

# APPLICATION FOR DEVELOPEMENT APPROVAL

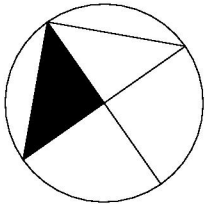
FOR

AT  
1 Klenk Street, ATTADALE

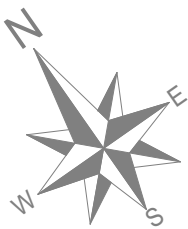
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NOTE: IMAGES ARE ILLUSTRATIVE ONLY, AND MAY SHOW BACKGROUND ITEMS/MATERIALS THAT ARE NOT INCLUDED IN THE PRICING. REFER TO "NEW HOME PROPOSAL" FOR INCLUSIONS. COLOURS/LAYOUTS/SHAPES/SIZES ARE TO BE TAKEN FROM THE ITEM DESCRIPTION, NOT THE IMAGES SHOWN, AND MAY BE SUBJECT TO CONSTRUCTION LIMITATIONS.







|           |                 |
|-----------|-----------------|
| ⊕         | Power Dome      |
| ○         | Power Pole      |
| ⊞         | Phone Pits      |
| ⊞         | Water Conn.     |
| [TP10.00] | Top Pillar/Post |
| [TW10.00] | Top Wall        |
| [TR10.00] | Top Retaining   |
| [TF10.00] | Top Fence       |

Approx. F/L  
36.21

First Floor

Eave

Bottom  
Of Eave  
41.41



2-Storey Brick  
& Galv On Slab  
(Flat Roof)

Top Of Roof  
37.97

Top Of Roof  
38.30

Obst.

Ref Nail & Plate At Base Of Kerb Approx. A.H.D. level 37.30 m  
(Established from B.M. MWB 1009 using data supplied  
by the Geodetic Section of Landgate)

Ref Nail At Base Of Kerb Approx. A.H.D. level 37.32 m  
(Established from B.M. MWB 1009 using data supplied  
by the Geodetic Section of Landgate)

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application.

Cann Road

Bitumen

Non-Mount

Semi-Mount

Nil

38.02

38.16

38.23

38.35

38.51

38.62

38.73

38.88

38.99

39.10

39.23

39.34

39.45

39.56

39.67

39.78

39.89

39.99

40.10

40.21

40.32

40.43

40.54

40.65

40.76

40.87

40.98

41.09

41.20

41.31

41.42

41.53

41.64

41.75

41.86

41.97

42.08

42.19

42.30

42.41

42.52

42.63

42.74

42.85

42.96

43.07

43.18

43.29

43.40

43.51

43.62

43.73

43.84

LOT MISCLOSE  
0.009 m

### DISCLAIMER:

Due to lack of survey marks/pegs, all building offset  
dimensions & features are approximate only and  
positioned from existing pegs/fences and walls  
which may not be on the correct alignment. Any  
design that involves additions to any structures  
shown or portion of structures remaining after  
any demolition has taken place requires boundaries  
to be repegged and exact offsets provided to your  
designer/architect before any plans are produced  
and before any work is started on site.

### DISCLAIMER:

Lot boundaries drawn on survey are  
based on landgate plan only. Survey does not  
include title search and as such may not show  
easements or other interests not shown on plan.  
Title should be checked to verify all lot details  
and for any easements or other interests which  
may affect building on the property.

### DISCLAIMER:

Survey does not include verification of cadastral  
boundaries. All features and levels shown are  
based on orientation to existing pegs and fences  
only which may not be on correct cadastral alignment.  
Any designs based or dependent on the location of  
existing features should have those features'  
location verified in relation to the true boundary.

### DISCLAIMER:

Survey shows visible features only and will not  
show locations of underground pipes or conduits  
for internal or mains services. Verification of  
the location of all internal and mains services  
should be confirmed prior to finalisation of any  
design work.

### DISCLAIMER:

Cottage & Engineering surveys accept no  
responsibility for any physical on site changes to  
the parcel or portion of the parcel of land shown  
on this survey including any adjoining neighbours  
levels and features that have occurred after the  
date on this survey. All Sewer details plotted  
from information supplied by Water Corporation.

### DEMOLITION NOTES

ITEMS SHOWN IN RED & DASHED  
TO BE DEMOLISHED BY OWNER



87-89 Guthrie Street  
Osborne Park, WA 6017

PO Box 1611  
Osborne Park  
Business Centre WA 6917

P: (08) 9446 7361  
E: perth@cottage.com.au

JOB # 520160

ADDRESS #1 Klenk Road

SUBURB Attadale

LGA CITY OF MELVILLE

DRAWN B. Smith

GPS

Lat: -32.021285 Long: 115.79583

LOT

Lot 92 (Plan 5837)

AREA

880m<sup>2</sup> VOL. 1403 FOL. 268

DATE

24 Feb 22

SSA No.

ROADS

Bitumen

KERBS

See Survey

FOOTPATH

Concrete

SOIL

Sand

DRAINAGE

Good

VEGETATION

Light Grass Cover

ELEC.

U/Ground

COMMS.

Yes

WATER

Yes

GAS

Check Alinta

SEWER

Yes

COASTAL

500m To Div. (Approximate Only)

Scale 1:200





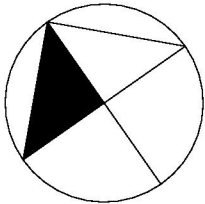
LOT 92:  
ZONING: R 15  
SITE AREA: 880m<sup>2</sup>  
SITE COVER: 50%  
LOCAL AUTHORITY: City of Melville  
RELEVANT PLANNING CODES: SPP 7.3 - R-codes Volume 1  
LPP 3.1 - Residential Development Policy  
CP-029-Trees on City Managed Land Policy



PROPOSED SITE ADDRESS:  
1 Klenk Street  
ATTADALE

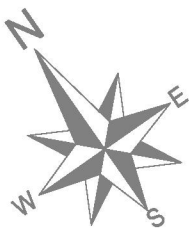
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SITE ANALYSIS



A3 SHEET  
SHEET: 3 of 8  
DRN: SR  
SCALE 1:400  
CURRENT REVISION:  
DA-02 21/07/2026  
CONTRACT NO:  
26001





| LEGEND    |                 |
|-----------|-----------------|
| [P]       | Power Dome      |
| [T]       | Power Pole      |
| [C]       | Phone Pits      |
| [W]       | Water Conn.     |
| [TP10.00] | Top Pillar/Post |
| [TW10.00] | Top Wall        |
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Approx. F/L  
36.21

First Floor

Eave

Bottom  
Of Eave  
41.39

Bottom  
Of Eave  
41.41

2-Storey Brick  
& Galv On Slab  
(Flat Roof)

Ground Floor

Top Of Roof  
37.97

Top Of Roof  
38.30

Obst.

Ref Nail & Plate At Base Of Kerb Approx. A.H.D. level 37.30 m  
(Established from B.M. MWB 1009 using data supplied  
by the Geodetic Section of Landgate)

Crossover

Ref Nail At Base Of Kerb Approx. A.H.D. level 37.32 m  
(Established from B.M. MWB 1009 using data supplied  
by the Geodetic Section of Landgate)

Sewer Junction  
Inv: 34.5 Depth: 1.8  
NOTE: UP

NOTE:  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
Setbacks MUST be confirmed  
by Water Corp. before any  
design work is undertaken.  
This line is NOT definitive.

tree and planting zone  
as per R-codes

Cann Road

Bitumen

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Non-Mount

Semi-Mount

Nil

Non-Mount

Semi-Mount

Nil

Non-Mount

Semi-Mount

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Non-Mount

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Nil

Non-Mount

Semi-Mount

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Semi-Mount

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Non-Mount

Semi-Mount

Nil

Non-Mount

Semi-Mount

Nil

Non-Mount

Semi-Mount

Nil

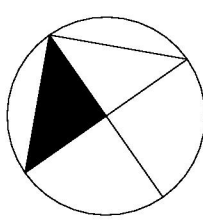
Klenk Road

Bitumen



PROPOSED SITE ADDRESS:  
1 Klenk Street  
ATTADALE

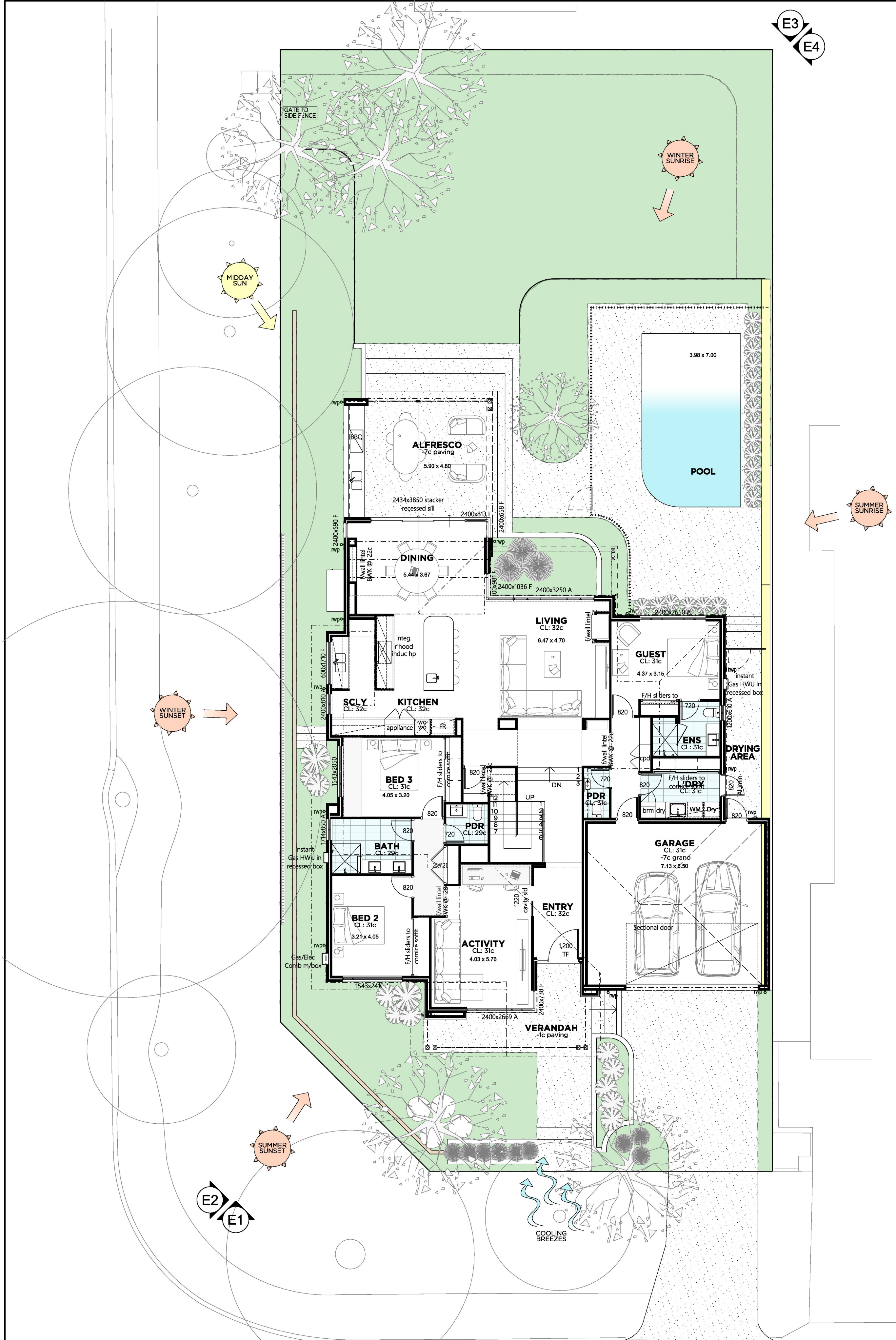
PROPOSED SITE PLAN



A3 SHEET  
SHEET: 4 of 8  
DRN: SR  
SCALE  
CURRENT REVISION:  
DA-02 21/07/2026  
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E3  
E4

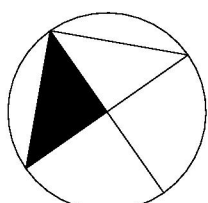


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1 Klenk Street  
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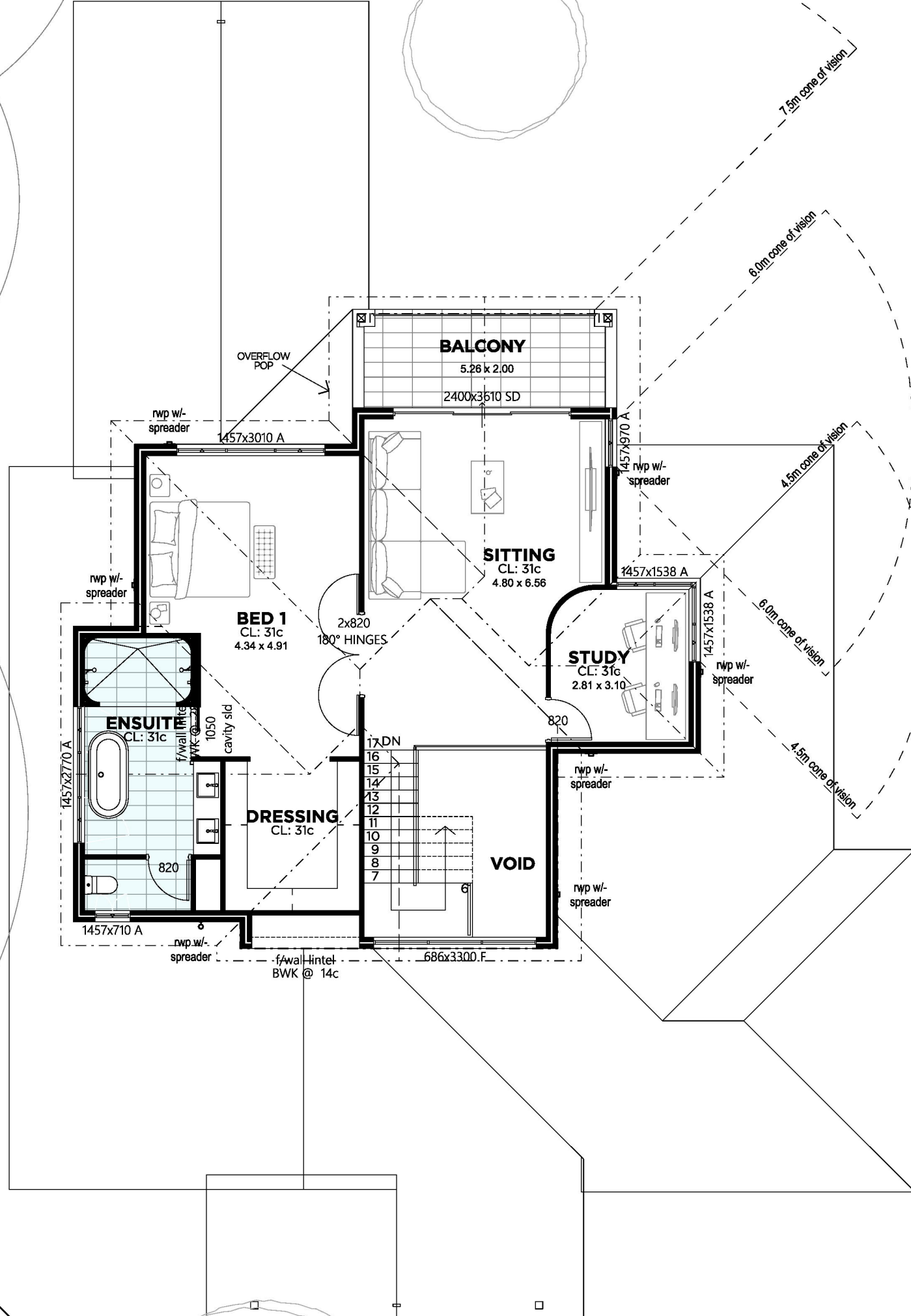
GROUND FLOOR PLAN



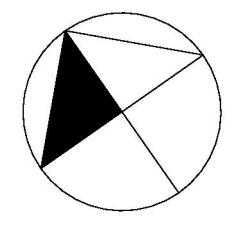
A2 SHEET  
SHEET: 5 of 8  
DRN: SR  
SCALE 1:100  
CURRENT REVISION:  
DA-02 21/07/2026  
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| HOUSE AREA CALCULATIONS |        |                       |
|-------------------------|--------|-----------------------|
| BALCONY                 | 10.63  | 14,560                |
| ALFRESCO                | 28.32  | 21,400                |
| V'DAH                   | 13.34  | 21,942                |
| GARAGE                  | 50.33  | 29,500                |
| UPPER FLOOR             | 111.79 | 47,420                |
| GROUND FLOOR            | 232.71 | 76,166                |
|                         |        | 447.12 m <sup>2</sup> |





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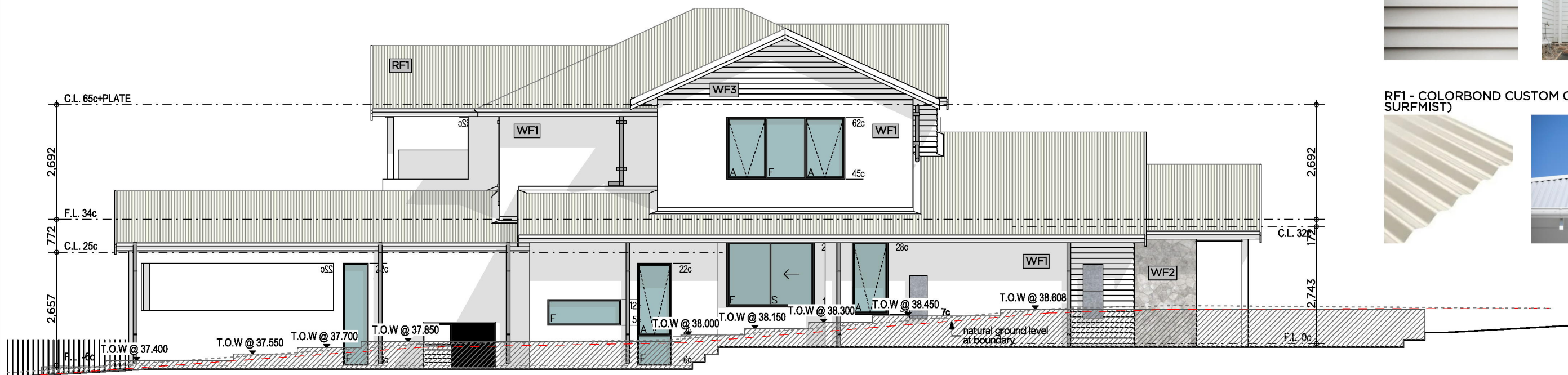


| HOUSE AREA CALCULATIONS |           |        |
|-------------------------|-----------|--------|
| . BALCONY               | 10.63     | 14,560 |
| . ALFRESCO              | 28.32     | 21,400 |
| . V'DAH                 | 13.34     | 21,942 |
| . GARAGE                | 50.33     | 29,500 |
| . UPPER FLOOR           | 111.79    | 47,420 |
| . GROUND FLOOR          | 232.71    | 76,166 |
|                         | 447.12 m² |        |





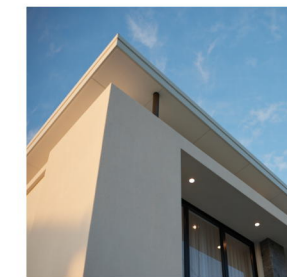
ELEVATION 1  
1:100



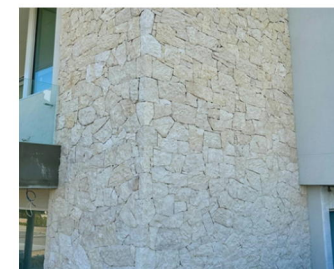
ELEVATION 2  
1:100

## EXTERNAL FINISHES

WF1 - WHITE RENDER (COLOUR: DULUX WHITE ON WHITE)



WF2 - OMEO STONE CLADDING (MATAKA)



WF3 - SCYON LINEA WEATHERBOARD CLADDING (COLOUR: WHITE ON WHITE)



RF1 - COLORBOND CUSTOM ORB (COLOUR: SURFMIST)

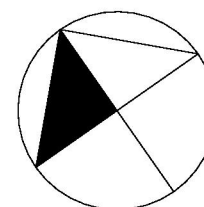


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1 Klenk Street  
ATTADALE

ELEVATIONS



A3 SHEET  
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ELEVATION 3  
1:100

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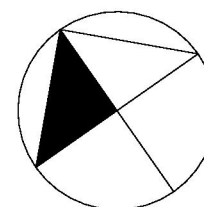


ELEVATION 4  
1:100



PROPOSED SITE ADDRESS:  
 1 Klenk Street  
 ATTADALE

ELEVATIONS



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