

LOT MISCLOSE
0.006 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries

to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

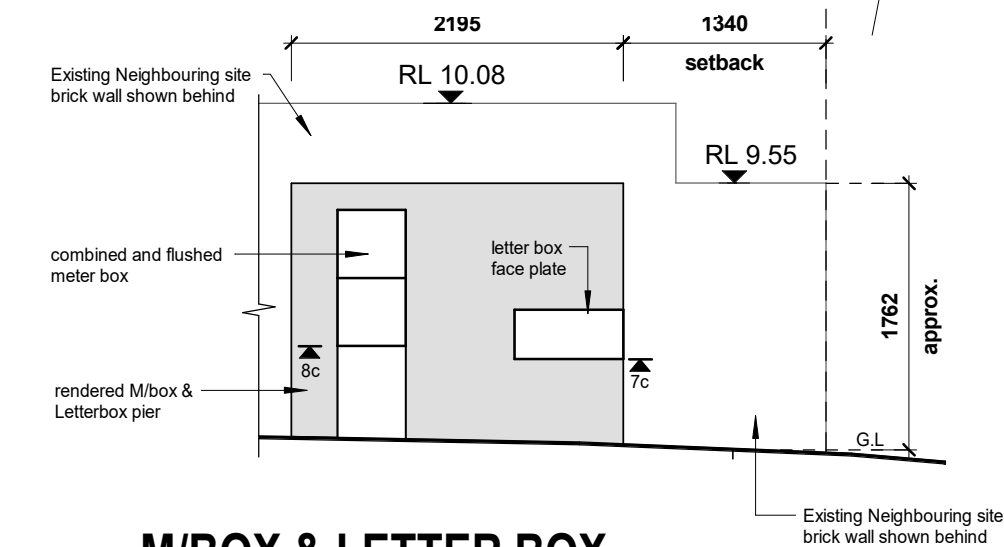
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LEGEND	
POWER DOME	
POWER POLE	
PHONE PITS	
WATER CROWN	
TOP PILLAR/POST	
TOP WALL	
TOP RETAINING	
TOP FENCE	

Legends:
brick wall
sewer line
line of wall below

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

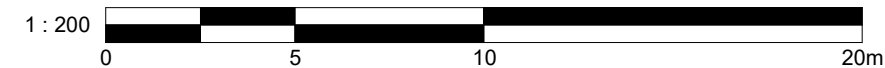


M/BOX & LETTER BOX PIER ELEVATION

scale 1:50

SITE PLAN

scale 1:200



CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916
ABN: 46115327761
ACN: 115327761

Phone: 08 9444 5289
Version: 5, Version Date: 10/07/2026

Reg No: 12287

PROJECT:
HN 5A Dunvegan Road, Applecross.

CLIENT:
COOK

SKETCH DESIGN

SHEET NAME:
SITE PLAN AND M/BOX & LETTER BOX PIER ELEVATION

29.06.2026	Planning Amendments (increase setback)
16.06.2026	Planning Amendments - Rev 2 (rear setback & boundary wall)
18.05.2026	Planning Amendments
12.12.2025	Issued for Development Application
REVISION	Description

DRAWN AR DESIGN AR SHEET 1 of 7
DATE 01.07.2026 SCALE Indicated/A3 JOB No DUN COO

© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS& SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION

COTTAGE SURVEYS

LICENSED SURVEYORS

87-89 Guttrine Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 605354

CLIENT Contour Projects Pty Ltd

ADDRESS#5A Dunvegan Road

SUBURB Applecross

CITY OF MELVILLE

B.Smith

AREA 873m²

VOL 1414 FOL.998

DATE 09 Apr 25

SSA No

GPS Lat: -32.007096 Long: 115.84332

LOT Lot 6 (Diag. 48483)

VEGETATIONlight Grass Cover

ROADS Bitumen

KERBS Non-Mount / Nil

FOOTPATH Nil

SOIL Sand

DRAINAGE Good

SEWER Yes

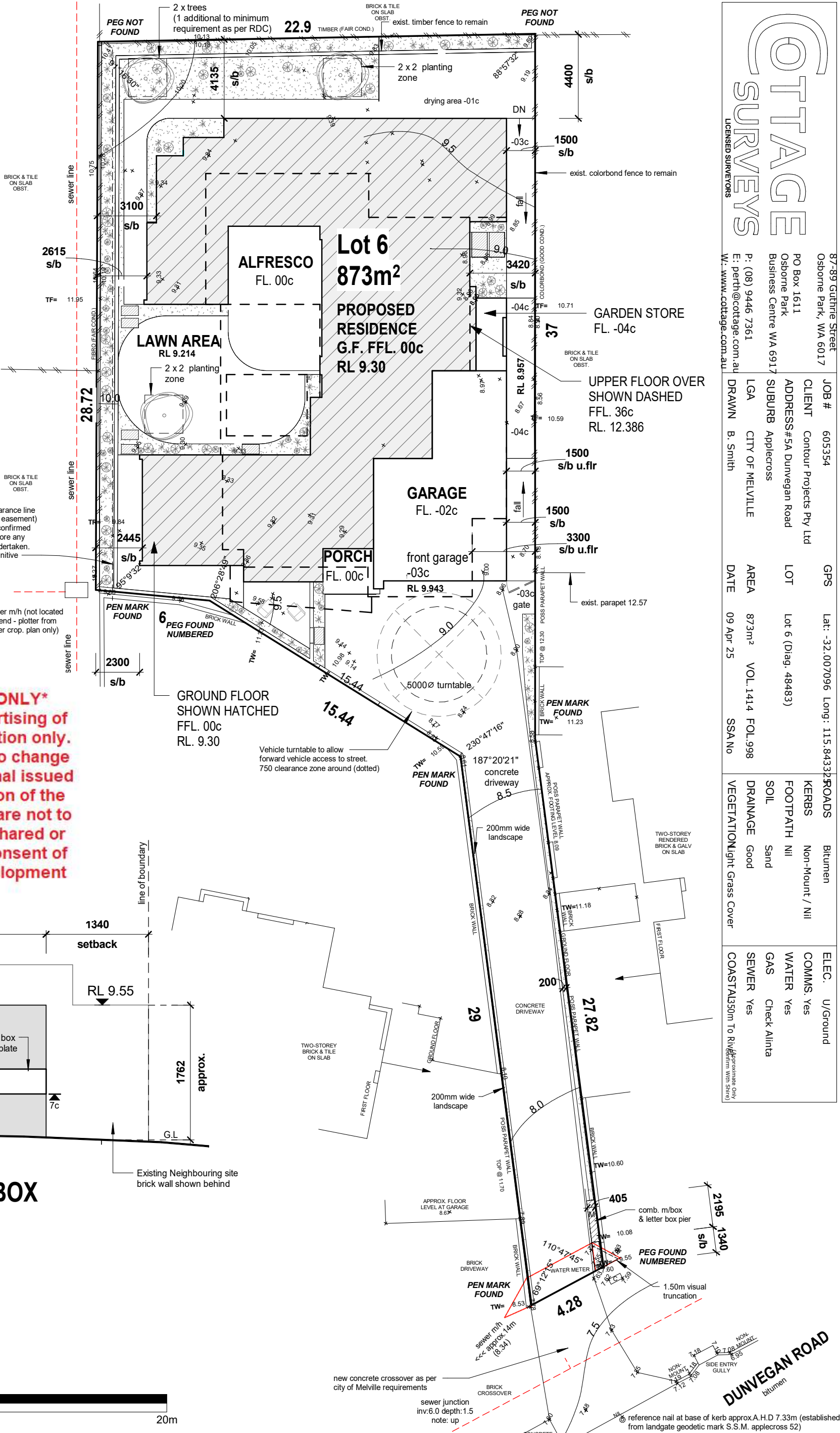
ELEC. u/Ground

COMMS. Yes

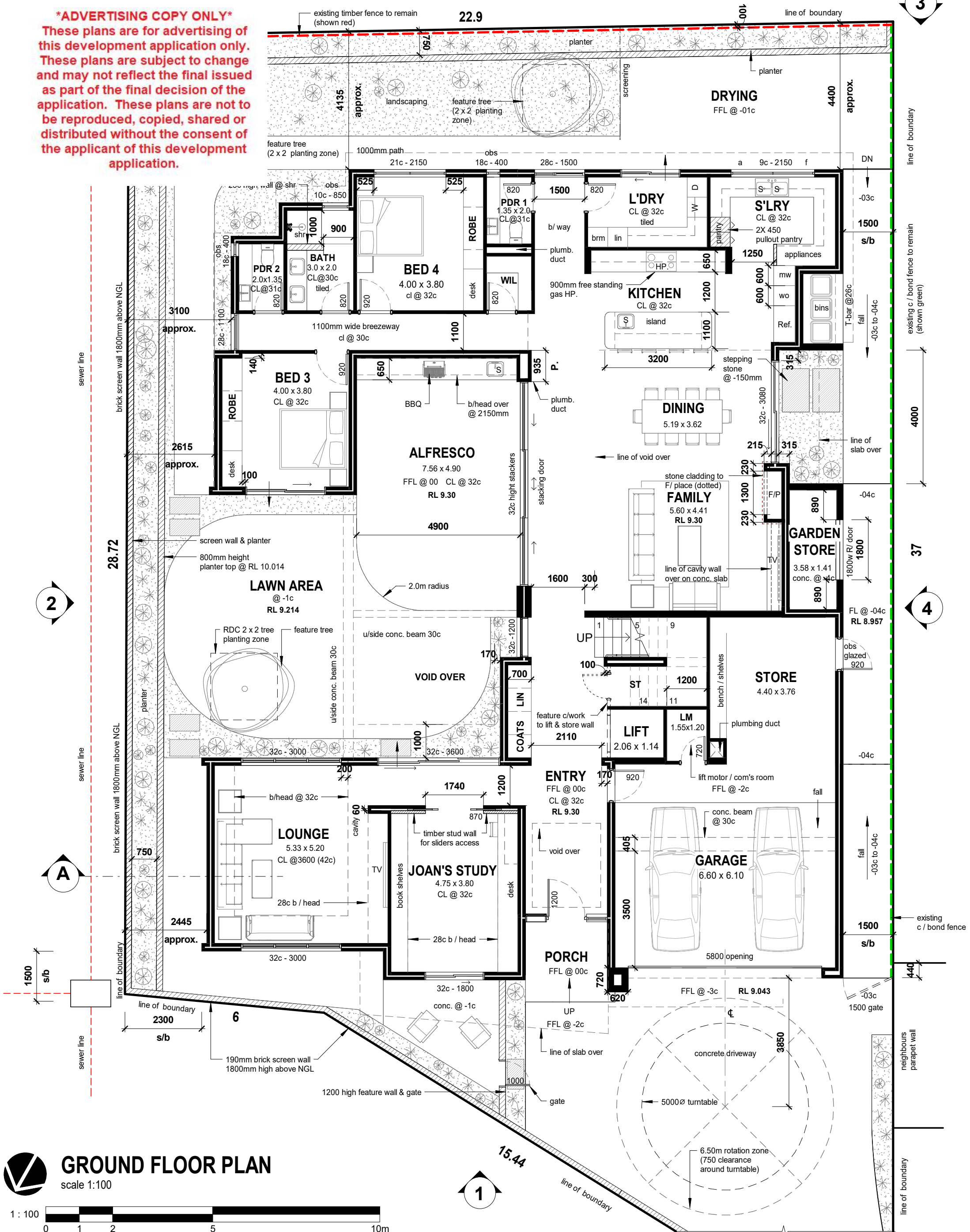
WATER Yes

GAS Check Alinta

COASTAL150m To River (Approximate Only - Minimum With Shire)



ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.



CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916

ABN: 46115327761
ACN: 115327761

PROJECT:
HN 5A Dunvegan Road, Applecross.

CLIENT:
COOK

SKETCH DESIGN

SHEET NAME:
GROUND FLOOR PLAN

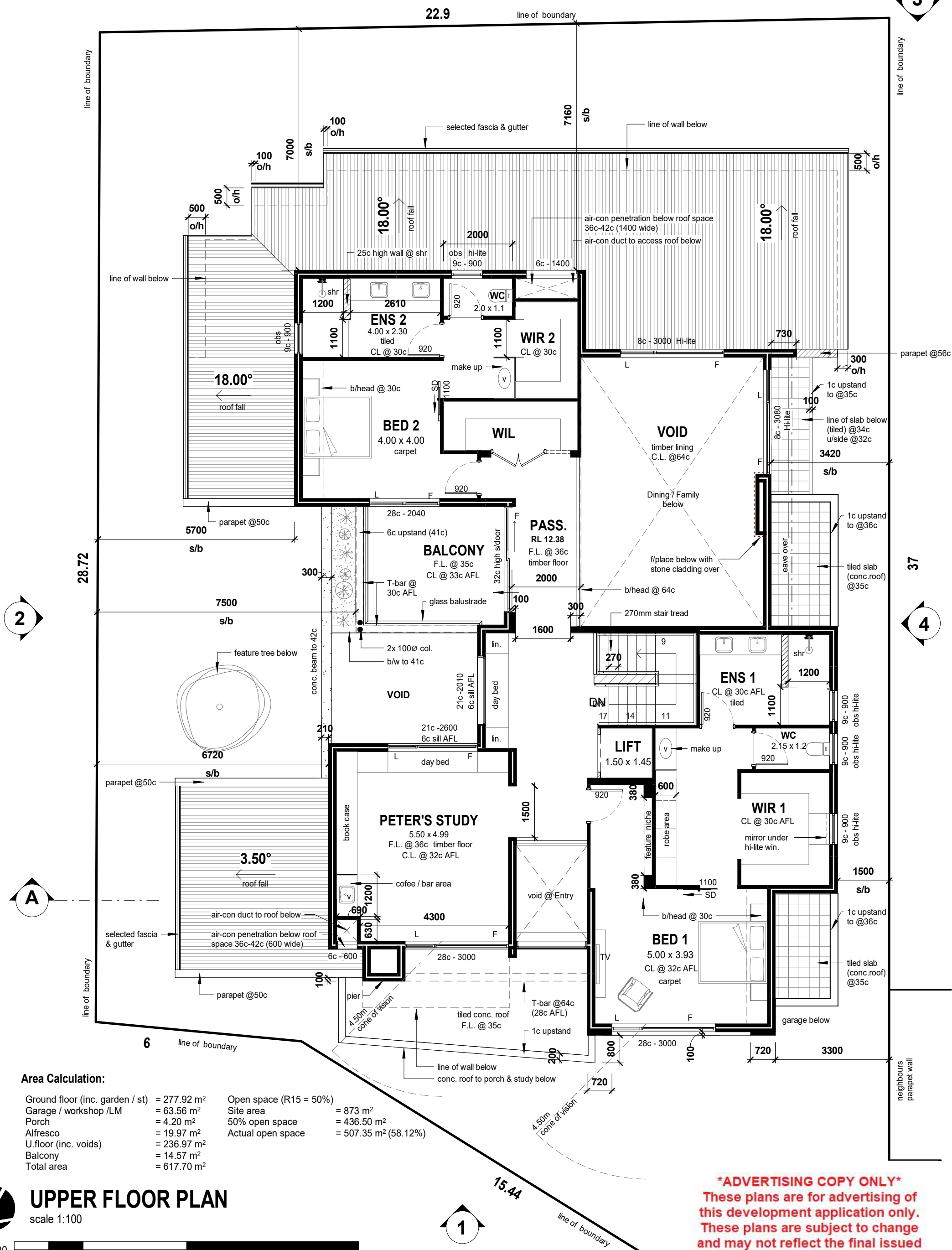
29.06.2026	Planning Amendments (increase setback)
16.06.2026	Planning Amendments - Rev 2 (rear setback & boundary wall)
18.05.2026	Planning Amendments
12.12.2025	Issued for Development Application
REVISION	Description

DRAWN AR DESIGN AR SHEET 2 of 7
DATE 01.07.2026 SCALE 1 : 100 /A3 JOB No DUN COO

© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS & SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION

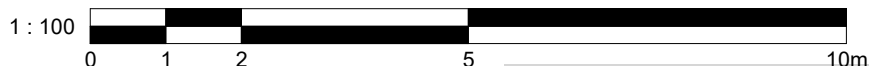
Phone: 08 9444 5289
Version: 5, Version Date: 19/07/2026

Reg No: 12287



UPPER FLOOR PLAN

scale 1:100



CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916

ABN: 46115327761
ACN: 115327761

PROJECT:
HN 5A Dunvegan Road, Applecross.

CLIENT:
COOK

SKETCH DESIGN

SHEET NAME:
UPPER FLOOR PLAN

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

DRAWN AR DESIGN AR SHEET 3 of 7

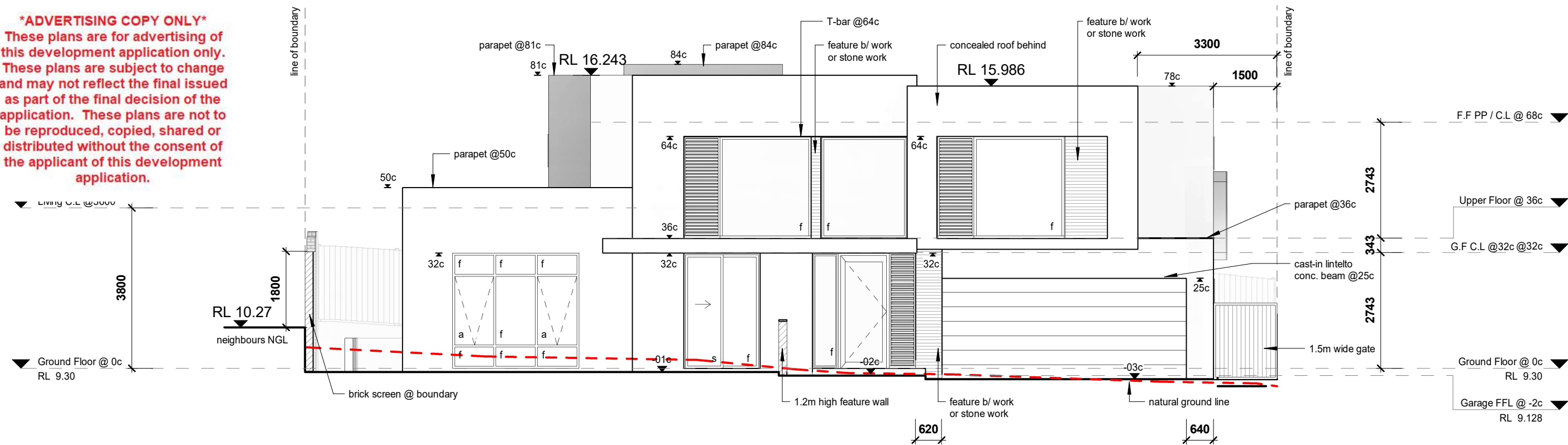
DATE 01.07.2026 SCALE 1:100 / A3 JOB No DUN COO

© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS & SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION

Phone 08 9444 5289
Version: 5, Version Date: 10/07/2026

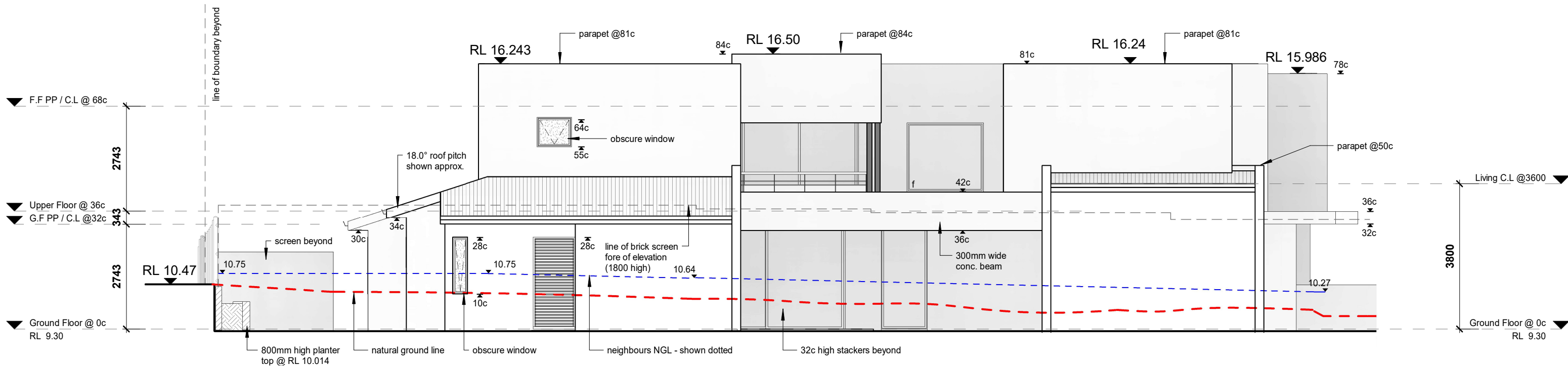
Reg No: 12287

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.



ELEVATION -1 (NORTH)

scale 1:100



ELEVATION -2 (EAST)

scale 1:100

CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916

ABN: 46115327761
ACN: 115327761

Phone: 08 9444 5389

Reg No: 12287

PROJECT:
HN 5A Dunvegan Road, Applecross.

SHEET NAME:
ELEVATION 1 & 2

CLIENT:
COOK

SKETCH DESIGN

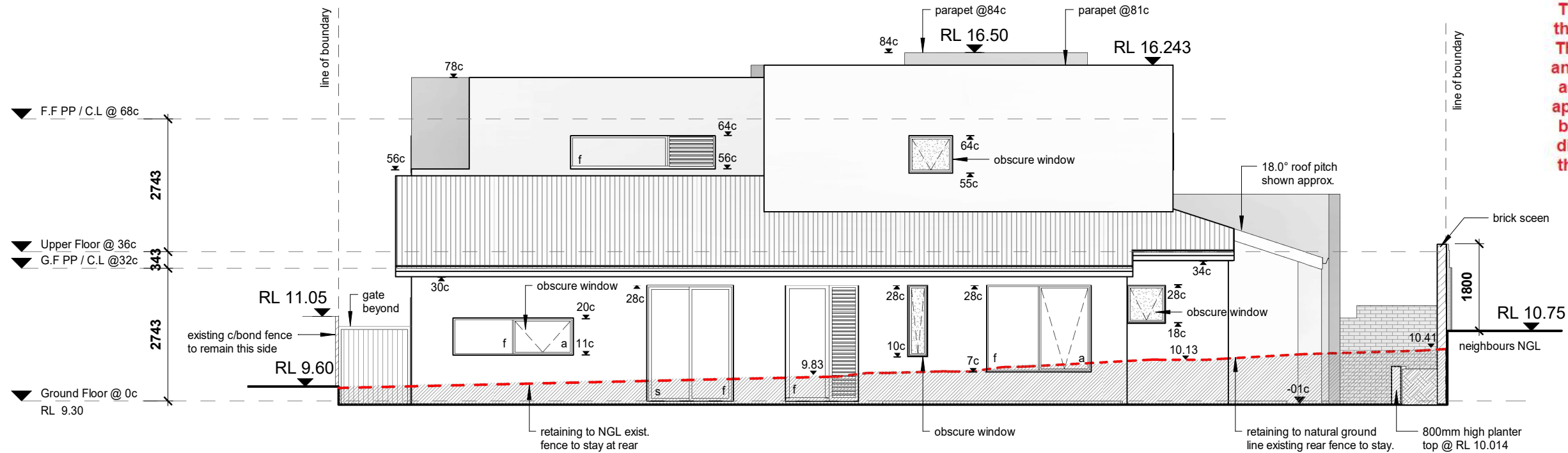
© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS& SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION

29.06.2026	Planning Amendments (increase setback)
16.06.2026	Planning Amendments - Rev 2 (rear setback & boundary wall)
18.05.2026	Planning Amendments
12.12.2025	Issued for Development Application
REVISION	Description

DRAWN AR DESIGN AR SHEET 4 of 7

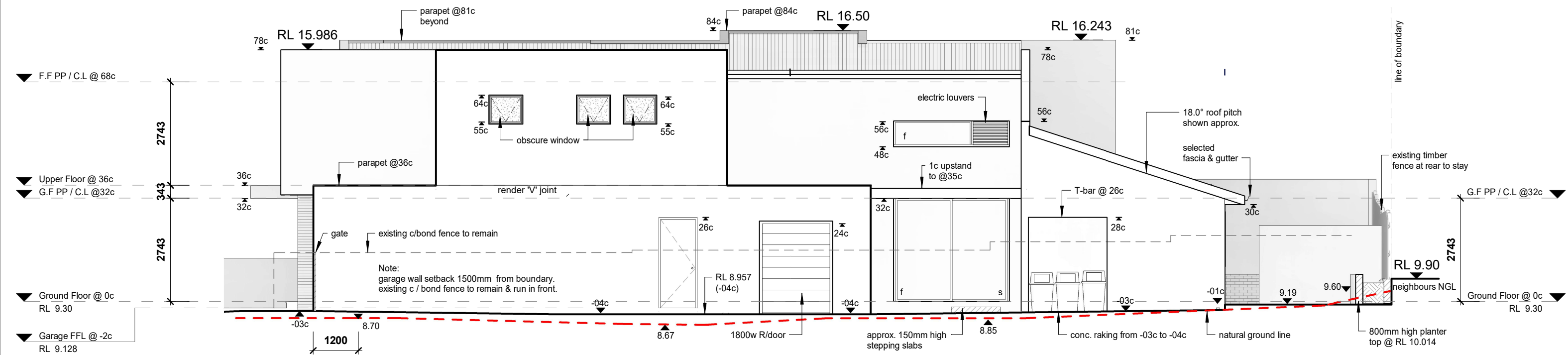
DATE 01.07.2026 SCALE 1 : 100 /A3 JOB No DUN COO

ADVERTISING COPY ONLY
These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.



ELEVATION -3 (SOUTH)

scale 1:100



ELEVATION -4 (WEST)

scale 1:100

CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916

ABN: 46115327761
ACN: 115327761

Phone: 08 9444 5389

Reg No: 12287

PROJECT:
HN 5A Dunvegan Road, Applecross.

SHEET NAME:
ELEVATION 3 & 4

CLIENT:
COOK

SKETCH DESIGN

© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS& SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION

29.06.2026	Planning Amendments (increase setback)
16.06.2026	Planning Amendments - Rev 2 (rear setback & boundary wall)
18.05.2026	Planning Amendments
12.12.2025	Issued for Development Application
REVISION	Description

DRAWN AR DESIGN AR SHEET 5 of 7

DATE 01.07.2026 SCALE 1 : 100 /A3 JOB No DUN COO

ADVERTISING COPY ONLY

These plans are for advertising of this development application only. These plans are subject to change and may not reflect the final issued as part of the final decision of the application. These plans are not to be reproduced, copied, shared or distributed without the consent of the applicant of this development application.

Neighbouring site
HN 2A ATKINS ROAD

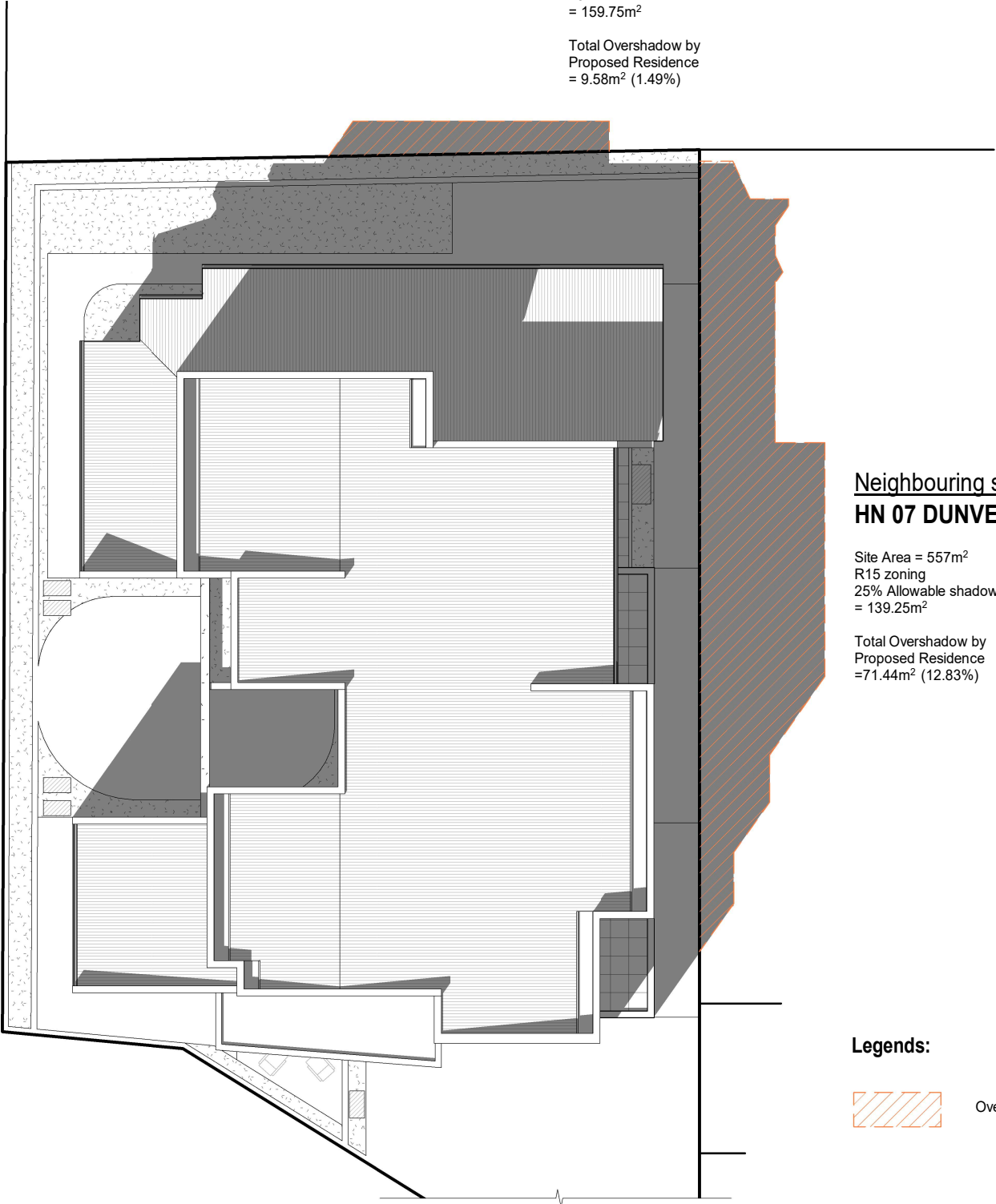
Site Area = 639m²
R15 zoning
25% Allowable shadow
= 159.75m²

Total Overshadow by
Proposed Residence
= 9.58m² (1.49%)

Neighbouring site
HN 07 DUNVEGAN ROAD

Site Area = 557m²
R15 zoning
25% Allowable shadow
= 139.25m²

Total Overshadow by
Proposed Residence
=71.44m² (12.83%)



Legends:

 Overshadow



SHADOW DIAGRAM - 12:00pm 21st June

scale 1:200



CONTOUR
Contour Projects Pty Ltd
PO Box 1909 Osborne Park WA 6916

ABN: 46115327761
ACN: 115327761

Phone: 08 9444 5389
Email: info@contourprojects.com.au
Version: 5, Version Date: 18/07/2026

Reg No: 12287

PROJECT:
HN 5A Dunvegan Road, Applecross.

CLIENT:
COOK

SKETCH DESIGN

SHEET NAME:
**SHADOW DIAGRAM - 12.00pm
21st JUNE**

16.06.2026 Planning Amendments - Rev 2 (rear setback & boundary wall)

18.05.2026 Planning Amendments

12.12.2025 Issued for Development Application

REVISION Description

DRAWN AR DESIGN AR SHEET 7 of 7

DATE 01.07.2026 SCALE 1 : 200 /A3 JOB No DUN COO

© THIS DESIGN IS COPYRIGHT TO CONTOUR PROJECTS& SHALL NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION