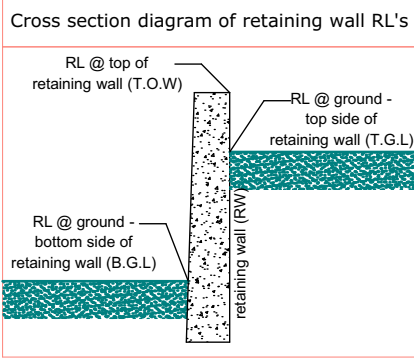


NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist, they may affect design.

Note: Service lines are plotted from before you dig (BYDA) information and must be verified before adopting their positions.

The location of underground assets provided by a service or utility provider may not be accurate and the position of underground assets must be proved by hand excavation, pot holing, surface scanning or other approved techniques.



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LEGEND	
	TBM - RL 10.00m
	Edge of Patio/Structure
	Gutter Line
	Overhead Powerline (centre-line of poles)
	Underground Power Cable
	Abandoned Gas Main
	Gas Main
	Water Main
	Sewer Main
	Concrete Pipe Encasement
	Underground Telstra/NTN
	Cable
	Water Meter
	Sewer Connection
	Sewer Manhole
	House Connection
	Power Pole
	Tree

Survey Date: 18th February 2026			Scale 1:200@A3	
Client: Sumit Agrwal & Surbhi Gupta				
Rev	Date	Description	Surv	Drawn
0	20/2/2026	Feature Survey Drafted	LZ	LZ

FEATURE AND CONTOUR SURVEY
OF LOT 5773 ON PLAN 6673
12 Ellison Street, Willagee
C/T Vol: 1229 Fol: 957
our ref. 26-1022

Feature Survey by
THE LAND DIVISION
PO Box 2444,
Malaga, WA 6090
phone: 08 9209 3232
www.landdivision.com.au

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT BEFORE YOU DIG (BYDA) TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEATURES ARE RELATED TO FENCE-LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. **REPEGE RECOMMENDED.**



Zone	Area	Perim
Unit A		
Alfresco	14.43	15,200
Garage	35.05	23,680
Ptco	3.87	8,504
Residence	180.17	83,840
	233.52 m²	131,224 mm
Unit B		
Alfresco	11.90	13,800
Garage	37.85	24,824
Ptco	3.72	8,034
Residence	182.08	86,935
	235.55 m²	133,593 mm
	469.07 m²	264,817 mm

Site Calculations	
Unit A	
Site Area:	383.5m² (proposed)
Building Footprint:	215.22m²
Site Coverage:	56.12%
Allowable Site Coverage:	50%

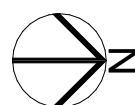
Unit B	
Site Area:	383.5m² (proposed)
Building Footprint:	219.93m²
Site Coverage:	57.34%
Allowable Site Coverage:	50%

Zoning:	R25
Policies:	R-Codes
Heritage:	NA
Bushfire:	NA
BAL:	NA
Acoustic:	NA
Sewer:	RHS in property
Power:	Pole RHS
Coastal:	NA
Water:	LHS
Wind Rating:	TBC

6.00	Re Design	09.07.26
5.00	Changes	06.07.26
4.00	DA Drawings	05.06.26
3.00	Changes	13.05.26
2.00	Changes	12.05.26
1.00	Concept	08.05.26

Revision	Description	Date
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Project North:



Client
GUPTA & AGRAWAL

Project Name
2 x Single Storey Units

Project Address
Lot 5773 (#12) Ellison St WILLAGEE

Drawing Title:

Site & Landscaping Plan

Scale:
1:200

Project No:
26043

Sheet Size:
A2

Revision Number:
6.00

Drawing No.:

03 of 06



Unit: 3/1 Mulgool Road, Malaga W.A 6090
(08) 9248 8392 germanodesigns.com.au

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Ground Cover

- Paving
- Grass
- Mulch (depth to be minimum 300mm as per city reqs)

Plant Schedule

	Quant	Pot Size	Height
Coastal Banjine Pimelea Ferruginea	44	140m	0.3-1.5m
Dianella revoluta Little Rev	44	140m	30-40cm
Frangipani	3	35lt	1-15m
grey box hedge	50	400m	6m

Note:

- All landscaped areas to be mulched to a minimum depth of 50mm
- All planting and turf areas to be irrigated via a fully automatic system
- Irrigation system to be dual program to allow landscaped and turf areas to be separate
- Irrigation system to be programed to set council watering days



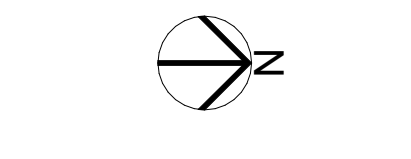
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Project North:



Client
GUPTA & AGRAWAL

Project Name
2 x Single Storey Units

Project Address
Lot 5773 (#12) Ellison St WILLAGEE

Drawing Title
Ground Floor Plan

Scale:
1:100

Project No:
26043

Revision Number:
6.00

Drawing No.:
04 of 06

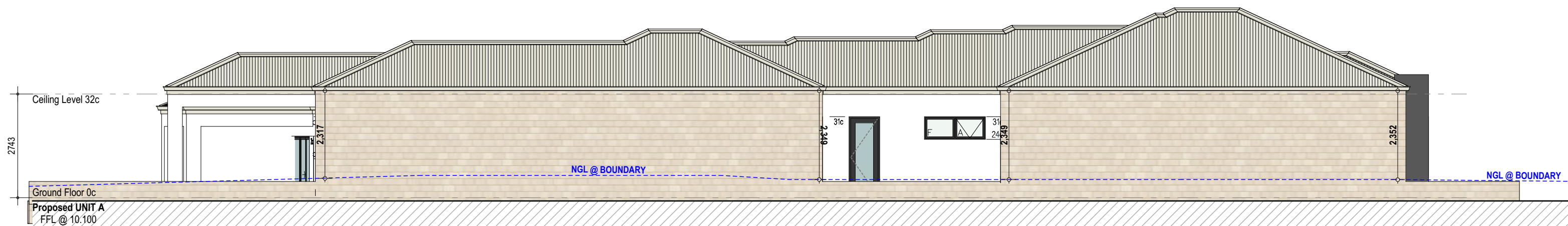


Unit: 3/1 Mulgill Road, Malaga W.A 6090
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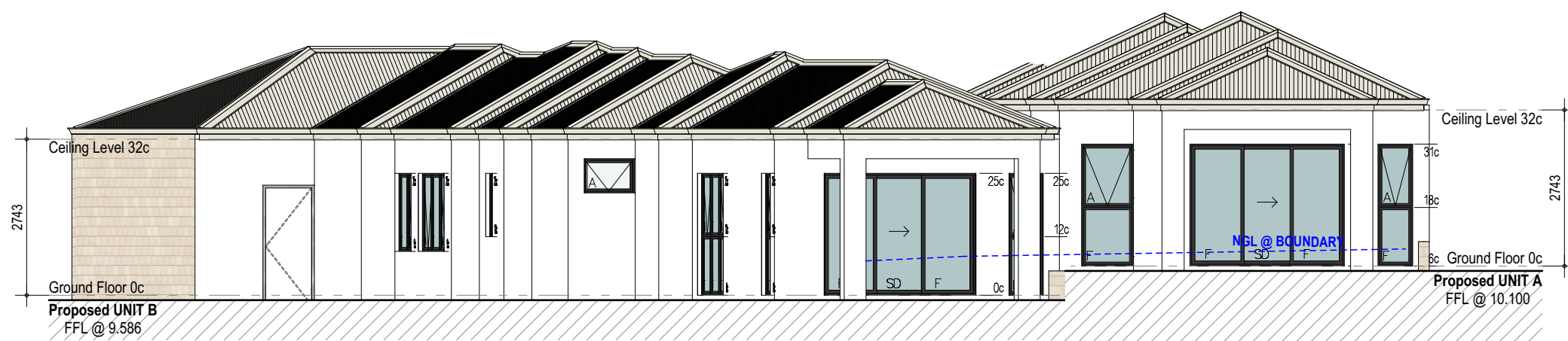
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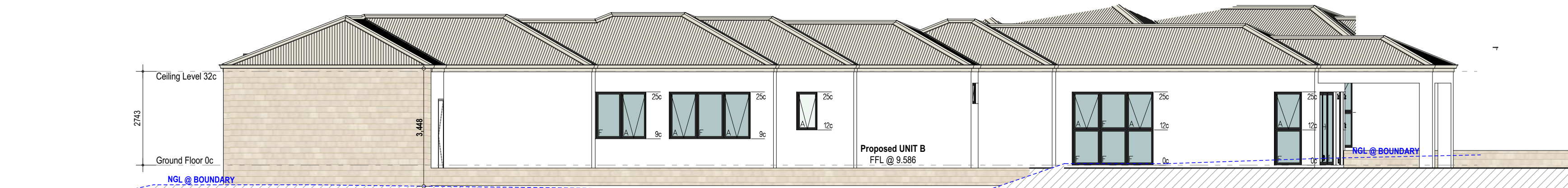
E1 East Elevation
1:100



E2 South Elevation
1:100



E3 West Elevation
1:100

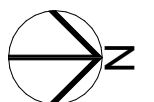


E4 North Elevation
1:100

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Client
GUPTA & AGRAWAL

Project Name
2 x Single Storey Units

Project Address
Lot 5773 (#12) Ellison St WILLAGEE

Drawing Title:

Elevations

Scale:	Sheet Size:
1:100	A2
Project No:	Revision Number:
26043	6.00

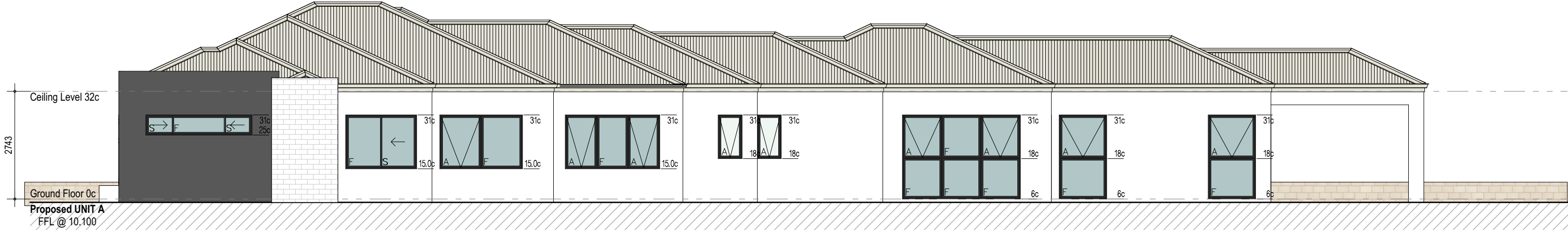
Drawing No.:

05 of 06

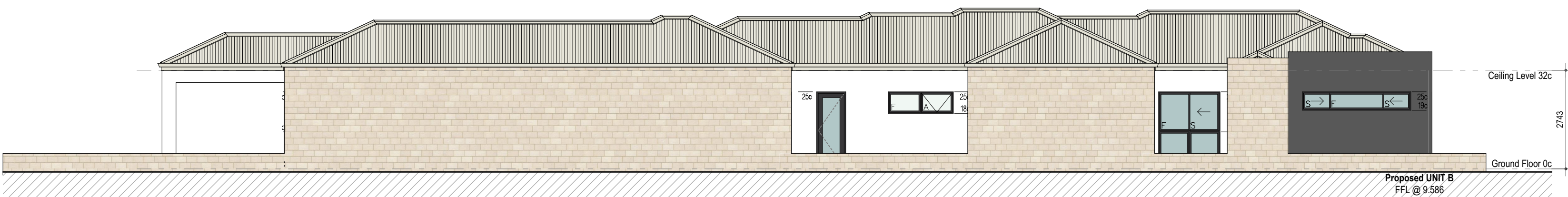


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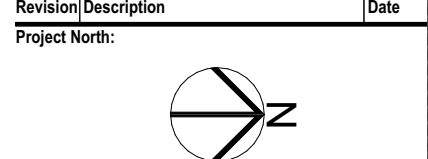
E5 Unit A - North Elevation
1:100



E6 Unit B - South Elevation
1:100

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Lot 5773 (#12) Ellison St WILLAGEE

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Elevations

Scale: 1:100	Sheet Size: A2
Project No.: 26043	Revision Number: 6.00

Drawing No.:
06 of 06

GERMANO DESIGNS

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