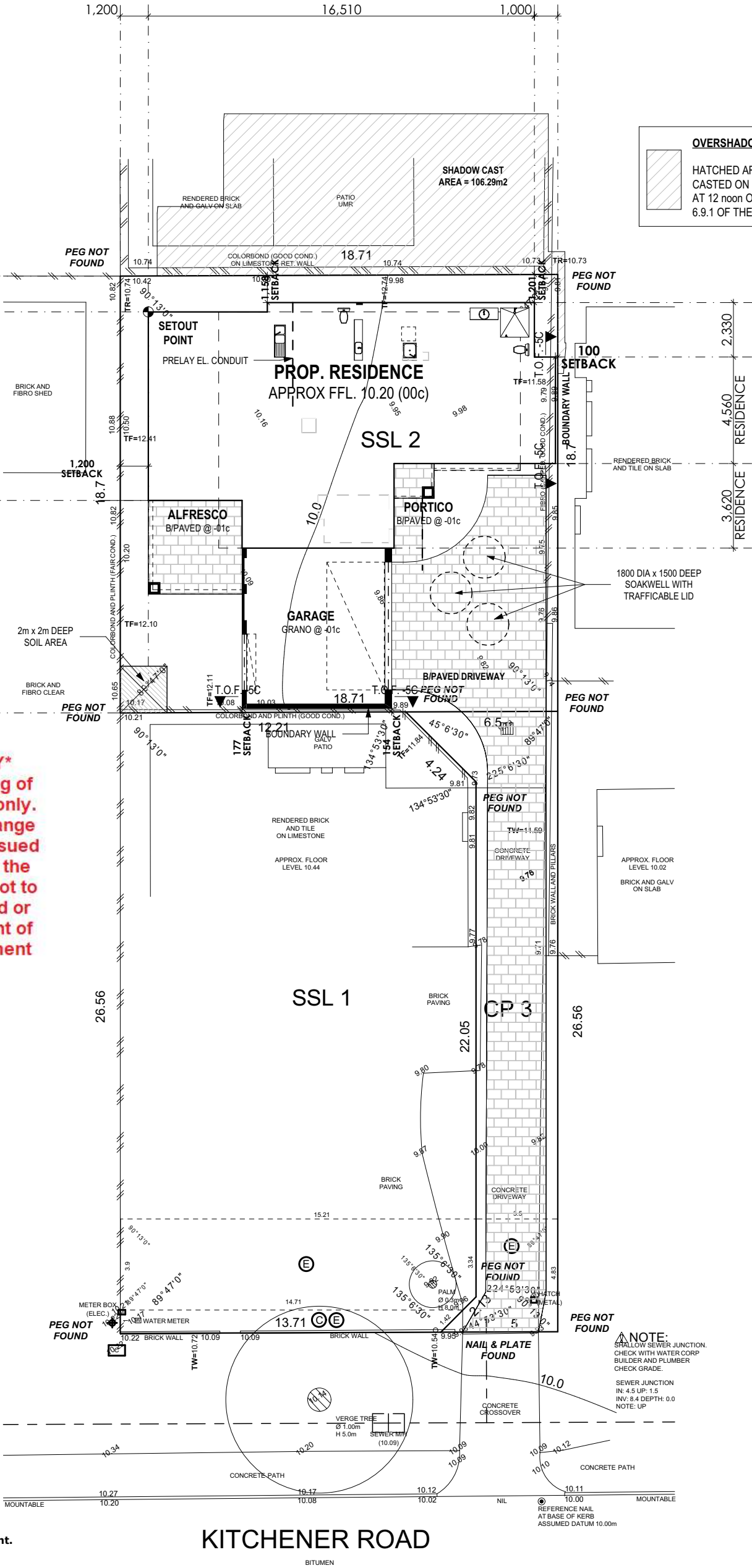


⊕	POWER DOME
⊕	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
⊕	TOP PILLAR/POST
⊕	TP=10.00 TOP WALL
⊕	TR=10.00 TOP RETAINING
⊕	TF=10.00 TOP FENCE
⊕	ITG=10.00 TOP GUTTER

OVERSHADOWING PLAN

HATCHED AREA REPRESENTS SHADOW CASTED ON NEIGHBOURING BLOCK AT 12 noon ON 21 JUNE AS PER CLAUSE 6.9.1 OF THE R-CODES



ADVERTISING COPY ONLY

These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

NOTE:
EASEMENT.
SEE DOCUMENT
FOR TRANSMISSION OF ELECTRICITY
BY OVERHEAD (POWER) LINES.
(WESTERN POWER CORPORATION)

NOTE:
EASEMENT (Transmission of
Electricity by underground cable).
REFER TO SEC 33 OF THE STA,
REG 37 OF THE ST(G)R.
SEE DOCUMENT

LOT MISCLOSE
0.000 m

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

COTTAGE SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 649182
ADDRESS #162 Kitchener Road
SUBURB Alfred Cove
LGA CITY OF MELVILLE
DRAWN P. Ackrill

GPS Lat: -32.03656597 Long: 115.820845
ORDER # 177693
LOT Survey Strata Lot 2 (SP 88979)
AREA 350m² **VOL.** 1235 **FOL.** 621
DATE 04 Jun 26 **SSA** No

ROADS Bitumen
KERBS Mountable / Nil
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

SHEET No: 5 of 6
DATE: 25.08.2026

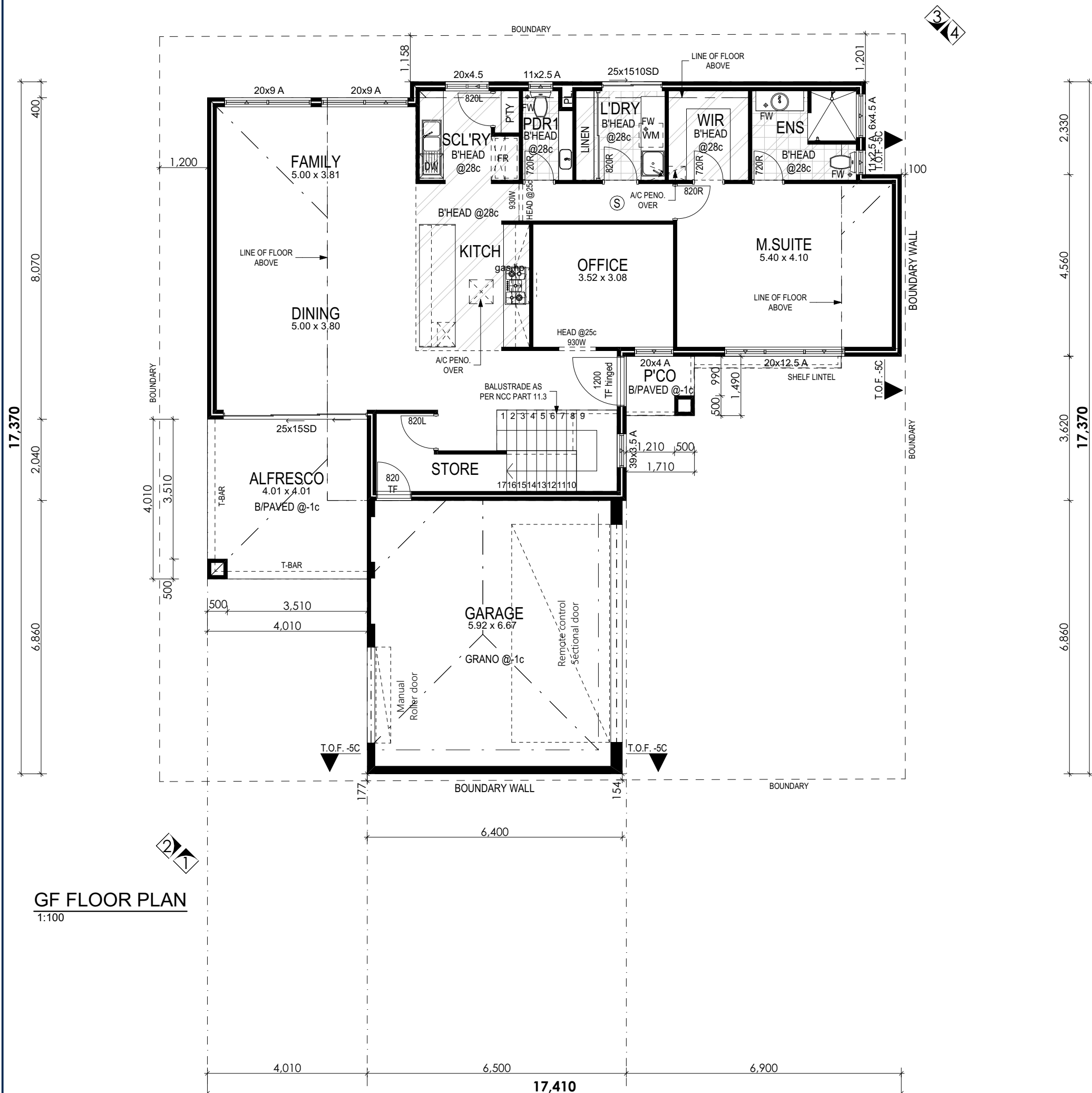
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0 2 4 6 8

NOTES:
- CLAY BRICKS TO ALL INTERNAL AND EXTERNAL WALLS
- ACRYLIC TEXTURE RENDER (U.N.O.)
- 31c CEILINGS TO GF & FF (U.N.O.)
- R4.0 CEILING INSULATION TO HOUSE AREAS
- HOOP IRON HOLDING DOWN STRAPS TO AS 1684

GF AREAS		
	Area	Perimeter
ALFRESCO	16.08	16,040
GARAGE	43.90	26,520
HOUSE	135.19	53,800
PORTICO	2.55	6,660
STORE	10.50	19,400
	208.22 m ²	

TOTAL ROOF AREA GF (ON FLAT): 86.92m²

⑤ SMOKE DETECTOR (HARD WIRED)



GF FLOOR PLAN

1:100



ABODIUM

PO BOX 206 LEEDERVILLE 6903 WA | p: 9276 1771
e: admin@abodium.com.au | w: abodium.com.au

CLIENT:



ADDRESS:

SSL2 #162 Kitchener Road
ALFRED COVE

[illegible]

CLIENT

DATE

CLIENT

DATE

BUILDER

DATE

PLAN GF

COASTAL CAT.	WIND RATING	ENG. DETAIL
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SHEET No:	MODEL No
1 of 6	CUST

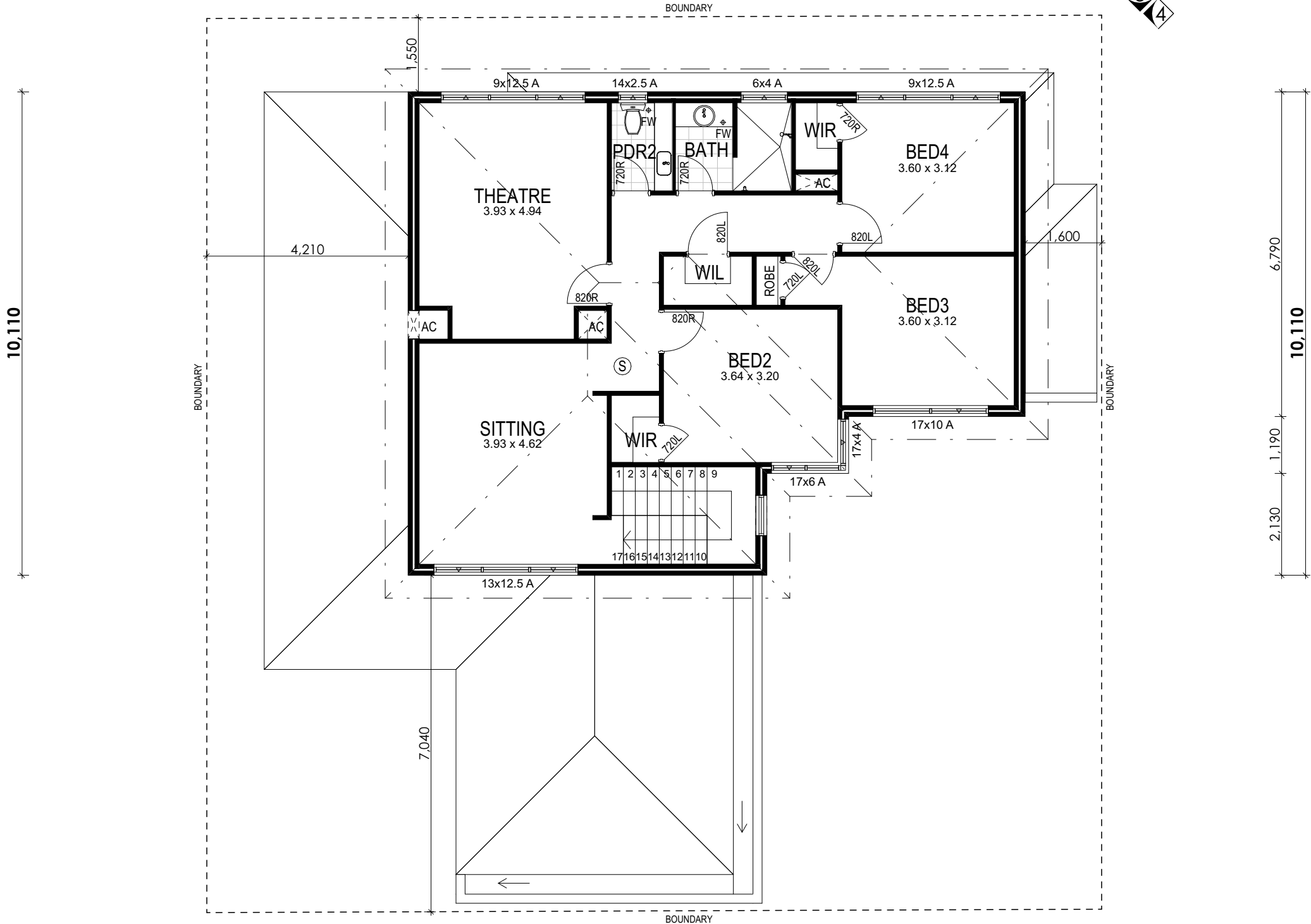
JOB No: **A266**

NOTES:
- CLAY BRICKS TO ALL INTERNAL
AND EXTERNAL WALLS
- ACRYLIC TEXTURE RENDER
(U.N.O.)
- 31c CEILINGS TO GF & FF
(U.N.O.)
- R4.0 CEILING INSULATION TO
HOUSE AREAS
- HOOP IRON HOLDING DOWN
STRAPS TO AS 1684

FF AREAS		
	Area	Perimeter
HOUSE	114.53	46,020
	114.53 m²	

TOTAL ROOF AREA FF (ON FLAT): 137.54m²

Ⓢ SMOKE DETECTOR (HARD WIRED)



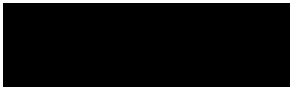
FF FLOOR PLAN
1:100



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ADDRESS:

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ALFRED COVE

DRAFTING LOG		DATE
SKETCH R3	SK	30/07/26
PLANNING DRAWINGS	GJ	25/08/26

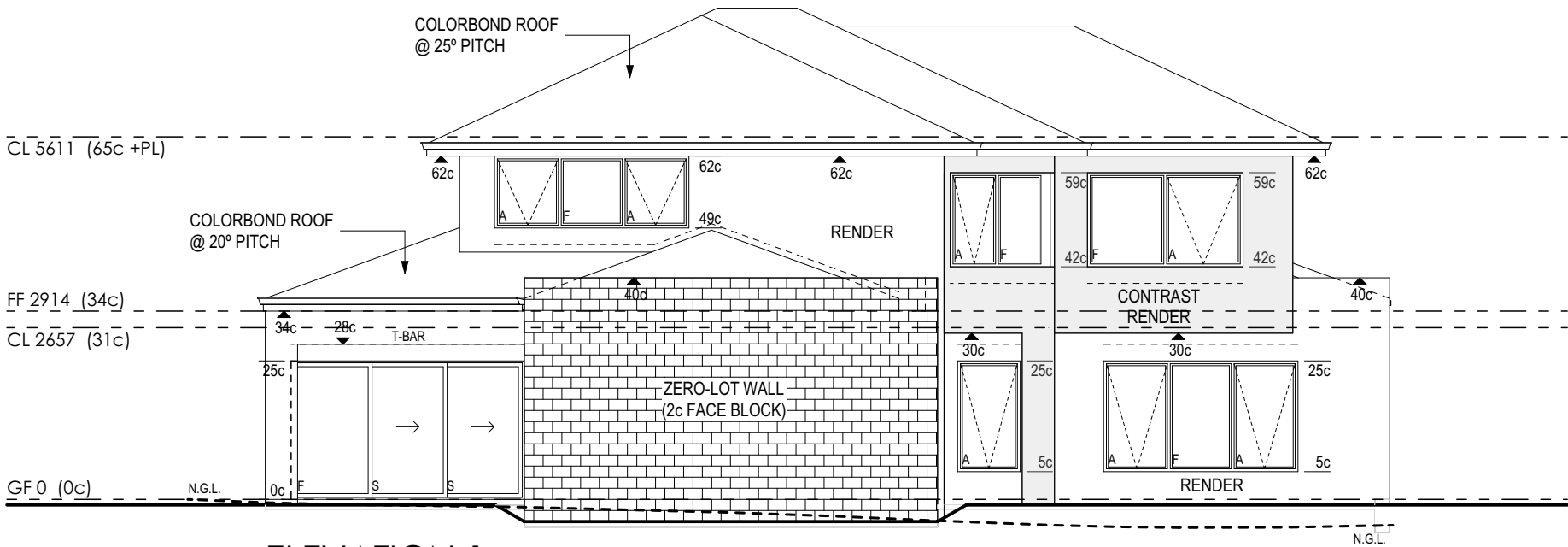
CLIENT.....
DATE.....
CLIENT.....
DATE.....
BUILDER.....
DATE.....

PLAN FF

COASTAL CAT.	WIND RATING	ENG. DETAIL
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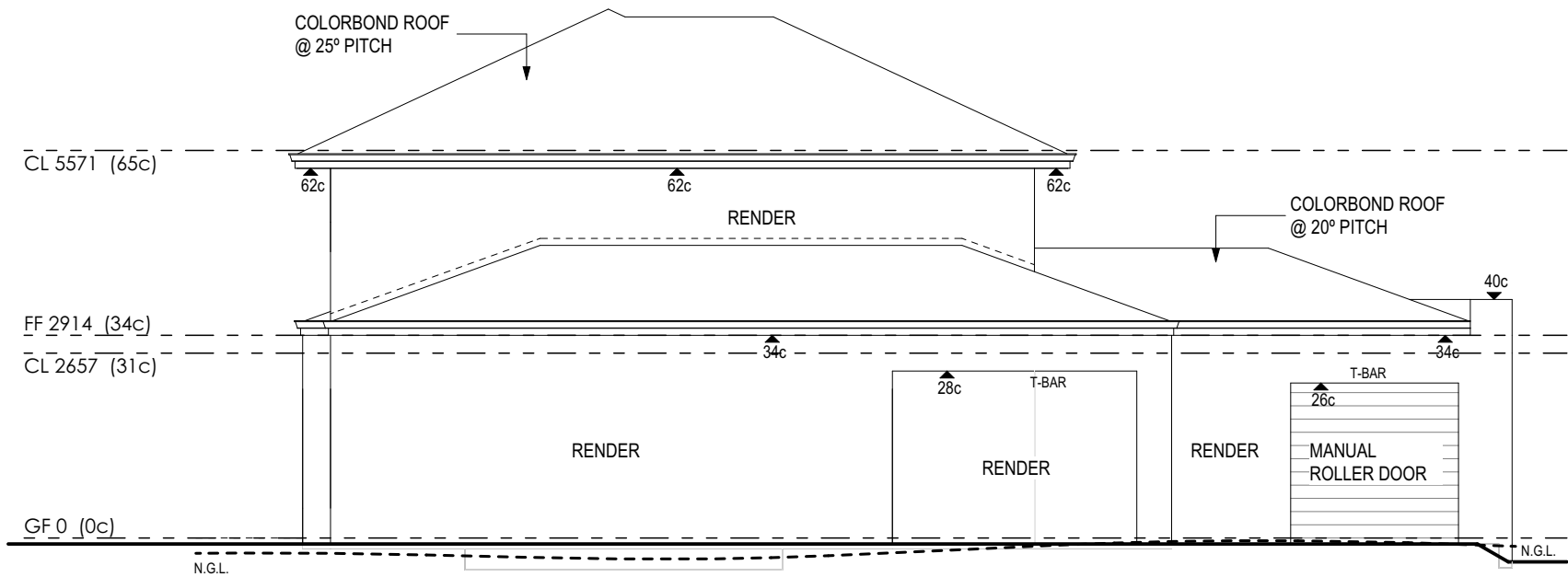
SHEET No:	MODEL No
2 of 6	CUST

JOB No: A266



ELEVATION 1

SCALE 1:100



ELEVATION 2

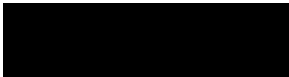
SCALE 1:100



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ADDRESS:

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ALFRED COVE

DRAFTING LOG

SKETCH R3	SK	30/07/26
PLANNING DRAWINGS	GJ	25/08/26

DATE

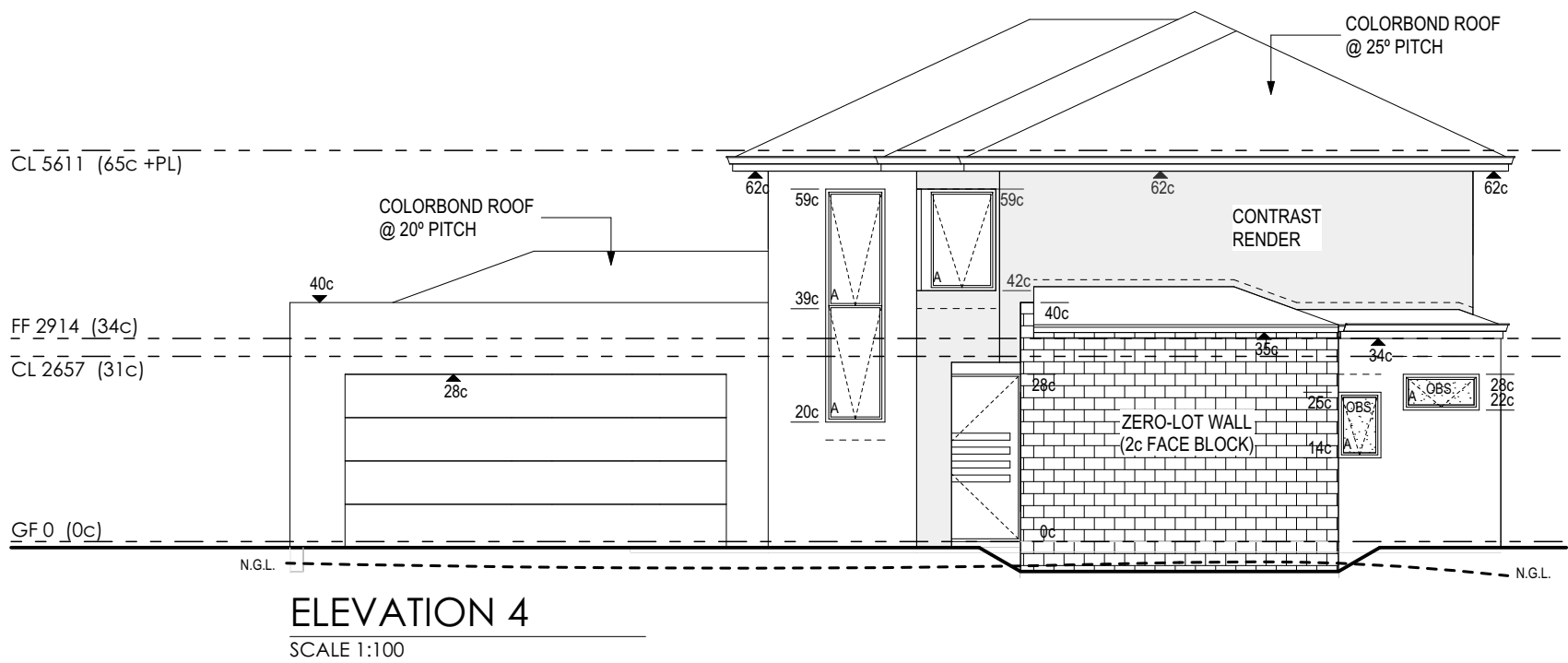
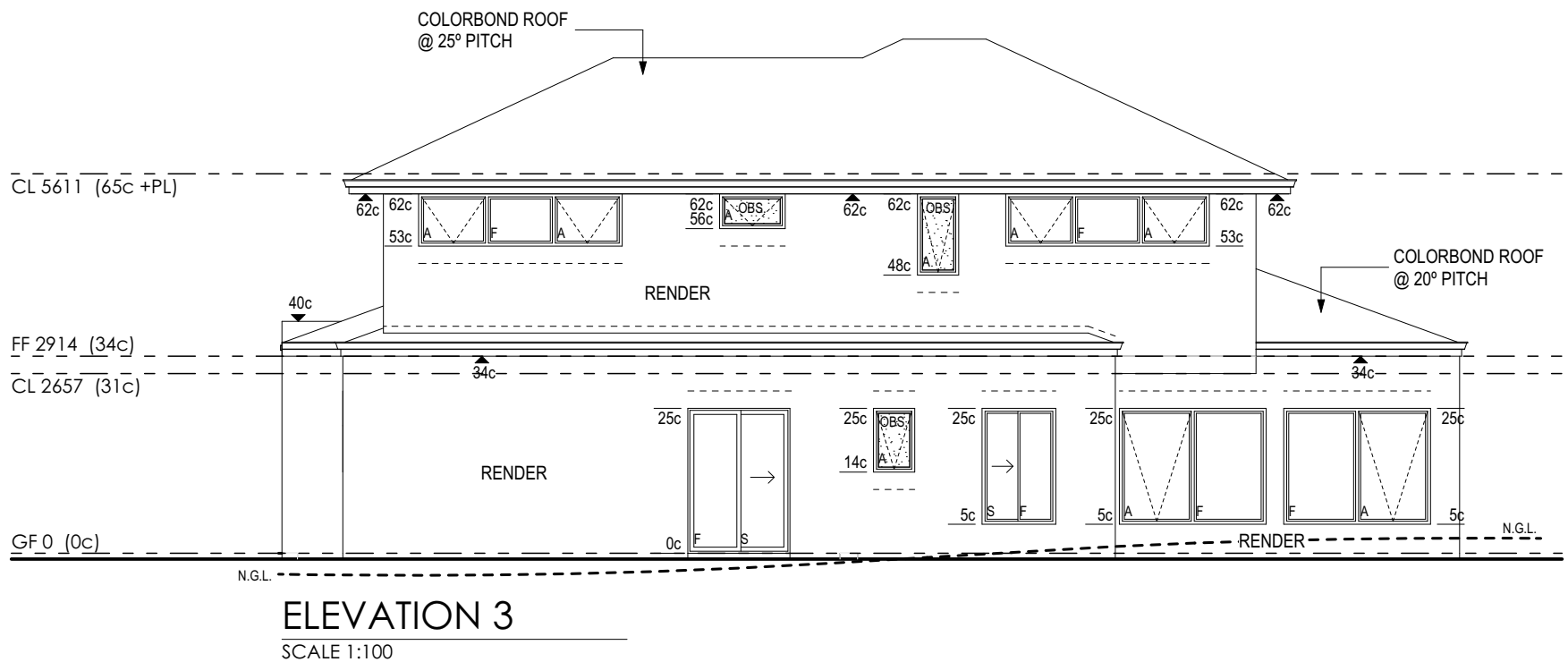
CLIENT.....
DATE.....
CLIENT.....
DATE.....
BUILDER.....
DATE.....

ELEVATIONS 1&2

COASTAL CAT.	WIND RATING	ENG. DETAIL
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SHEET No:	MODEL No
3 of 6	CUST

JOB No: **A266**



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CLIENT:



ADDRESS:

SSL2 #162 Kitchener Road
ALFRED COVE

DRAFTING LOG

SKETCH R3	SK	30/07/26
PLANNING DRAWINGS	GJ	25/08/26

DATE

CLIENT.....
DATE
CLIENT.....
DATE
BUILDER.....
DATE

ELEVATIONS 3&4

COASTAL CAT.	WIND RATING	ENG. DETAIL
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SHEET No:	MODEL No
4 of 6	CUST

JOB No: **A266**