

REPORTS AND RECOMMENDATIONS

FOR THE

DEVELOPMENT ADVISORY UNIT

MEETING

HELD ON

TUESDAY, 25 JULY 2023

1. This Meeting makes Recommendations to the Manager Statutory Planning.
2. Should any Elected Member wish to discuss the content of any item included as part of the attached agenda, please contact Mark Scarfone, Acting Manager Statutory Planning. Contact should be established as soon as possible after the publication of the agenda to the City of Melville website. Contact details are as follows: mark.scarfone@melville.wa.gov.au or Tel 9364 0323.
3. Should an Elected Member propose that an item on this agenda be referred to Council for determination, a request to that effect must be made to the Chief Executive Officer (CEO). This request shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
4. Should any applicant or adjoining property owner object to any proposal included as part of this DAU agenda, then an opportunity exists to request that the application be determined by Council. All such requests should be referred to an Elected Member of Council for the Ward within which the development application is located. An Elected Member may request that the application be determined by Council. Any call up request from an Elected Member shall be made in accordance with the requirements set out by Clause 3.5.4 of Local Planning Policy LPP 1.1 'Planning Process and Decision Making'.
5. In the absence of any referral request, a decision on any application included as part of this DAU agenda can take place under delegated authority to the Manager Statutory Planning, after midday on the second Monday after the Friday publication of the minutes to the City's website. In the event that the DAU minutes are not published to the City's website until the Monday after the DAU meeting, a decision on the application can still take place the following Monday.

DISTRIBUTED: FRIDAY, 28 JULY 2023



**REPORTS AND RECOMMENDATIONS FROM THE DEVELOPMENT ADVISORY UNIT
MEETING HELD IN, MELVILLE CIVIC CENTRE, 10 ALMONDBURY ROAD,
BOORAGOON, COMMENCING AT 9:00 AM ON TUESDAY, 25 JULY 2023**

PRESENT

M Scarfone
T Cappellucci
T Geddes
J Caracciolo
L Johnson
A Brooksbank

A/Manager Statutory Planning
A/Planning Services Coordinator
Senior Planning Officer
A/Senior Planning Officer
Planning Officer
Planning Officer

DISCLOSURES OF INTEREST

DISCLOSURE OF FINANCIAL INTERESTS
LOCAL GOVERNMENT ACT 1995

Members' interests in matters to be discussed at meetings to be disclosed

S.5.65 (1) A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the Chief Executive Officer before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Penalty: \$10,000 or imprisonment for 2 years.

Meeting to be informed of disclosures

S.5.66 If a member has disclosed an interest in a written notice given to the Chief Executive Officer before a meeting then before the meeting -

- (a) the Chief Executive Officer is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) the person who is to preside at the meeting is to bring the notice to the attention of the persons who attend the meeting.

Disclosing members not to participate in meetings

S.5.67 A member who makes a disclosure under Section 5.65 must not -

- (a) preside at the part of the meeting relating to the matter; or
- (b) participate in, or be present during, any discussion or decision making procedure relating to the matter,

unless, and to the extent that, the disclosing member is allowed to do so under Section 5.68 or 5.69.

Penalty: \$10,000 or imprisonment for 2 years.

Please refer to your Handbook for definitions of interests and other detail.

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U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY, KARDINYA WA 6163 (REC) (ATTACHMENT)

Ward : Bateman – Kardinya - Murdoch
 Category : Operational
 Application Number : DA-2023-397
 Property : Lot 881 (No. 28A) McBeth Way, Kardinya WA 6163
 Proposal : Single Storey Single House
 Applicant : Residential Building WA Pty Ltd
 Owner : Gino and Monique Ziccardi
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Previous Items : No Previous Items
 Responsible Officer : Mark Scarfone
 Acting Manager Statutory Planning

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (eg under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

**U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)**

KEY ISSUES / SUMMARY

- Development Approval is sought for a single storey single house at 28A McBeth Way, Kardinya.
- The proposed development has been assessed against the provisions of City of Melville *Local Planning Scheme No.6* (LPS6), *State Planning Policy 7.3* (SPP7.3) – *Residential Design Codes of Western Australia* Volume 1 (R-Codes) and relevant local planning policies including the *Local Planning Policy 3.1 – Residential Development* (LPP3.1).
- The proposed development requires a performance assessment in relation to a number of matters including the lot boundary setback to the eastern boundary
- The application was advertised to adjoining property owners in accordance with the provisions of City of Melville *Local Planning Policy 1.1 – Planning Processes and Decision Making* and Part 4 of the R-Codes.
- One submission was received in response, objecting to the proposed development.
- Notwithstanding the objection received, the proposal is considered to meet the relevant design principles of the R-Codes and is therefore considered acceptable.
- It is recommended that the application be approved subject to conditions.

U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)



Figure 1 – Aerial Photography

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R25
Use Type	: Single House
Use Class	: Permitted

**U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)**

Site Details

Lot Area	:	405m ²
Retention of Existing Vegetation	:	No
Street Tree(s)	:	No
Street Furniture (drainage pits etc)	:	No
Site Details	:	Refer to Figure 1 above

A copy of the plans forms part of the attachments to the agenda which were distributed to Elected Members on Friday, 28 July 2023.

DETAIL

The application has been assessed against the provisions of LPS6, the R-Codes and relevant Local Planning Policies. A performance assessment is required in respect of the matters listed below.

State Planning Policy 7.3 - Residential Design Codes Volume 1

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 5.1.3 - Lot boundary setback Eastern Boundary	1.5m lot boundary setback	1.24m lot boundary setback	Requires a performance assessment against the Design Principles of the R-Codes	Development Advisory Unit (DAU)
Clause 5.1.4 - Open Space	50% site coverage	54% site coverage	Requires a performance assessment against the Design Principles of the R-Codes	Manager Statutory Planning (MSP)

**U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)**

Local Planning Policy 3.1 Residential Development

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 6 - Boundary Walls C3.2(iii) Western Elevation	In areas coded R20 and above, walls not higher than 3.5m up to a maximum length of the greater of 9m or one third the length of the balance of each lot boundary behind the front setback.	Western boundary wall aggregate length of 24.5m with height of walls under 3.5m.	Requires assessment against the Design Principles of the R-Codes.	Manager Statutory Planning (MSP)

The officer comment below is limited to the eastern lot boundary setback variation as this was the subject of the objection received.

The remaining elements which seek variation from the deemed-to-comply requirements of the R-Codes have been assessed against the relevant design principles and are found to be satisfactory.

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required:	Yes
Neighbour's Comment Supplied:	Yes
Reason:	Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
Support/Object:	One objection received

**U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)**

A summary of the content of the objection received and an officer's response is provided in the table below.

Summary of Issues Raised	Officer's Comment
Overshadowing generated by proposed dwelling. Loss of sunlight to master bedroom, outdoor areas and solar panels.	The R-Codes allows for a performance-based assessment of each proposal based on its merits. The proposed eastern setback is considered to meet the relevant design principles of Clause 5.1.3 of the R-Codes as there are no overshadowing impacts to the adjoining eastern lot. See detailed discussion in Comments section of this report.
Overlooking and visual privacy concerns.	The R-Codes allows for a performance-based assessment of each proposal based on its merits. The proposed eastern setback is considered to meet the relevant design principles of Clause 5.1.3 of the R-Codes as there are no overlooking impacts to the adjoining eastern lot. See detailed discussion in Comments section of this report.
Impact of eastern boundary wall	The eastern boundary wall (garage) meets the deemed-to-comply criteria for boundary walls outlined in LPP3.1

II. OTHER AGENCIES / CONSULTANTS

No consultation with other agencies/consultants is required.

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

FINANCIAL IMPLICATIONS

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

**U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)****COMMENT**Lot Boundary Setbacks – Eastern Boundary

The proposed setback to the eastern boundary is considered to meet the relevant design principles of Clause 5.1.3 of the R-Code as discussed below:

- No overlooking will be generated as the finished floor level of the rooms in the subject eastern wall with major openings facing the eastern boundary is less than 500mm above natural ground level;
- No midday shadow will be cast to the eastern lot due to the true north/south orientation of the subject lot and as such, does not restrict access to direct sun and ventilation to the subject site and adjoining sites major openings and outdoor living areas;
- Building bulk generated is minimal as the proposed dwelling is only single storey. The nature of the proposal is consistent with the expected scale of development in this locality and is not considered likely to result in a negative impact to the amenity of the adjoining eastern residences (see Figure 2 below);
- The impact of the proposed wall is reduced as it abuts two properties, limiting the ability for either property to see the entire length.
- As shown in Figure 3 below, the adjoining eastern dwelling at No.26 McBeth Way only has opening facing towards the western lot boundary and another facing north to the rear of the property. This west facing window currently faces the boundary fence and the proposed development will have limited visual impact when viewed from this area, while the north facing view will be maintained.; and
- As shown in Figure 4 below, the property at No.26A McBeth Way has a lot boundary wall and circulation space facing towards the proposed wall. The habitable rooms look south and will not be negatively impacted by this wall.

U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)

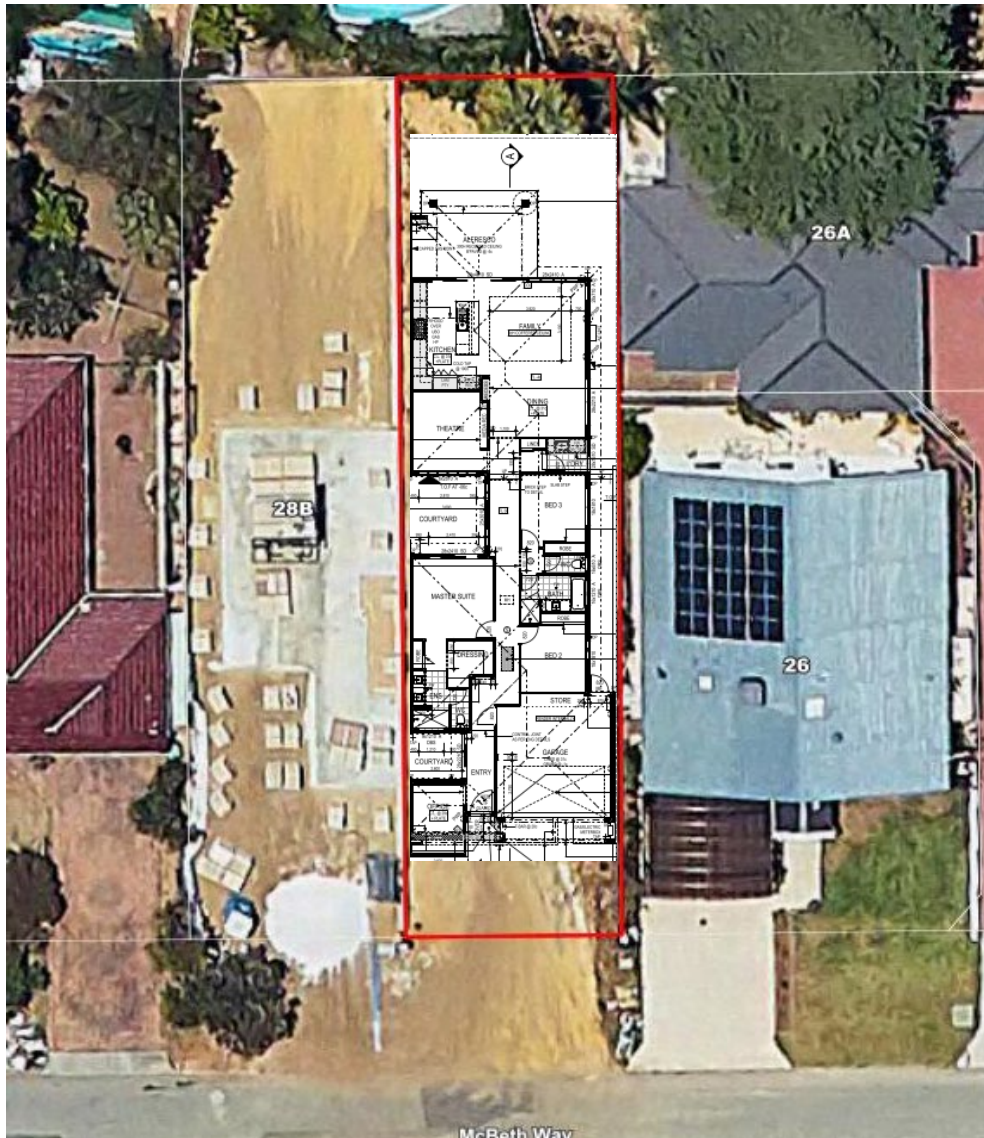


Figure 2: Development floor plan and setbacks with respect to adjoining properties

U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY,
KARDINYA WA 6163 (REC) (ATTACHMENT)

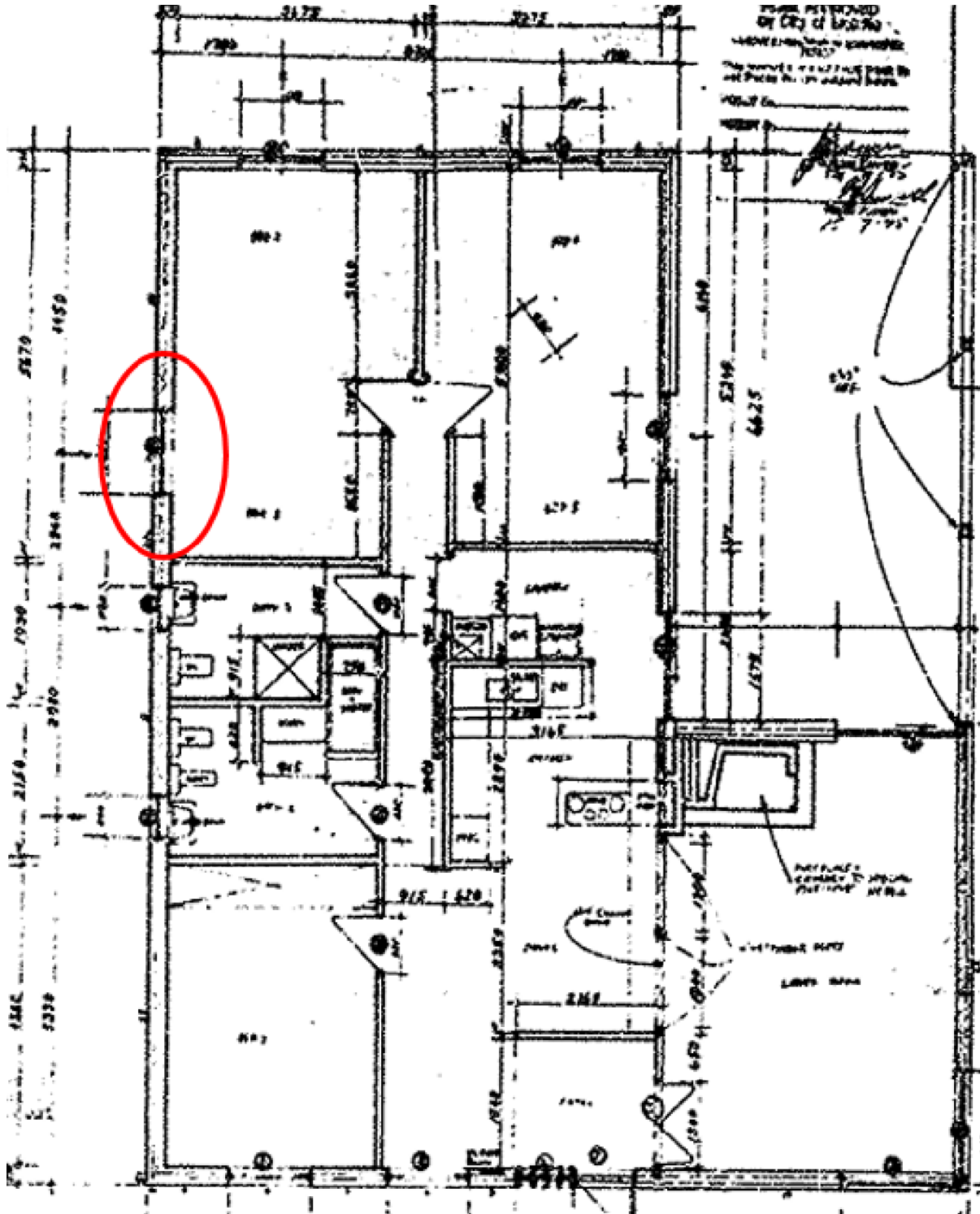


Figure 3: Floor plan of adjoining residence (26 McBeth Way) – red circle highlights major opening to western lot boundary (adjacent to subject site)

U23/0614 – SINGLE STOREY SINGLE HOUSE AT LOT 881 (NO. 28A) MCBETH WAY, KARDINYA WA 6163 (REC) (ATTACHMENT)

CONCLUSION

This development application proposes a single storey residence at 28A McBeth Way, Kardinya. The application proposes variations to the deemed to comply criteria of the R-Codes and as such is subject to a design-based assessment. Variations to R-Code 5.1.3 – lot Boundary setback were objected to by the adjoining neighbour and consequentially the application was referred to the City's Development Advisory Unit for determination. Notwithstanding the objection, the application is considered to be consistent with the relevant design principles and is recommended for approval.

OFFICER RECOMMENDATION

APPROVAL

Subject to the following conditions:

- 1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 2. All stormwater generated on site is to be retained on site.**
- 3. Prior to commencement of construction a crossover application shall be submitted to and approved in writing by the City's Technical Services department. The crossover shall be designed to be;**
 - a maximum width in accordance with the City's crossover specifications;**
 - located a minimum of 2m away from the outside of the trunk of any street tree; and**
 - a minimum of 1m from any existing street infrastructure.**

The approved crossover is to be constructed prior to the initial occupation of the development to the satisfaction of the City.

- 4. Prior to the initial occupation of the development, the boundary wall/s shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.**
- 5. Prior to the initial occupation of the development, the on-site tree/s (as marked in red on the approved plans) shall be planted and maintained thereafter in perpetuity, to the ongoing satisfaction of the City.**
- 6. Any street walls and fences (including the height of any retaining walls) constructed within the primary street setback area shall meet the requirements contained under clause 3 of Local Planning Policy *LPP3.1 Residential Development*, to the satisfaction of the City.**

U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30 (NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)

Ward : Bicton - Attadale - Alfred Cove
 Category : Operational
 Application Number : DA-2023-362
 Property : Lot 30 (No. 3) Arno Crescent, Attadale WA 6156
 Proposal : Additions and Alterations to Existing Single House
 Applicant : Jason Mondello
 Owner : Melissa Mondello
 Disclosure of any Interest : No Officer involved in the preparation of this report has a declarable interest in this matter.
 Responsible Officer : Mark Scarfone
 Acting Manager Statutory Planning
 Previous Items : N/A

AUTHORITY / DISCRETION

DEFINITION

<input type="checkbox"/>	Advocacy	<i>When the Council advocates on its own behalf or on behalf of its community to another level of government/body/agency.</i>
<input type="checkbox"/>	Executive	<i>The substantial direction setting and oversight role of the Council. e.g. adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.</i>
<input type="checkbox"/>	Legislative	<i>Includes adopting local laws, town planning schemes & policies.</i>
<input type="checkbox"/>	Review	<i>When the Council operates as a review authority on decisions made by Officers for appeal purposes.</i>
<input checked="" type="checkbox"/>	Quasi-Judicial	<i>When the Council determines an application/matter that directly affects a person's right and interests. The judicial character arises from the obligation to abide by the principles of natural justice. Examples of Quasi-Judicial authority include town planning applications, building licences, applications for other permits/licences (eg under Health Act, Dog Act or Local Laws) and other decisions that may be appealable to the State Administrative Tribunal.</i>
<input type="checkbox"/>	Information	<i>For the Council to note.</i>

U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30 (NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)

KEY ISSUES / SUMMARY

- Development approval is sought for Additions and Alterations to an Existing Single House at Lot 30 (No. 3) Arno Crescent, Attadale.
- The proposed development has been assessed against Local Planning Scheme No. 6 (LPS6), State Planning Policy 7.3 (SPP 7.3) – Residential Design Codes Volume 1 (R-Codes) and relevant local planning policies including Local Planning Policy 3.1 – Residential Development (LPP3.1).
- The proposed development requires a performance assessment in relation to the boundary wall height of the study and living wall on the northeast site boundary.
- The application was advertised in accordance with the provisions of the R-Codes and Local Planning Policy 1.1 - Planning Process and Decision Making (LPP1.1). One submission was received in response, objecting to the height of the north-eastern boundary wall.
- Notwithstanding the objection received, it is considered that the development is acceptable when assessed against the relevant design principles of the R-Codes.
- It is recommended that approval be granted subject to conditions.

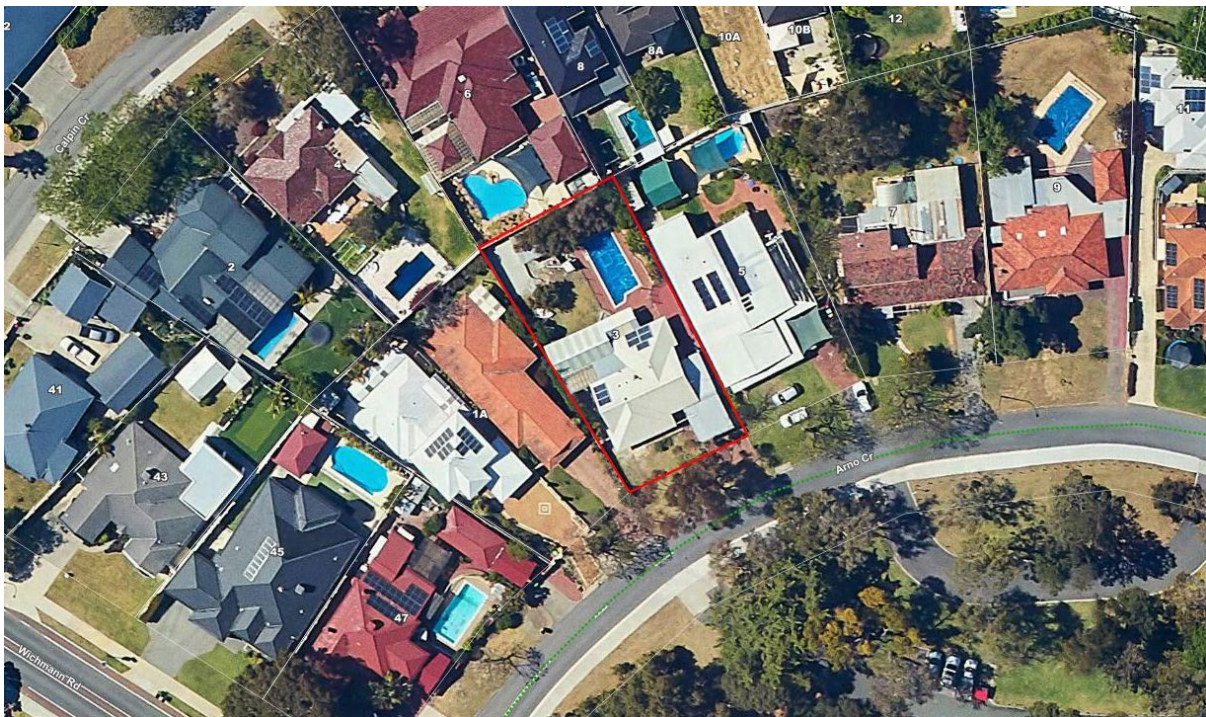


Figure 1: Aerial photography of subject site.

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)**

BACKGROUND

Scheme Provisions

MRS Zoning	: Urban
LPS Zoning	: Residential
R-Code	: R15
Use Type	: Single House
Use Class	: 'P' Use

Site Details

Lot Area	: 868m ²
Retention of Existing Vegetation	: No
Street Tree(s)	: One street tree
Street Furniture (drainage pits etc)	: No
Site Details	: Refer to Figure 1 above

A copy of the plans forms part of the attachments to the agenda which were distributed to Elected Members on Friday, 28 July 2023.

DETAIL

The application has been assessed against the provisions of LPS6, the R-Codes and relevant Local Planning Policies. A performance assessment is required in respect of the matters listed below.

State Planning Policy 7.3 - Residential Design Codes Volume 1

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 5.1.3 – Lot Boundary Setback Cl. 3.1 (i) Northeast Elevation – Store to Carport	1m	0.7m	Requires a performance assessment against the Design Principles of the R-Codes.	Manager Statutory Planning (MSP)

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)**

Design Element (Continued)	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 5.1.3 – Lot Boundary Setback Cl. 3.1 (i) Northwest Elevation – Pool House	Minimum 6m from rear boundary	Built up to rear boundary	Requires a performance assessment against the Design Principles of the R-Codes.	MSP

Local Planning Policy 3.1 – Residential Development

Design Element	Deemed to Comply standard	Proposed	Comments	Delegation to approve variation
Clause 6 – Boundary Walls C3.2 (ii) Northwest Elevation – Pool House	Maximum height – 3m Maximum length – 9m	Height – 2.6m max Length – 9.2m	Requires a performance assessment against the Design Principles of the R-Codes.	MSP
Clause 6 – Boundary Walls C3.2 (ii) Northeast Elevation – Living to Study	Maximum height – 3m Maximum length – 9m	Height – 3.4m max Length – 8.5m	Requires a performance assessment against the Design Principles of the R-Codes.	Development Advisory Unit (DAU)
Clause 2 – Setback of Garages and Carports C1.2	Carports setback 3m from primary street	Carport – 2.5m	Requires a performance assessment against the Design Principles of the R-Codes	MSP

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)**

The officer comment below is limited to the northeast side boundary wall height variation as this element was the subject of objection received. The submitter stated in their submission that they had no objection to the reduced lot boundary setbacks that are also proposed on the northeast site boundary. The remaining elements which seek variation from the deemed-to-comply requirements of the R-Codes and LPP3.1 have been assessed against the relevant design principles and found to be satisfactory.

STAKEHOLDER ENGAGEMENT

I. COMMUNITY

Advertising Required: Yes
 Neighbour's Comment Supplied: Yes
 Reason: Required pursuant to LPP 1.1 Planning Process and Decision Making Clause 1.7.6
 Support/Object: One (1) submission objecting to the proposal.

A summary of the content of the objection received and an officer's response is provided in the table below.

Summary of Issues Raised	Officer's Comments	Action (Condition/ Uphold/ Not Uphold)
Concerns that the boundary wall will reduce visual amenity with excessive building bulk	The proposed north-eastern boundary wall is considered to meet the relevant design principles of Clause 5.1.3 of the R-Codes as it has a minimal bulk impact as outlined in the comments section of this report below.	Not Uphold
The development will block natural light to southwest facing major openings.	The proposed north-eastern boundary wall is considered to meet the relevant design principles of Clause 5.1.3 of the R-Codes as there are no overshadowing impacts as outlined in the comments section of this report below.	Not Uphold

II. OTHER AGENCIES / CONSULTANTS

No consultation with other agencies/consultants is required.

STATUTORY AND LEGAL IMPLICATIONS

Should the City of Melville refuse the application for planning approval, the Applicant will have the right to have the decision reviewed by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*.

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)****FINANCIAL IMPLICATIONS**

There are no financial implications for the City relating to this proposal.

STRATEGIC, RISK AND ENVIRONMENTAL MANAGEMENT IMPLICATIONS

There are no strategic, risk or environmental management implications with this application.

POLICY IMPLICATIONS

There are no policy implications in relation to this proposal.

COMMENTLot Boundary Setback– (Northeast Boundary Wall)

The proposed development is seeking a performance assessment for the boundary wall to the northeast boundary as outlined above in the detail section of this report. The design principles contained in Clause 5.1.3 Boundary Walls of the R-Codes seek to reduce the impact of building bulk on adjoining properties, maintain visual privacy and access to natural light, maintain amenity and effective use of space for outdoor living areas and contribute to the streetscape and general area. The proposed boundary wall height is considered to meet these design principles as discussed below:

- The proposed boundary wall has a compliant length of 8.5m and is cut into the sloping site (as shown in Figure 2 below) which reduces the visual impact of the wall. The slope creates the 3.4m wall height on the south side, though the north side starts at a height of 3.1m above natural ground level. The adjoining dwellings bedroom aligns with this lower side (as shown in Figure 3 below);
- The adjoining lot impact is reduced through the lowered finished floor level of the subject wall compared to the finished floor level of the adjoining site and slants away from the boundary (as shown in Figure 3 below). Whilst the boundary wall does align with one major opening of the northeast adjoining dwelling, this section of wall is sufficiently setback to reduce the potential amenity impact on that major opening. The adjoining site setback does not include any outdoor habitable spaces and the 1.6m side setback that the adjoining dwelling has towards the subject site permits natural light into that dwelling and reduces the potential for bulk impact. Additionally, the primary outdoor living area of the northeast adjoining site is to the rear northeast corner of that lot and is therefore unaffected by the subject wall;
- The boundary wall is situated on the northeast side boundary, limiting the impact of overshadowing which falls predominantly within the subject site. Adequate natural light and adequate ventilation is therefore maintained into and around the subject site and adjoining dwelling;
- There are no overlooking concerns as the boundary wall has no major openings;
- The location of the wall against the boundary makes more effective use of space for habitable rooms and permits a larger outdoor living area without reducing internal amenity for the subject site; and
- This development presents a positive precedent for high amenity, low impact developments in accordance with residential zone objectives under LPS6.

U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30 (NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)

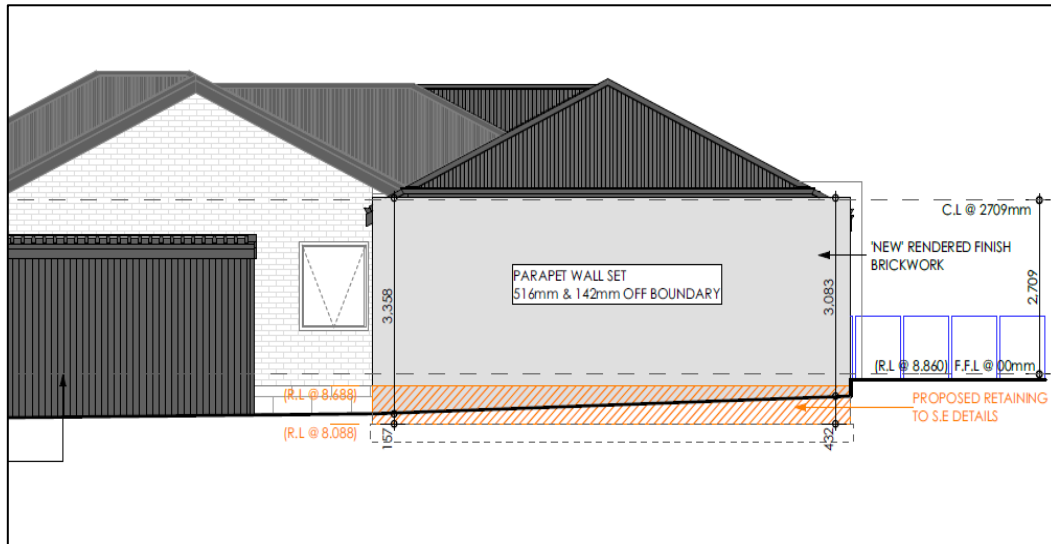


Figure 2: Northeast Elevation of Boundary Wall

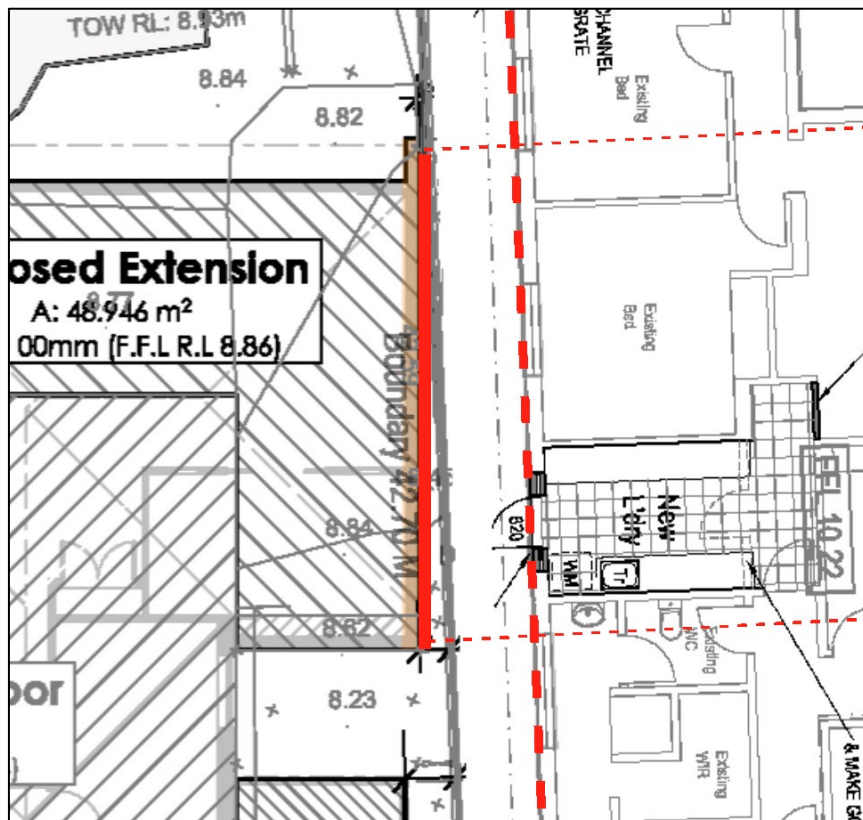


Figure 3: Overlay of subject site plan on right hand side (3 Arno Crescent) and ground floor from previous building approval for adjoining lot (5 Arno Crescent) with 1.6m setback from side boundary. Proposed boundary wall is highlighted red.

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)****ALTERNATE OPTIONS AND THEIR IMPLICATIONS**

This application is proposed to be approved under delegation through the Development Advisory Unit (DAU) process.

Should Elected Members have an alternative view, the DAU 'call-up' procedures provide opportunity to call this matter up for formal Council consideration.

CONCLUSION

The application is considered to satisfy the provisions of LPS6, SPP 7.3 and Council Policy. It is recommended that the proposal be approved subject to conditions.

OFFICER RECOMMENDATION**APPROVAL****Subject to the following conditions:**

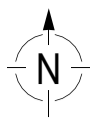
- 1. The development the subject of this approval must comply with the approved plans at all times unless otherwise approved in writing by the City.**
- 2. All stormwater generated on site is to be retained on site in accordance with the City's stormwater design guidelines.**
- 3. The street walls and fencing marked in RED on the approved plans are required to comply with the definition of 'Visually Permeable' found in *State Planning Policy 7.3 Residential Design Codes Volume 1*, to the satisfaction of the City.**
- 4. As marked in GREEN on the approved plans, sections of the primary street fence shall be truncated or reduced to 0.75m in height within 1.5m of vehicle access points and street corners or otherwise comply with clause 5 of Local Planning Policy *LPP3.1 Residential Development*, and thereafter be maintained, to the satisfaction of the City.**
- 5. Prior to the initial occupation of the development, the boundary wall/s shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.**

**U23/0615 - ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE AT LOT 30
(NO. 3) ARNO CRESCENT, ATTADALE WA 6156 (REC) (ATTACHMENT)**

6. Unless otherwise approved in writing by the City, all trees located on the verge adjacent to the land on which the development is to take place shall be protected throughout the duration of the demolition and construction processes of the development via the installation of a Tree Protection Zone (TPZ). Each TPZ shall be installed prior to demolition of the site or commencement of development (whichever occurs first), in accordance with the following criteria:
- A free-standing mesh fence erected around each street tree with a minimum height of 1.8m and a 2m minimum radius measured from the outside of the trunk of each tree.
 - If an approved crossover, front fence, footpath, road or similar is located within the 2m radius of the TPZ, the TPZ fencing shall be located the minimum distance from the approved works that is required to complete the works.
 - Fixed signs are to be provided on all visible sides of the TPZ fencing clearly stating 'Tree Protection Zone – No Entry'.
 - The following actions shall not be undertaken within any TPZ:
 - Storage of materials, equipment, fuel, oil dumps or chemicals;
 - Servicing or refuelling of equipment or vehicles;
 - Attachment of any device to any tree (including signage, temporary service wires, nails, screws, winches or any other fixing device);
 - Open-cut trenching or excavation works (whether or not for laying of services);
 - Changes to the natural ground level of the verge;
 - Location of any temporary buildings including portable toilets; or
 - The parking of vehicles or machinery.
7. Temporary structures, such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, sales, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties to the satisfaction of the City and are to be removed prior to initial occupation of the development.
8. Prior to the initial occupation of the development, the external surface of the retaining wall/s which are visible from the street and adjoining properties shall, as a minimum, be finished to a clean face brick standard, to the satisfaction of the City.

**ATTACHMENTS
OF THE
DEVELOPMENT ADVISORY UNIT
MEETING
HELD ON
TUESDAY, 25 JULY 2023
U23/0614
U23/0615**

Distributed: Friday, 28 July 2023



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167

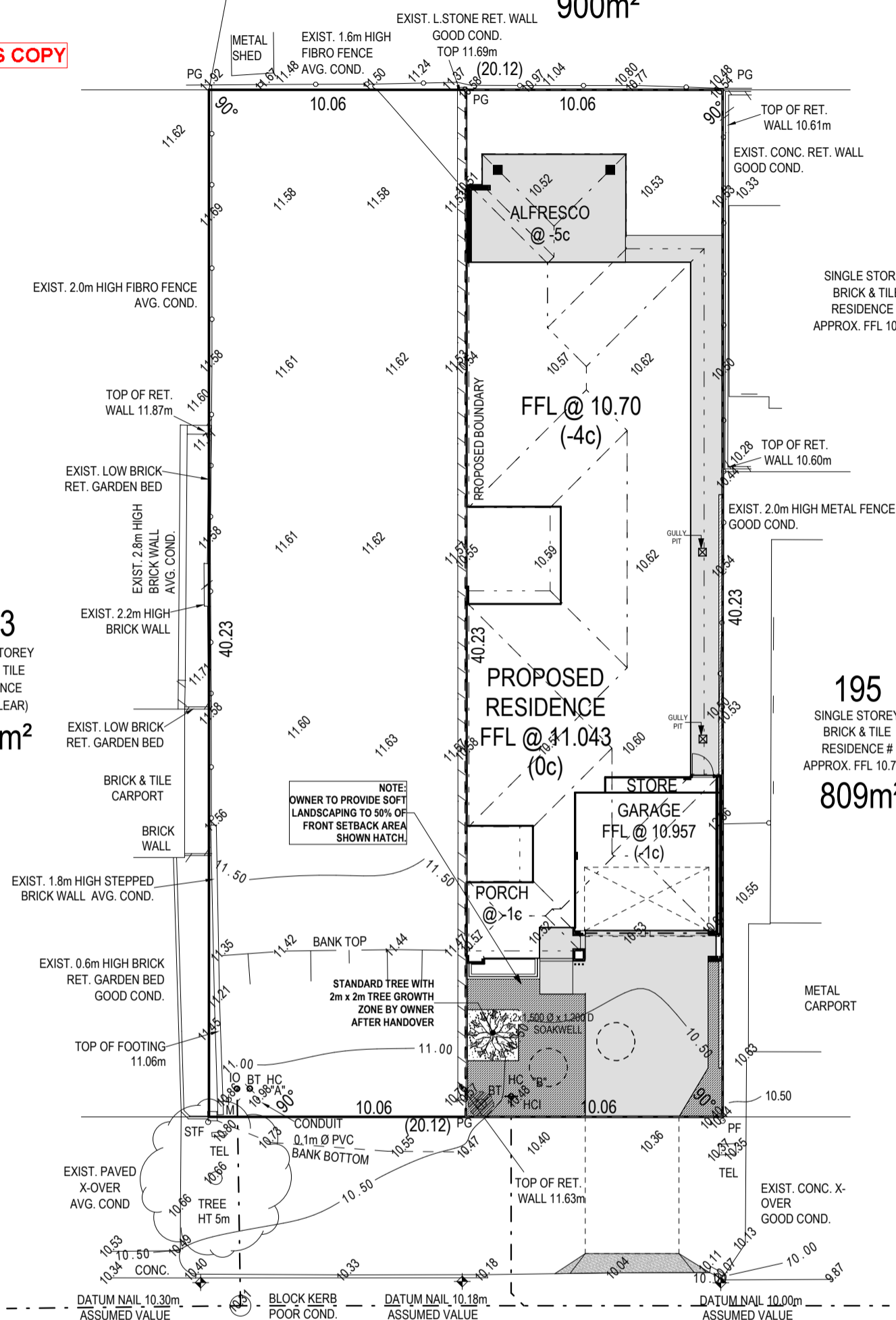
SINGLE STOREY
BRICK & TILE
RESIDENCE
(WELL CLEAR)

900m²

APPLICANTS COPY

SERVICE LEGEND	
POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
BOUNDARY TRAP	⊥ BT
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□ GPP
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□ SEP
COMBINATION ENTRY PIT	□ CEP
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊕ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

LOT RECORDS				
STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓
AREA: ESTAB 11/1968				
COASTAL DISTANCE 1.5-10km				
LOT: 194				
AREA: 809 m ²				
APPROX. AHD +31.17m				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY, HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.				



NOTE:
OWNER TO PROVIDE SOFT
LANDSCAPING TO 50% OF
FRONT SETBACK AREA
SHOWN HATCH

LANDSCAPING PLAN

1:200
GROUND COVER
SANDY / WEED

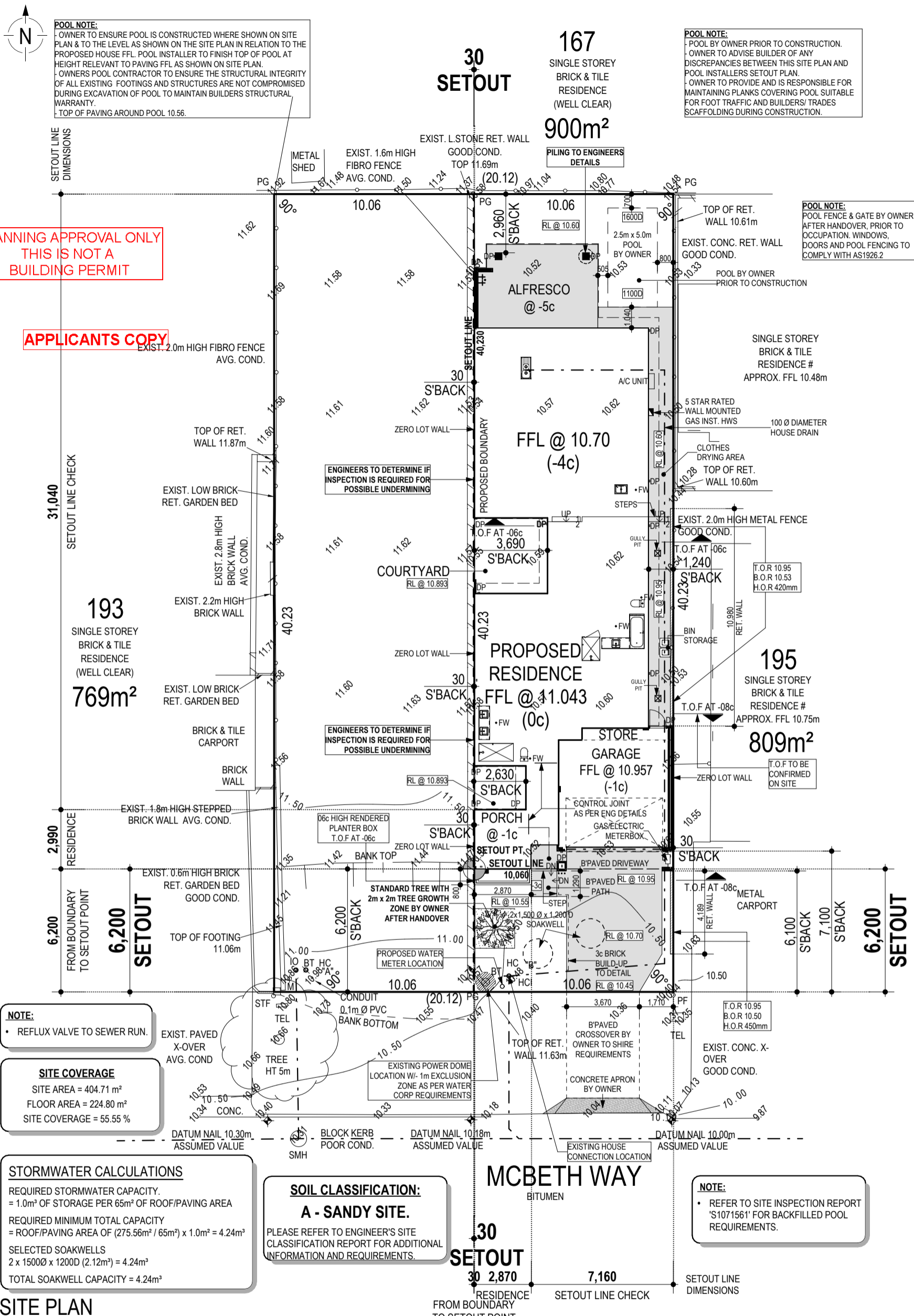
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APPROXIMATE ONLY			
SEWER INVERT LEVEL	8.11	SEWER INVERT LEVEL	7.05
SEWER BROUGHT UP	0.00	SEWER BROUGHT UP	1.10
DEPTH TO CONNECTION	2.84	DEPTH TO CONNECTION	2.33

TITLE : FEATURE SURVEY		LOT : 881 No. 28A MCBETH WAY	
CLIENT : GINO ZACCARDI		SUBURB : KARDINYA	
BUILDER : RESIDENTIAL BUILDING WA PTY LTD		P : 9213	
		AUTHORITY : CITY OF MELVILLE	
		C/T : 167/176A	
UBD REF : 347 K 2		GPS : S 32.07440° E 115.81744°	
SHEET	BUILDER'S REF	SURVEYED	SCALE @ A3
9 of 9	303162	09/08/22	1:200
DWG No		REV	
45141-01-200		A	

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996



P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au



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APPLICANTS COPY

SERVICE LEGEND	
POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
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SEWERAGE	
MANHOLE	○ SMH
BOUNDARY TRAP	⊥ BT
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INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□ GPP
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□ SEP
COMBINATION ENTRY PIT	□ CEP
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HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊗ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

LOT RECORDS				
STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓
AREA:	ESTAB 11/1968			
COASTAL DISTANCE	1.5-10km			
LOT:	194			
AREA:	809 m ²			
APPROX. AHD	+ 31.17m			
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY, HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.				

NOTE:
 - REFLUX VALVE TO SEWER RUN.

SITE COVERAGE
 SITE AREA = 404.71 m²
 FLOOR AREA = 224.80 m²
 SITE COVERAGE = 55.55 %

STORMWATER CALCULATIONS
 REQUIRED STORMWATER CAPACITY.
 = 1.0m³ OF STORAGE PER 65m² OF ROOF/PAVING AREA
 REQUIRED MINIMUM TOTAL CAPACITY
 = ROOF/PAVING AREA OF (275.56m² / 65m²) x 1.0m³ = 4.24m³
 SELECTED SOAKWELLS
 2 x 1500Ø x 1200D (2.12m³) = 4.24m³
 TOTAL SOAKWELL CAPACITY = 4.24m³

SOIL CLASSIFICATION:
A - SANDY SITE.
 PLEASE REFER TO ENGINEER'S SITE CLASSIFICATION REPORT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE PLAN

1:200

LOCATION	GRANO m ²	B'PAVED m ²
Alfresco, Path & Porch	00.00	55.90
Garage & Drive	32.46	34.22

NOTE:
 - INTERCONNECTED STORMWATER DISPOSAL BY BUILDER TO SHIRE REQUIREMENTS

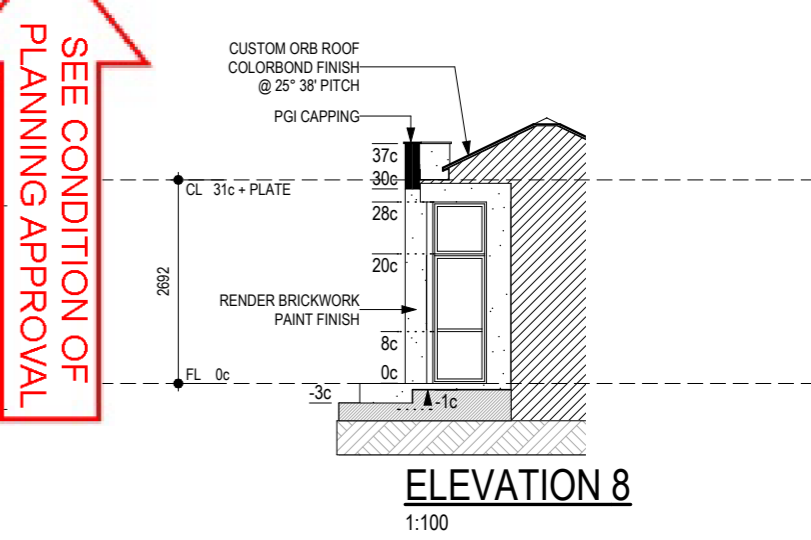
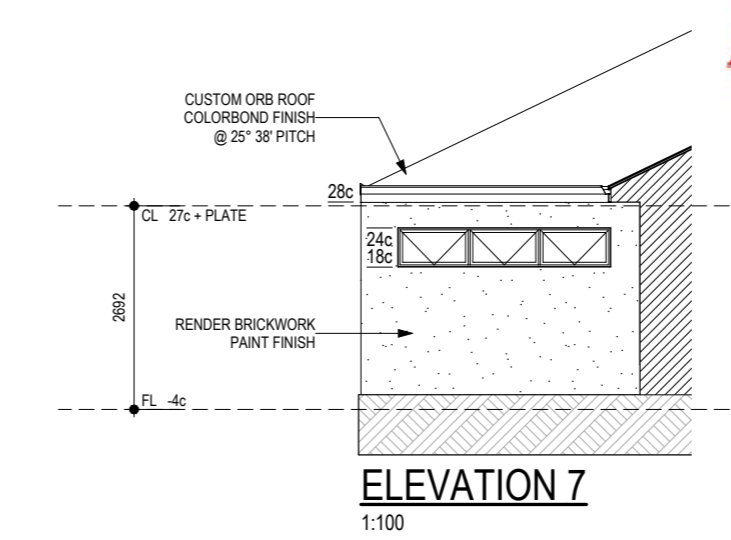
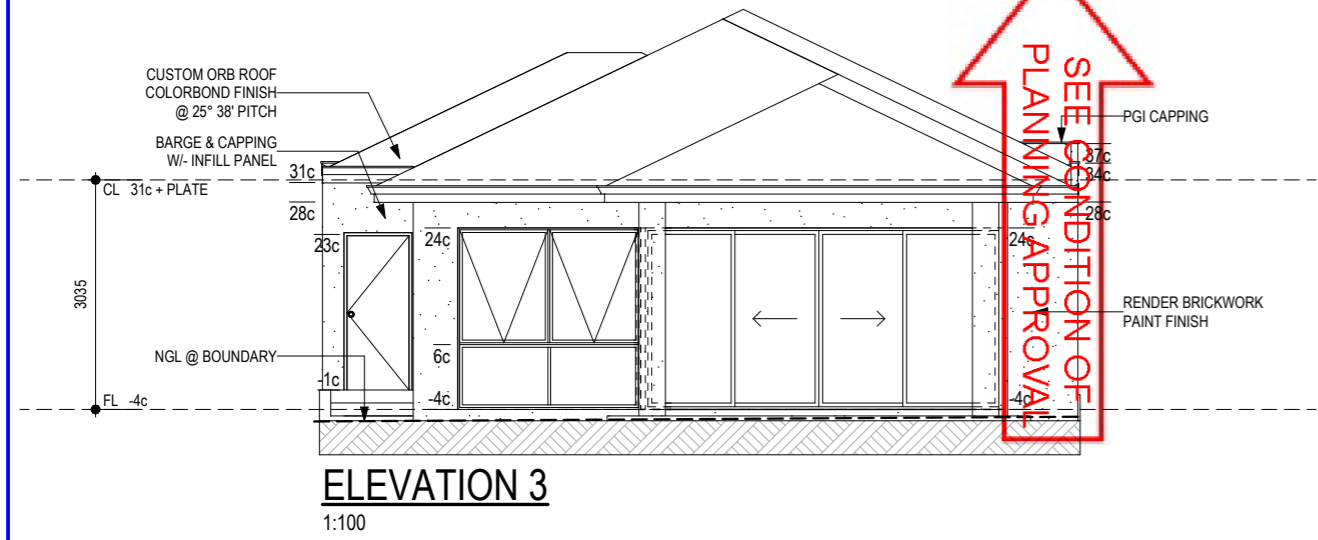
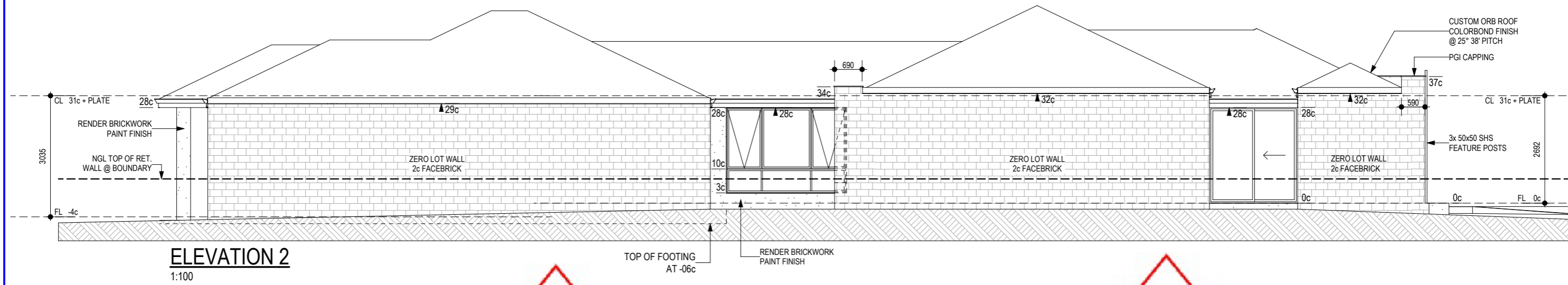
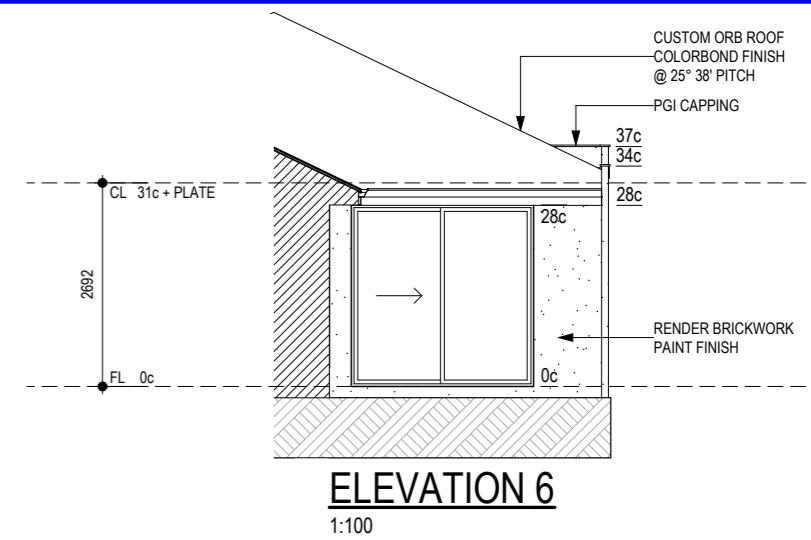
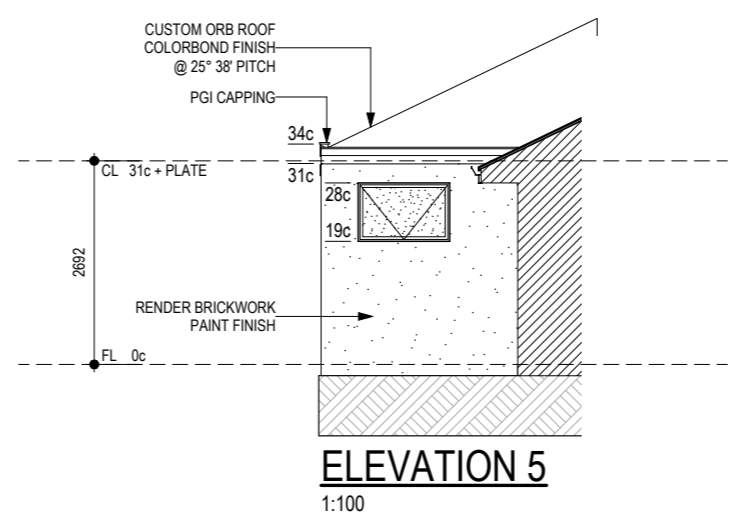
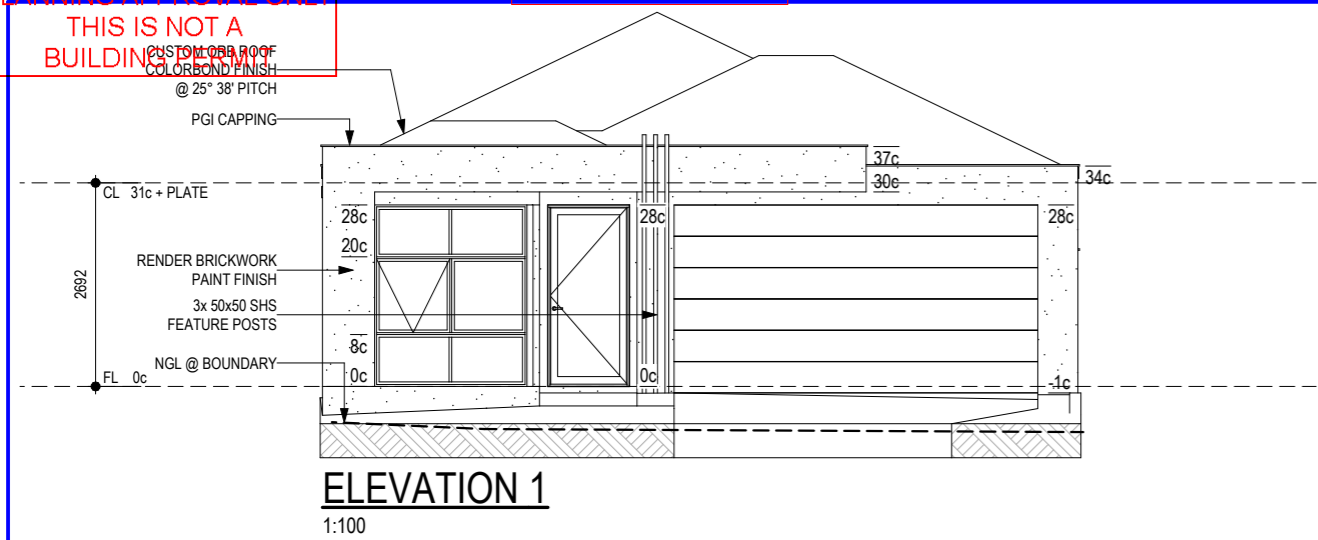
SEWER CONNECTION POSITION "A"	APPROXIMATE ONLY
SEWER INVERT LEVEL	8.11
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	2.84

SEWER CONNECTION POSITION "B"	APPROXIMATE ONLY
SEWER INVERT LEVEL	7.05
SEWER BROUGHT UP	1.10
DEPTH TO CONNECTION	2.33

TITLE : FEATURE SURVEY	LOT : 881 No. 28A MCBETH WAY
CLIENT : GINO ZACCARDI	SUBURB : KARDINYA
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	P : 9213
	C/T : 167/176A
	UBD REF : 347 K 2
	GPS : S 32.07440° E 115.81744°
	5 0 2.5 5 10 15
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SHEET : 8 of 9	BUILDER'S REF : 303162
SURVEYED : 09/08/22	SCALE @ A3 : 1:200
DWG No : 45141-01-200	REV : A

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(08) 9202 9200
65 Walters Drive, Osbourne Park WA 6017
P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918
Built by Residential Building WA Pty Ltd. BC 13053. ABN 81 106 282 382

REV	VO #	DRN	DATE	CHK
01	SITING	VN-BD	11.07.22	AH
02	SPLIT LEVEL	VN-MD	13.09.22	AH
03	CERTS	DT	01.05.23	AB
		DT	22.05.23	DT

Sub-contractors to verify all dimensions on site.

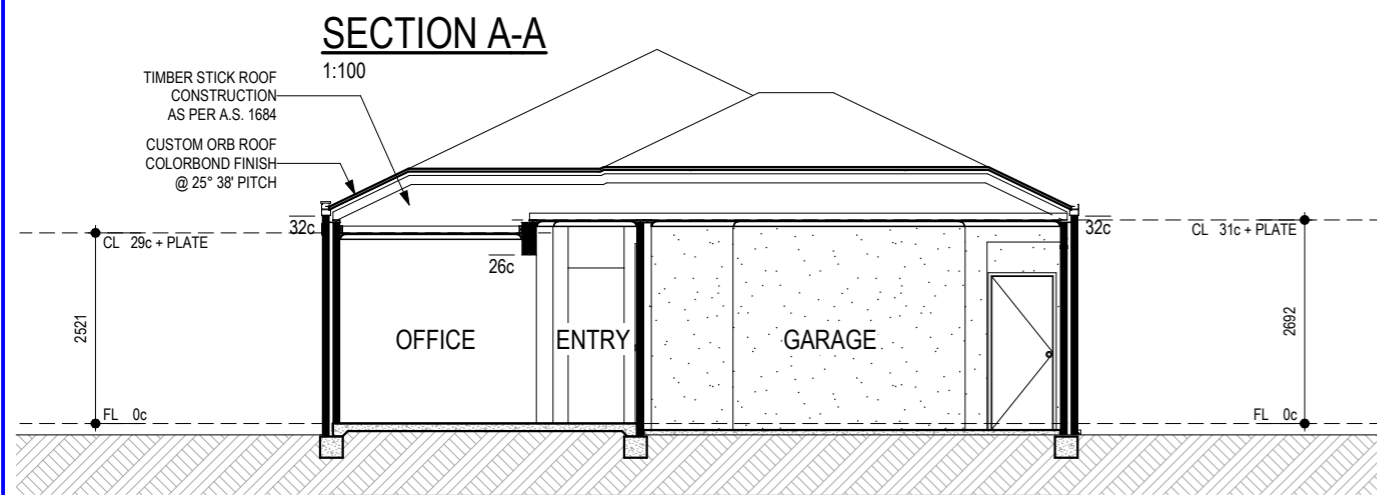
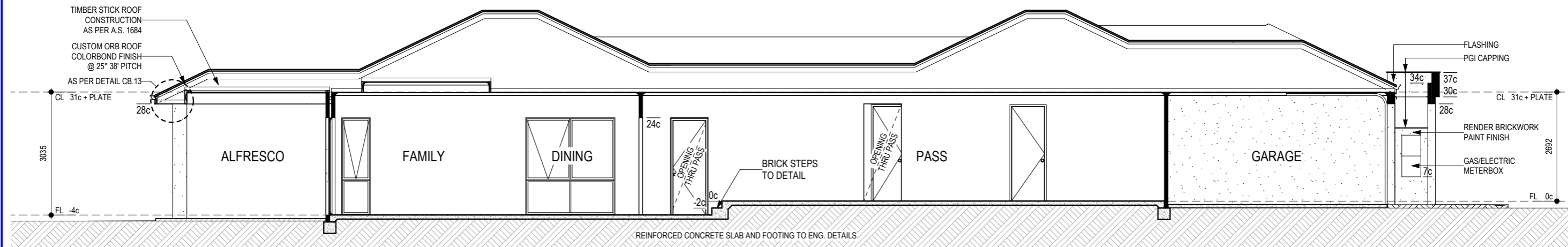
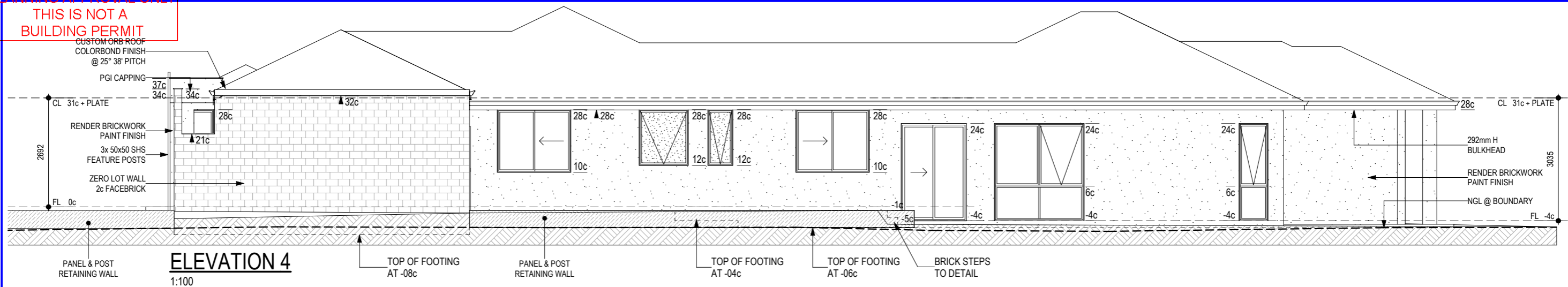
WORKING DRAWINGS
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
DATED:...../...../.....
OWNER WITNESS
OWNER WITNESS
BUILDER WITNESS

CLIENT:
G. & M. D. G. ZICCARDI
ADDRESS:
**LOT 881 (#28A)
McBETH WAY
KARDINYA**

SINGLE STOREY SPECIAL
MODEL N° **00092**
© COPYRIGHT
SHEET N° **2 OF 9** + 3 ANC
JOB N° **303162**

REVISION **03**
DATE **22.05.23**

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P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918
Built by Residential Building WA Pty Ltd. BC 13053. ABN 61 106 262 362

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			22.05.23	DT

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DATED:...../...../.....
OWNER WITNESS
OWNER WITNESS
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G. & M. D. G. ZICCARDI
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**LOT 881 (#28A)
McBETH WAY
KARDINYA**

SINGLE STOREY SPECIAL
MODEL N° **00092**
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SHEET N° **3 OF 9** + 3 ANC
JOB N° **303162**

REVISION **03**
DATE **22.05.23**

Sub-contractors to verify all dimensions on site.

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Approval into revised documentation submitted
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h o l e i n t h e w a l l d e s i g n .

Jason & Melissa Mondello
Proposed Renovation
#3 Arno Crescent
ATTADALE WA 6156

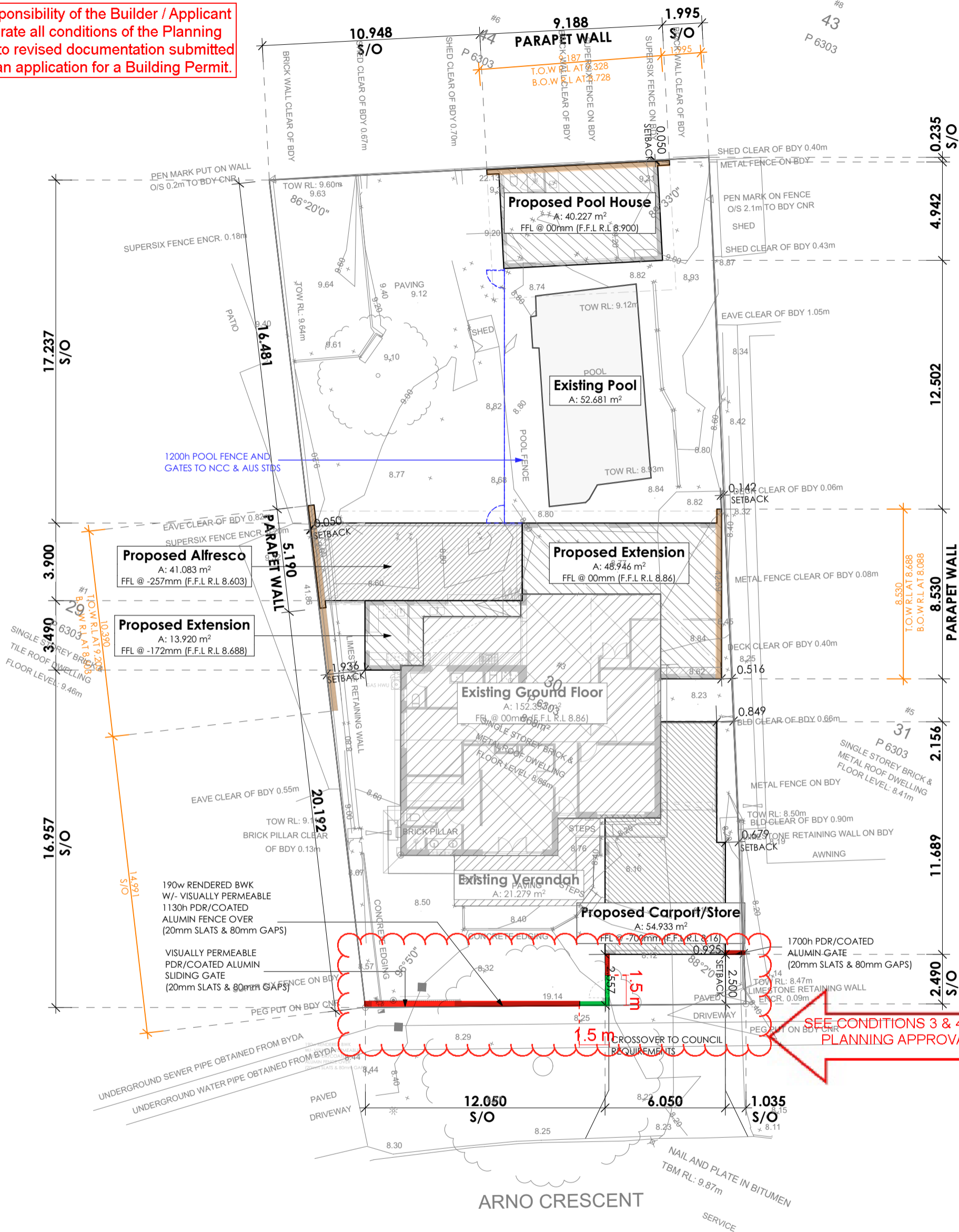


SHEET	NAME	DATE	COMMENT	REV
1	FEATURE SURVEY	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G
2	SITE PLAN	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G
3	DEMOLITION PLAN	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G
4	PROPOSED FLOOR PLAN	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G
5	ELEVATIONS	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G
6	PROPOSED POOL HOUSE LAYOUT	9/05/2023 6:45 PM	CLIENT AMENDMENTS	G



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AREAS	Area
EXISTING GROUND FLOOR	152.4
EXISTING POOL	52.7
EXISTING VERANDAH	21.3
PROPOSED ALFRESCO	41.1
PROPOSED CARPORT/STORE	54.9
PROPOSED EXTENSION	62.8
PROPOSED POOL HOUSE	40.2
TOTAL	425.4 m²

SITE PLAN
1:200

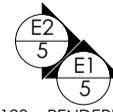
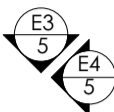
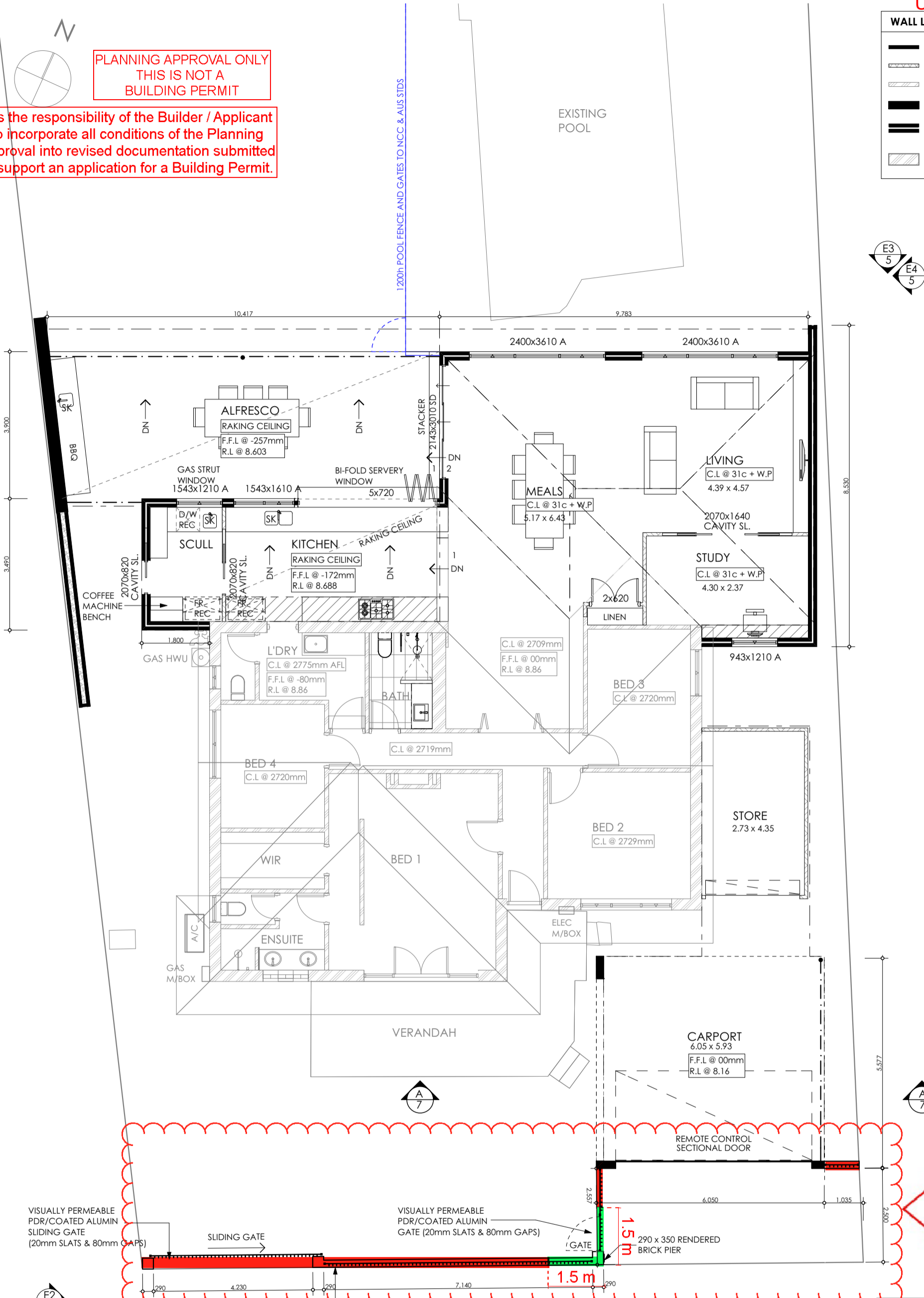
<p>hole in the wall design.</p> <p>Mitchell Slaughter Ph: 041 991 8674 holeinthewalldesign@hotmail.com</p>	<p>STAGE: DEVELOPMENT APPROVAL</p> <p>CLIENT: Jason & Melissa Mondello</p> <p>PROJECT: Proposed Renovation #3 Arno Crescent ATTADALE WA 6156</p>	<p>SHEET: SITE PLAN</p> <table border="1"> <thead> <tr> <th>REV</th> <th>COMMENT</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT SKETCH A</td> <td>6/03/2023 2:13 PM</td> </tr> <tr> <td>B</td> <td>CONCEPT SKETCH B</td> <td>12/03/2023 5:37 PM</td> </tr> <tr> <td>C</td> <td>CONCEPT SKETCH C</td> <td>26/03/2023 5:09 PM</td> </tr> <tr> <td>D</td> <td>CONCEPT SKETCH D</td> <td>2/04/2023 4:27 PM</td> </tr> <tr> <td>E</td> <td>DEVELOPMENT APPROVAL</td> <td>11/04/2023 5:28 PM</td> </tr> <tr> <td>F</td> <td>POOL HOUSE MOVED</td> <td>20/04/2023 6:30 PM</td> </tr> <tr> <td>G</td> <td>CLIENT AMENDMENTS</td> <td>9/05/2023 6:45 PM</td> </tr> <tr> <td>H</td> <td>AMENDED TO COUNCIL REQUIREMENTS</td> <td>11/06/2023 9:40 AM</td> </tr> </tbody> </table>	REV	COMMENT	DATE	A	CONCEPT SKETCH A	6/03/2023 2:13 PM	B	CONCEPT SKETCH B	12/03/2023 5:37 PM	C	CONCEPT SKETCH C	26/03/2023 5:09 PM	D	CONCEPT SKETCH D	2/04/2023 4:27 PM	E	DEVELOPMENT APPROVAL	11/04/2023 5:28 PM	F	POOL HOUSE MOVED	20/04/2023 6:30 PM	G	CLIENT AMENDMENTS	9/05/2023 6:45 PM	H	AMENDED TO COUNCIL REQUIREMENTS	11/06/2023 9:40 AM	<p>SHEET N^o: 2 OF 6</p> <p>JOB N^o: # Pln</p> <p>DRAWING N^o: W2.A</p>
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H	AMENDED TO COUNCIL REQUIREMENTS	11/06/2023 9:40 AM																												
<p>DATE PRINTED: Sunday, 11 June 2023</p> <p>TIME PRINTED: 9:45 AM</p>																														

WALL LEGEND

- PROPOSED 90w BWK WALL
- PROPOSED 90w TMB. STUD WALL
- EXISTING 110w BWK WALL
- PROPOSED 190w BWK WALL
- PROPOSED 230w CAVITY BWK WALL
- EXISTING 300w CAVITY BWK WALL

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SEE CONDITIONS 3 & 4 OF PLANNING APPROVAL

VISUALLY PERMEABLE PDR/COATED ALUMIN SLIDING GATE (20mm SLATS & 80mm GAPS)

VISUALLY PERMEABLE PDR/COATED ALUMIN GATE (20mm SLATS & 80mm GAPS)

290 x 350 RENDERED BRICK PIER

PROPOSED FLOOR PLAN

1:100

AREAS	Area
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EXISTING POOL	52.7
EXISTING VERANDAH	21.3
PROPOSED ALFRESCO	41.1
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hole in the wall design.
Mitchell Slaughter
Ph: 041 991 8674
holeinthewalldesign@hotmail.com

STAGE:	DEVELOPMENT APPROVAL
CLIENT:	Jason & Melissa Mondello
PROJECT:	Proposed Renovation #3 Arno Crescent ATTADALE WA 6156

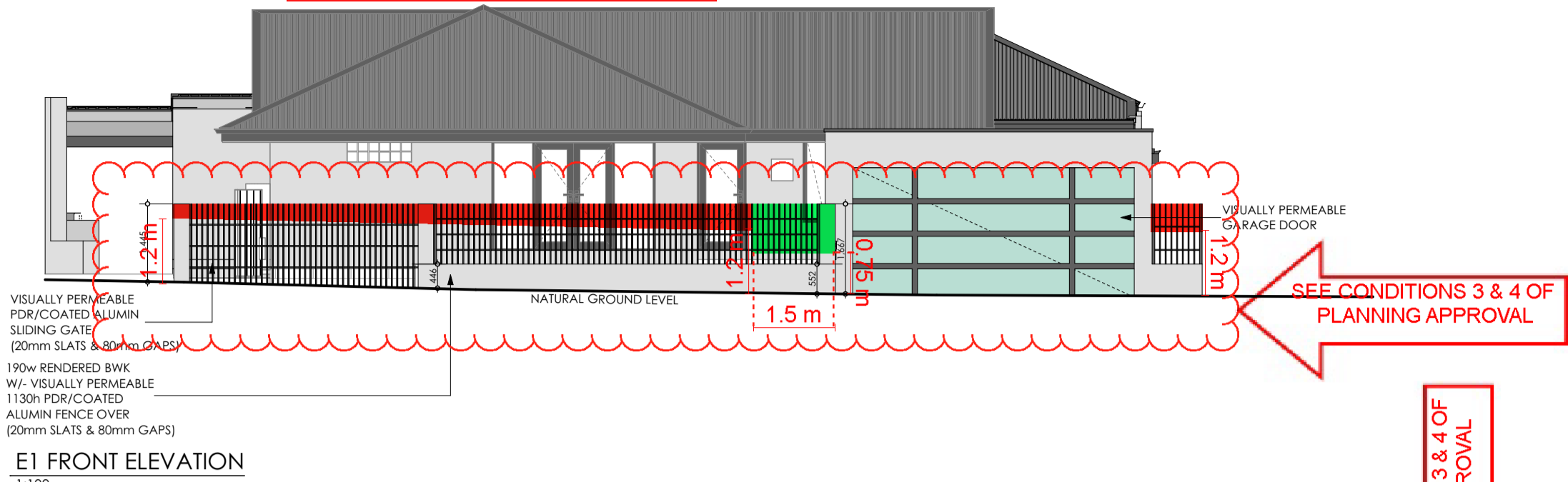
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REV	COMMENT	DATE
A	CONCEPT SKETCH A	6/03/2023 2:13 PM
B	CONCEPT SKETCH B	12/03/2023 5:37 PM
C	CONCEPT SKETCH C	26/03/2023 5:09 PM
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SHEET N^o: **4** OF 6
JOB N^o: # Pln
DRAWING N^o: W 4.A

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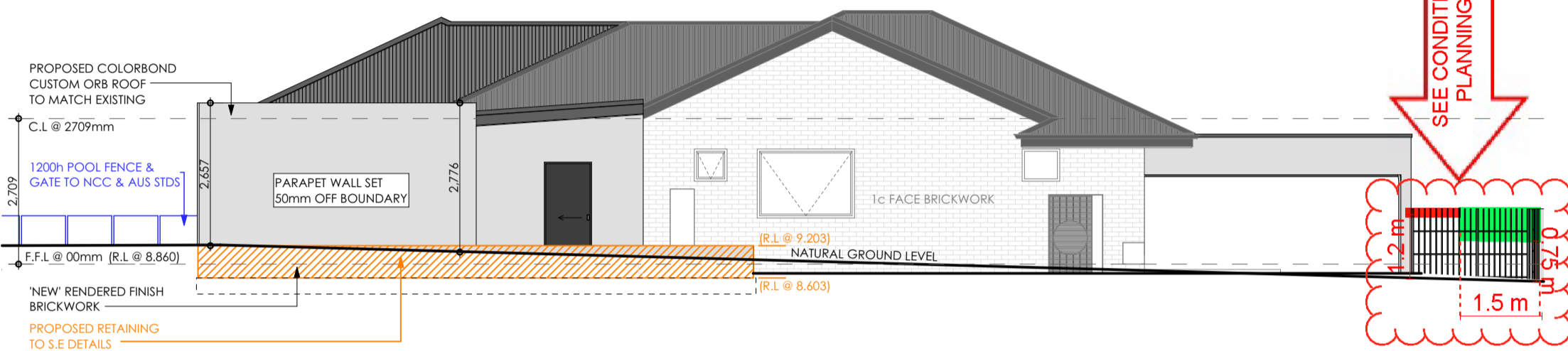
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U23/0615



E1 FRONT ELEVATION

1:100

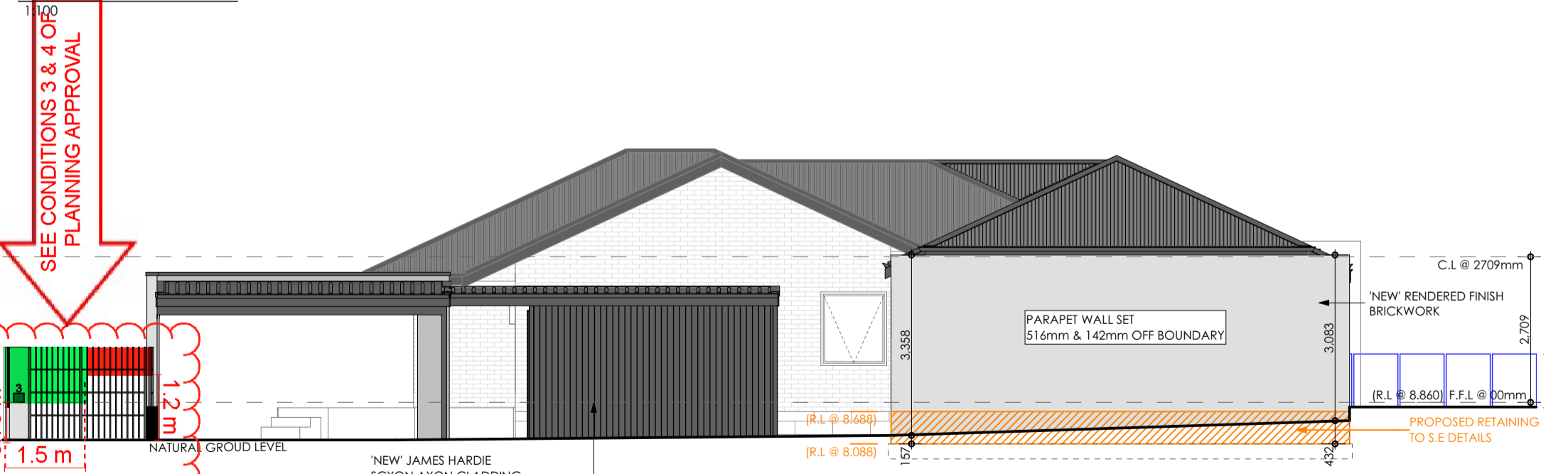


E2 L/H ELEVATION

1:100



E3 REAR ELEVATION



E4 R/H ELEVATION

1:100

hole in the wall design.
Mitchell Slaughter
Ph: 041 991 8674
holeinthewalldesign@hotmail.com

STAGE:	DEVELOPMENT APPROVAL
CLIENT:	Jason & Melissa Mondello
PROJECT:	Proposed Renovation #3 Arno Crescent ATTADALE WA 6156

SHEET:	ELEVATIONS	
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G	CLIENT AMENDMENTS	9/05/2023 6:45 PM
H	AMENDED TO COUNCIL REQUIREMENTS	11/06/2023 9:40 AM

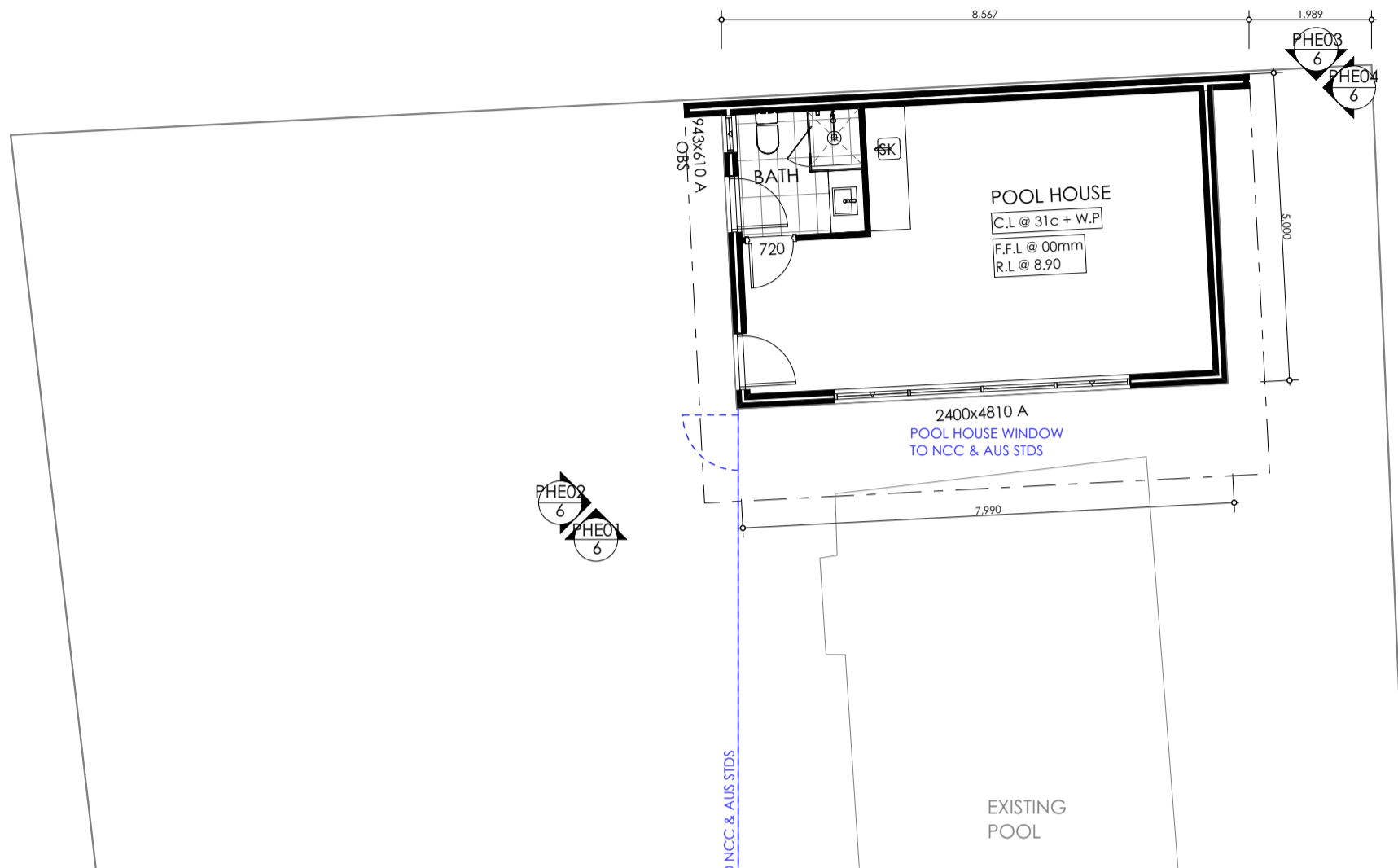
SHEET N°:
5
OF 6
JOB N°:
Pln
DRAWING N°:
W5.A



PLANNING APPROVAL ONLY
THIS IS NOT A
BUILDING PERMIT

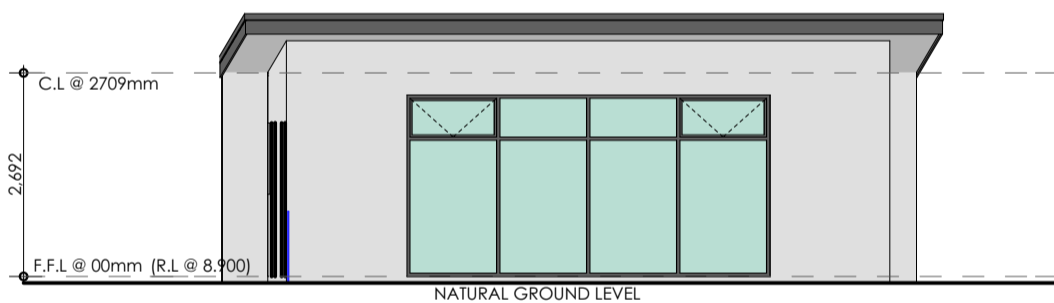
It is the responsibility of the Builder / Applicant to incorporate all conditions of the Planning Approval into revised documentation submitted to support an application for a Building Permit.

WALL LEGEND	
	PROPOSED 90w BWK WALL
	PROPOSED 90w TMB. STUD WALL
	EXISTING 110w BWK WALL
	PROPOSED 190w BWK WALL
	PROPOSED 230w CAVITY BWK WALL
	EXISTING 300w CAVITY BWK WALL



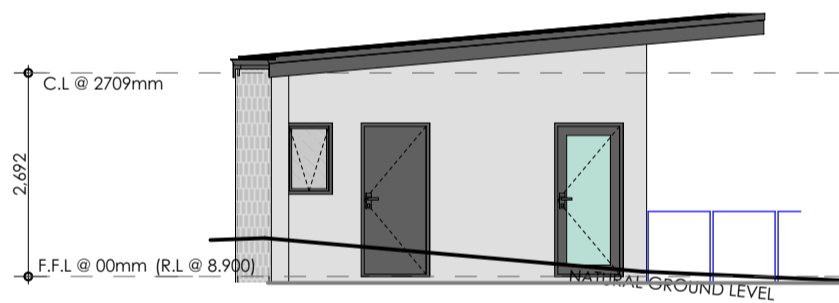
PROPOSED FLOOR PLAN

1:100



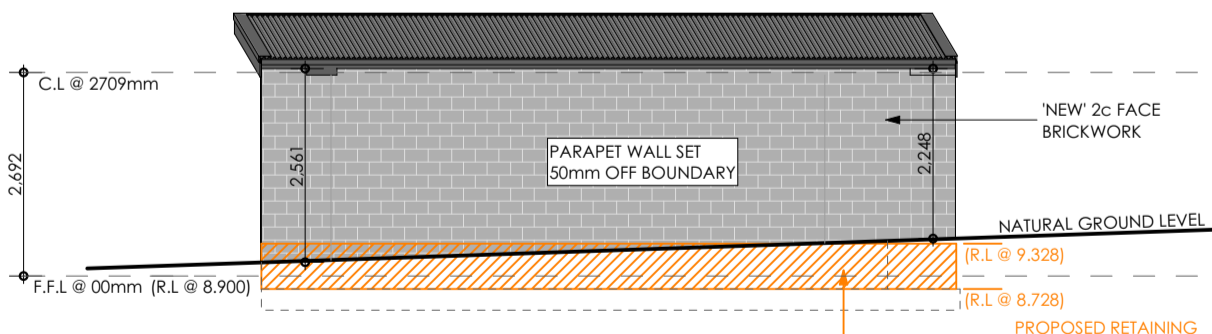
PHE01 FRONT ELEVATION

1:100



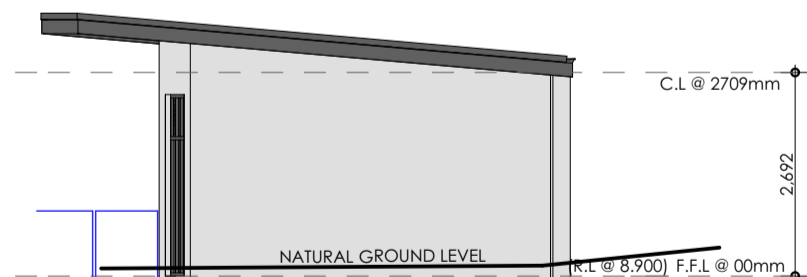
PHE02 L/H SIDE ELEVATION

1:100



PHE03 REAR ELEVATION

1:100



PHE04 R/H SIDE ELEVATION

1:100

AREAS	Area
EXISTING GROUND FLOOR	152.4
EXISTING POOL	52.7
EXISTING VERANDAH	21.3
PROPOSED ALFRESCO	41.1
PROPOSED CARPORT/STORE	54.9
PROPOSED EXTENSION	62.8
PROPOSED POOL HOUSE	40.2
	425.4 m²

hole in the wall design.
Mitchell Slaughter
Ph: 041 991 8674
holeinthewalldesign@hotmail.com

STAGE: DEVELOPMENT APPROVAL
CLIENT: Jason & Melissa Mondello
PROJECT: Proposed Renovation
#3 Arno Crescent
ATTADALE WA 6156

SHEET: PROPOSED POOL HOUSE LAYOUT		
REV	COMMENT	DATE
A	CONCEPT SKETCH A	6/03/2023 2:13 PM
B	CONCEPT SKETCH B	12/03/2023 5:37 PM
C	CONCEPT SKETCH C	26/03/2023 5:09 PM
D	CONCEPT SKETCH D	2/04/2023 4:27 PM
E	DEVELOPMENT APPROVAL	11/04/2023 5:28 PM
F	POOL HOUSE MOVED	20/04/2023 6:30 PM
G	CLIENT AMENDMENTS	9/05/2023 6:45 PM
H	AMENDED TO COUNCIL REQUIREMENTS	11/06/2023 9:40 AM

SHEET N^o: **6** OF 6
JOB N^o: # PIn
DRAWING N^o: W 6.A