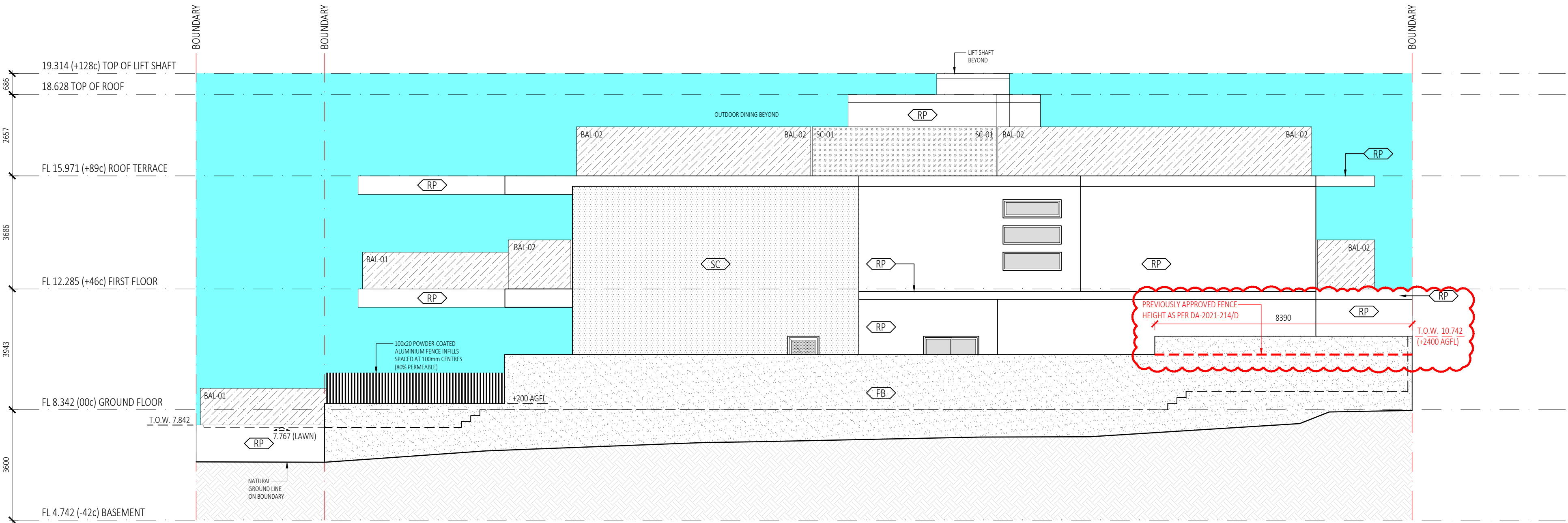
DATE	REV	DESCRIPTION
19.04.24	A	ISSUED FOR AMENDED DEVELOPMENT APPROVAL
20.09.24	B	TOP OF ROOF LOWERED FROM 18.792 TO 18.628
11.12.24	C	OUTDOOR DINING ROOF SHORTENED
12.06.26	D	ISSUED FOR AMENDED DEVELOPMENT APPROVAL

LEGEND

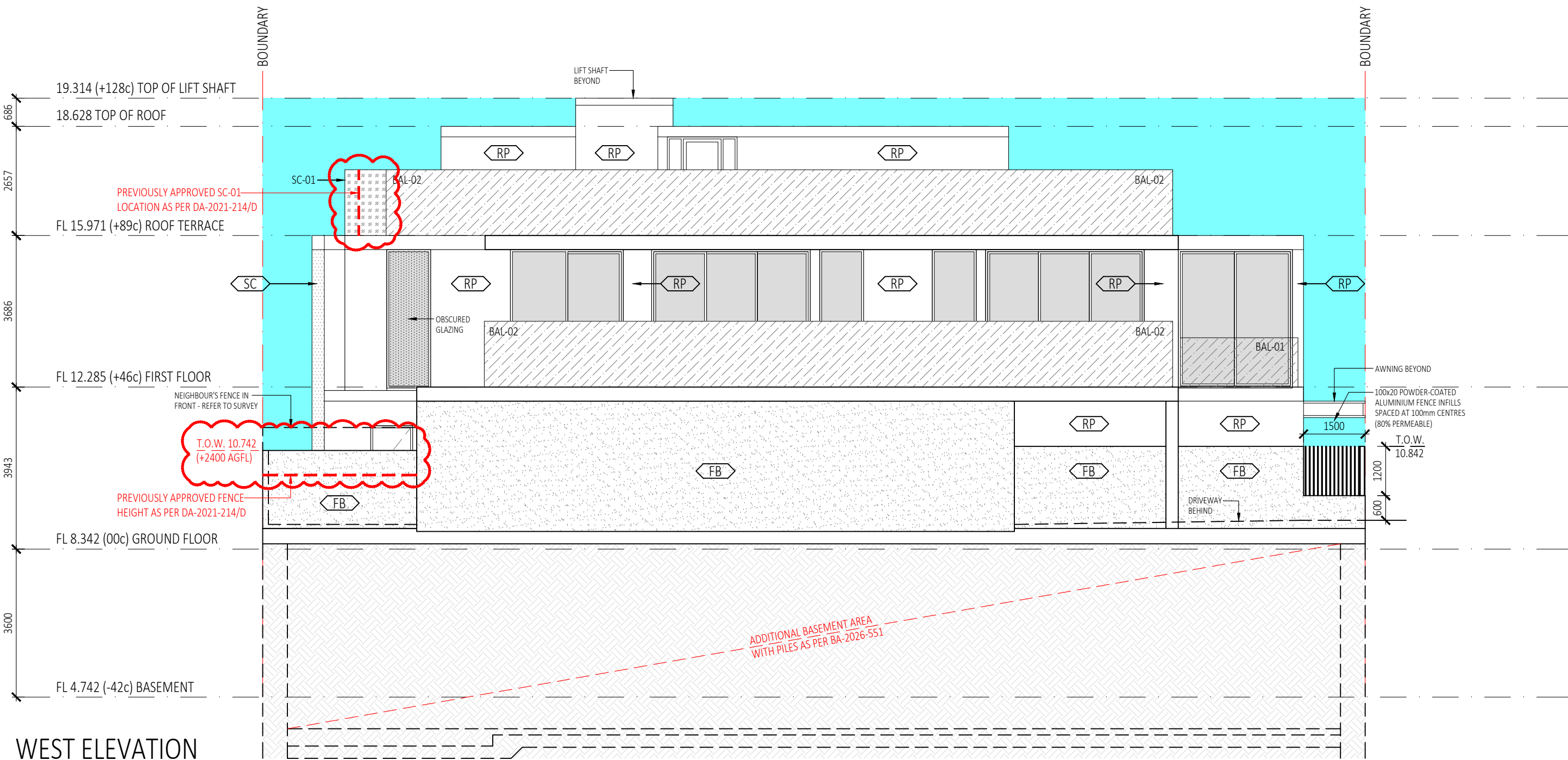
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ROOF TERRACE OUTDOOR AREA		400.5

SITE AREA : 1004 m²



NORTH ELEVATION



WEST ELEVATION

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DESIGNER / CLIENT:  LEVEL 3, 59 PARRY STREET, PERTH WA 6000 P.O. BOX 967, SOUTH PERTH WA 6951 T: (08) 9325 9500		
PROJECT: RESIDENTIAL DEVELOPMENT 23 CARRON ROAD, APPECROSS		
DRAWN BY: IPG	CHECKED BY: IPG	SCALE: 1:100 @ A1
DRAWING NAME: ELEVATIONS		
PROJECT NUMBER: 2009	DRAWING NUMBER: DA.202	REVISION: D

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12 June 2026

City of Melville
10 Almondbury Road
BOORAGOON WA 6154

Attn: The Planning Department

Dear Sir or Madam,

**AMENDMENT TO DA-2021-214/D – CHANGES DUE TO ADDITIONAL BASEMENT AREA
23 CARRON ROAD, APPLECROSS WA 6153**

We refer to the previous Development Approval granted by the City of Melville on 20 December 2024.

Subsequently, Building Permit BA-2025-2074 was issued on 1 December 2025, with an amendment (BA-2026-551) granted on 18 May 2026 to incorporate an additional basement area supported by piles.

This submission seeks an amendment to the approved Development Approval DA-2021-214/D, as the introduction of the additional basement area has resulted in changes to the external appearance of the building and modifications to site levels.

Ground Floor

As a result of the additional basement and piling system:

- The garage and driveway slabs are now designed as suspended slabs, replacing the previously approved at-grade construction.
- This change has led to the removal of two landscape areas on the driveway previously shown on the approved plans.
- The drying court level has been raised to accommodate the revised structural design.
- To maintain compliance with visual privacy requirements, the boundary fence at the north-west corner has been increased by 600mm, ensuring the overall fence height remains at 1800mm, thereby preventing overlooking into adjoining properties.

Roof Terrace

The inclusion of the additional basement area has increased the mechanical heating and cooling demand, necessitating upgrades to the building services:

- The air-conditioning outdoor units have been increased in capacity.
- Accordingly, the services screen (SC-01) has been extended northward by 340mm to suitably enclose the upgraded units.
- The planter box widths have been increased following recommendations from the landscape contractor.

Planning Considerations

Notwithstanding the above amendments:

- The development remains consistent with the approved visual privacy provisions.
- The proposal continues to comply with the relevant planning framework and design intent of the originally approved development.
- The amendments are considered minor in nature and do not materially alter the overall character or amenity outcomes of the development.

Thank you for your consideration of this request.

I look forward to your favourable response.

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