

Our Ref: J000412  
Your Ref: DA-2023-507

5 February 2025

Chief Executive Officer  
City of Melville  
Locked Bag 1  
Booragoon WA 6954

Dear Sir

**46-50 (LOT 601) BENNINGFIELD ROAD, BULL CREEK – CHANGE OF USE FROM RESTAURANT TO TAVERN**

PTS Town Planning Pty Ltd is pleased to submit this development application to change the use of the approved restaurant to tavern at the Bull Creek Shopping Centre.

In accordance with the City of Melville's requirements, please find enclosed:

- A completed and signed City of Melville Application for Development Approval.
- A completed and signed MRS Form 1.
- Copy of the Certificate of Title.
- The proposed plans, elevations and perspectives.
- An acoustic report.
- A Management Plan.

**Background**

The City of Melville on 25 August 2023 granted approval for alterations and additions to the Bull Creek Shopping Centre. The approval is subject to 14 Conditions.

The City of Melville on 3 September 2024 granted approval for amendments to the approval. The amendments generally related to the southern area.

The City of Melville on 4 December 2024 granted approval for amendments to the northern portion of the site and entrance facades.

**Proposed Change of Use**

This application seeks to change the land use of the external tenancy located adjacent to the northern shopping centre entrance from restaurant to tavern.

The tavern is to be occupied by the \_\_\_\_\_ has two existing premises in Inglewood and Scarborough.

The tavern will have the following specifications

- Occupancy – maximum 380 people.
- Liquor License – Tavern Restricted.
- Opening hours
  - Sunday - Thursday 6am - 10pm
  - Friday - Saturday 6am – 12am
- No takeaway alcohol sales as it is a Tavern Restricted Liquor Licence.
- Background music.

## **Planning Assessment**

### Land Use

Under the Centre C3 zone a Tavern is a 'A' use.

### External Changes

The external changes were approved under the previous approval dated 4 December 2024.

### Car Parking

The car parking requirement for a tavern is the same as a restaurant (noting that no rooms are proposed, and a similar number of staff are proposed) and therefore the car parking requirement does not change.

### Acoustic Assessment

We have enclosed an acoustic assessment prepared by Herring Storer Acoustics.

### Management Plan

We have enclosed the Management Plan, House Management Policy and Code of Conduct prepared by the tavern operator.

## **Conclusion**

This application involves a change of use from restaurant to tavern. The proposed use will add to the activity and offering within the Bull Creek Shopping Centre. This application has considered the key issues in terms of the acoustic assessment and management plan.

We look forward to your favourable consideration of this application.

Chief Executive Officer  
City of Melville

46-50 (LOT 601) BENNINGFIELD ROAD, BULL CREEK – CHANGE OF USE FROM RESTAURANT TO TAVERN

# **GPBC Pty Ltd**

**BULL CREEK SHOPPING CENTRE PTY LTD**

**WA 6149**

## **Management Plan**

### **House Management Policy**

### **Code of Conduct**

"We will at all times make ourselves available to respond to the concerns of our patrons and our neighbours at the GPBC pty ltd""

## **Management plan**

### **Staff Training and Responsible Service of Alcohol**

- The Licensee (or representative) and approved manager will be accredited through the completion of the mandatory liquor licensing training.
- All our service staff will be trained in the responsible service of alcohol by completing the appropriate course of an accredited provider.
- Our management team has also been trained in responsible service practices and will support the service staff at all times in their duties and responsibilities under the Liquor Control Act 1988 with regard to harm minimisation.



- Staff are to be encouraged to be alert for the signs of intoxication of patrons.
- Staff will have access to a copy of the Director of Liquor Licensing Guidelines on the Responsible Promotion of Liquor.
- We will discourage any activity that could lead to, or result in, excessive consumption of alcohol (such as drinking competitions) or the promotion of alcohol involving excessive or rapid consumption of alcohol.
- Low alcohol drinks and non-alcoholic beverages are promoted and available on the premise and glasses of tap water are available, free of charge, upon request.
- Our commitment to the responsible service of alcohol is also demonstrated by the display of Responsible Service of Alcohol posters. Staff are requested to draw patrons' attention to these posters as and when necessary.
- We view signage as an important operational tool, to assist us in fulfilling our obligations to minimise the harm caused by the abuse of alcohol.
- Toilet facilities will be maintained as per the Director of Liquor Licensing's Maintenance of Toilet Facilities Policy.

## **Security and Police**

- We will ensure that contact telephone numbers for local police are always readily available to staff.

## **Juveniles**

- We will not serve alcohol to persons under the age of 18 years.
- If a staff member is in any doubt as to whether a person is aged 18 years or more, the staff member must require that the person provide proof of age.
- The only acceptable proof of age will be:
  - A current Australian driver's licence with a photograph;
  - A current passport;
  - A current Australian learner's driver permit with photograph;
  - WA Proof of Age Card (note new cards ceased being issued on 1/1/2015);
  - Proof of Age card or equivalent issued in an Australian state or territory;
  - A current WA Photo Card;
  - A current NSW Photo Card;
  - A Photo Card issued by any Australian state or territory similar to the NSW/WA Photo Card.
  - A hard copy of the Keypass card issued by Australia Post.

- Signage is to be displayed informing patrons that it is an offence to obtain alcohol for a juvenile, and that the person so doing commits an offence.

### **Intoxicated Patrons**

- We will not serve intoxicated patrons any alcohol. If someone is displaying signs of intoxication our staff must, in a calm, courteous and non-judgmental way, inform the patron that they will not be served any alcohol and the reason why service is being refused.
- The patron will be offered other non-alcoholic beverages. Where appropriate, our staff will offer to call a taxi for them.

### **Parking and Traffic Management**

- GPBC Pty Ltd will, where possible, make sure car bays close to the venue are clear and accessible as manageable.
- Information will be made available to visiting patrons on the great public transport options this site has available.

### **Noise Management Complaints and Neighbours**

- Maximum occupancy 380 persons.
- Trading times:
  - - Monday to Thursday 6am to 10pm;
  - - Friday to Saturday 6am to 12 midnight
  - - Sunday 6am to 10pm.

Music, and any Public Address system, at the Northern and Eastern perimeter of GPBC Pty Ltd to be calibrated to not exceed LA10 60 dB(A) when all windows and doors along those two perimeters are fully open.

- Mechanical & Refrigeration services
  - WALL MOUNTED - maximum combined sound power levels (SWL or Lw) of all equipment shall be less than 73 db(a) when operating at rated full load/speed.
  - ROOF TOP - maximum combined sound power levels (SWL or Lw) of all equipment shall be less than 73 dB(A) when operating at rated full load/speed.

- The tavern will maintain a logbook for any complaints regarding noise and disturbance in the area. Any complaint received will be entered into the book - with the date and time of the complaint, the staff member who received the complaint and the action taken. The Approved Manager will then contact the complainant to ascertain whether the action taken is sufficient to answer the concern expressed. The Approved Manager will then thank the complainant for bringing the complaint to our attention.
- To prevent the disturbance of amenity in the area deliveries will occur between the hours of 7.00am and 7.00pm only.
- The patrons at GPBC pty ltd will be requested to disperse from the property in an orderly manner.
- Piped music throughout the tavern will come from one controlled sound system. The control station will only be accessible to the licensees (or representative) and / or approved manager.
- The sound system will have Pre-set options available as to not exceed the noise levels stipulated under the Environmental Protection (Noise) Regulations.
- The Licensee (or representative) and approved manager will take necessary action to ensure all activities carried out on premise will not exceed the noise levels stipulated under the Environmental Protection (Noise) Regulations 1997.

### **Food Service**

- Food will be delivered, stored and prepared in a safe and hygienic way, as per the health regulations of the City of Melville and the Food Act 2008.
- Staff will diligently clear food plates and clean surrounding food service areas before, during and after food service.
- Food preparation, storage and service areas will always be kept clean. Any concerns about the way in which the tavern operates should be directed to the Approved Manager.

### **Trading Hours**

- GPBC pty ltd will trade within the hours defined in Section 98 of the Liquor Control Act 1988.

## Opening Procedures

The following opening procedures are to be followed at all times:

- Check for rubbish outside front door areas e.g. cigarette butts
- Check toilets are clean and have ample toilet paper
- Set up tavern and bar service area
- Turn tills on and ask the Approved Manager to insert float
- Check wines in open bottles are satisfactory to serve
- Set up tables
- Make sure floor is clean
- Clean all areas
- Look at the facility as if you were the customer and ask yourself, “would I come here and be happy?”
- Open Tavern
  - Music on
  - All lights on in Tavern
  - Air-Conditioners on ambient level
  - “Open” sign
  - Unlock doors

## Closing Procedures

The following closing procedures are to be followed at all times:

- Turn till off prior to next session or have Approved Manager ring off at end of night
- Clean up all areas
- Set up tavern for next day
- Wipe chairs where needed
- Wipe all tables including under the lip
- Clean & polish glasses and cutlery
- Check for rubbish outside front door areas e.g. cigarette butts
- Seal any opened bottles of wine
- Close and lock doors
- Check venue for glasses and rubbish, turn lights off
- Check all is secure, and all lights and kitchen appliances are off
- Set alarm system and exit

At the end of each shift make sure that the tavern is always clean and tidy and request the Approved Manager or supervisor on duty to check all is done before signing off

## **House management policy**

Our aim is always to provide a well-managed, high quality venue that is operated in a friendly, responsible, safe and professional manner.

In the operation of the premises we will,

- Provide safe, high quality services and facilities.
- Treat our customers and neighbours with integrity, sincerity and respect.
- Provide a safe, pleasant and controlled environment.
- Ensure all staff are suitably trained and qualified.

## **Code of conduct**

Alcohol will only be served at the premises in a responsible manner.

**1. INTOXICATION AND OTHER NON-ACCEPTABLE BEHAVIOUR** As is required under the Liquor Control Act 1988:

We will not allow you to enter the premises, get service at the tables or otherwise remain on the premises if you are visibly intoxicated.

We will not tolerate any disorderly, disruptive or offensive behavior on these premises. If you have been offended by the behavior of any of our patrons please bring it to the attention of the tavern's Approved Manager.

## **2. CONTROLLING JUVENILES**

As is required under the Liquor Control Act 1988:

We will not allow you to enter or remain on the premises if you are under the age of 18 years unless you are under the supervision of a responsible adult or on the premises for the purpose of obtaining a meal

(or as may otherwise be authorised under the Liquor Control Act 1988).

We will not serve alcohol to anyone under the age of 18 years. If you are asked to show proof of age, please do not be offended. We must be very cautious as the penalties under the law for serving juveniles are very severe. We will not serve you if you do not produce the required form of identification.

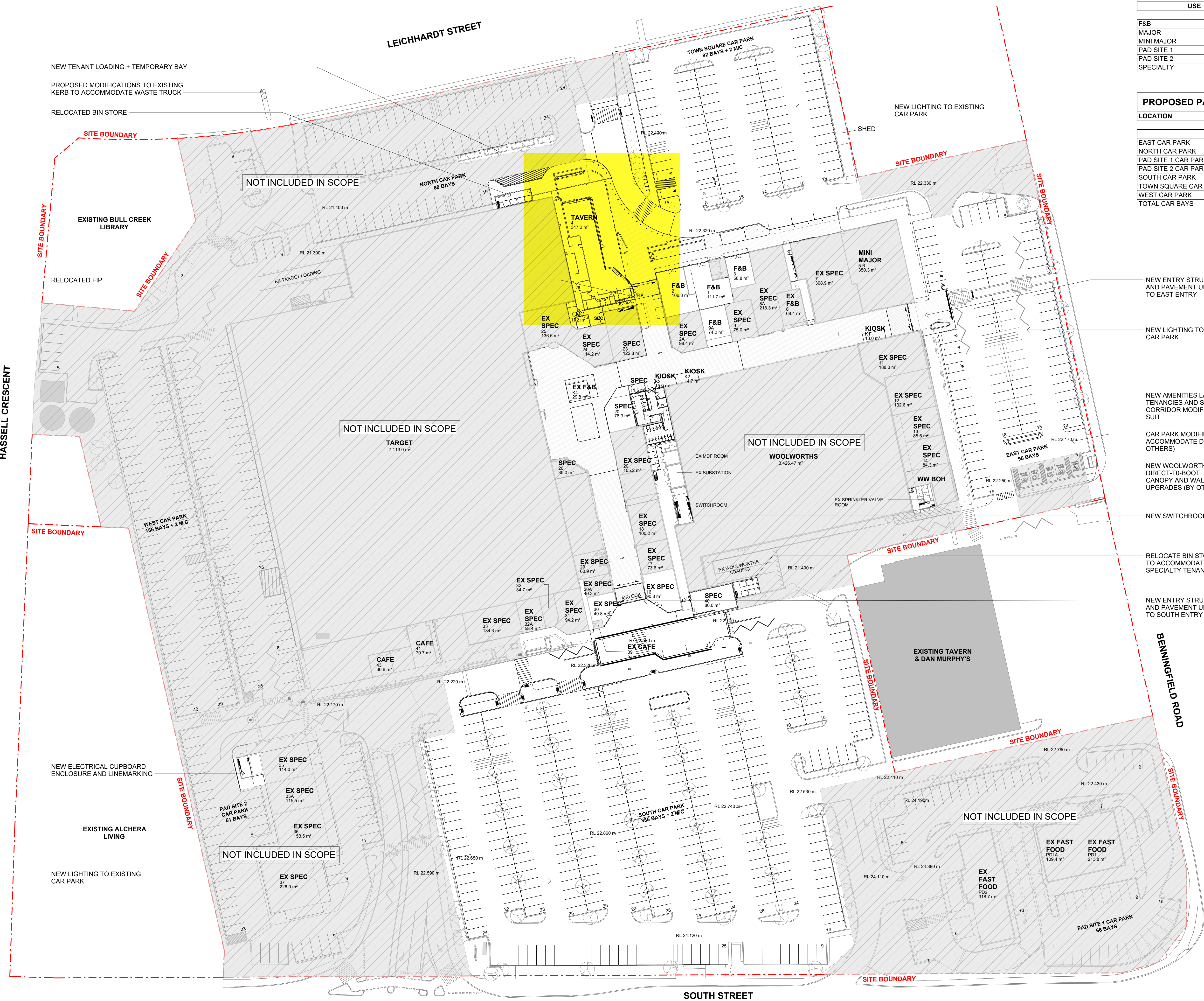
You may like to be aware that it is an offence for a juvenile to attempt to buy alcohol and it is also an offence for any adult to procure alcohol for a juvenile.

**3. CUSTOMER COMPLAINTS** Any adverse behaviour in the dining area that affects our neighbours will be given the highest priority and be dealt with immediately. We will always make ourselves available to respond to the concerns of our patrons and our neighbours. If you have any concerns over the way in which the establishment operates please call and ask to speak to the tavern's Approved Manager.

**4. PATRON CARE** If you are driving please do not drink, we would like to see you more than once! We provide a range of non and low alcoholic beverages. We are also more than happy to call a taxi on request. Our Approved Manager is accredited through the Liquor Licensing training course and all staff involved in the service of liquor have been trained in legislation, patron care, responsible service of alcohol and harm minimisation strategies by completing appropriate training.

**5. RESPONSIBLE SERVER PRACTICES** As is required under the Liquor Control Act 1988; we will not allow promotional activity in which drinks are offered free or at reduced prices or that encourages the irresponsible consumption of alcohol.





PROPOSED AREA SCHEDULE	
USE	AREA
F&B	809.5 m <sup>2</sup>
MAJOR	11,864.6 m <sup>2</sup>
MINI MAJOR	619.6 m <sup>2</sup>
PAD SITE 1	641.8 m <sup>2</sup>
PAD SITE 2	608.7 m <sup>2</sup>
SPECIALTY	2,835.1 m <sup>2</sup>
	17,379.3 m <sup>2</sup>

PROPOSED PARKING SCHEDULE	
LOCATION	BAYS
EAST CAR PARK	5
NORTH CAR PARK	95
PAD SITE 1 CAR PARK	80
PAD SITE 2 CAR PARK	66
SOUTH CAR PARK	60
TOWN SQUARE CAR PARK	338
WEST CAR PARK	92
TOTAL CAR BAYS	155

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.  
ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.
- General Notes
- CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SITE OR PRODUCING SHOP DRAWINGS WHICH MUST BE SUBMITTED FOR REVIEW BEFORE MANUFACTURING.
  - ASSEMBLE ALL BLOCKWORK WALLS IN ACCORDANCE WITH WALL STIFFENING AND SUPPORT DETAILS ON STRUCTURAL ENGINEER'S DRAWINGS.
  - ENSURE CIVIL WORKS CONTRACTOR AND PLUMBING CONTRACTOR COORDINATE AND ALLOW FOR STORMWATER COLLECTION SYSTEM TO BE CONTINUOUS FROM BUILDING FACE TO STORMWATER SYSTEM.
  - REFER TO CIVIL ENGINEERING CONSULTANT DRAWINGS FOR ROADS, KERBS, SITE DRAINAGE AND SITE LEVEL SETTING OUT.
  - REFER TO ELECTRICAL ENGINEERING CONSULTANT DRAWINGS FOR SITE LIGHTING, BOOM GATES AND CCTV DETAILS.

- Legend
- PROPERTY LINE
- 0001 DOOR NUMBER
- 001 DOOR TYPE - REFER DOOR SCHEDULE
- 0001 WINDOW NUMBER
- W01 WINDOW TYPE - REFER WINDOW SCHEDULE
- 0001 GLAZING SYSTEM NUMBER
- W01 SYSTEM TYPE - REFER FACADE GLAZING SYSTEMS SCHEDULE
- P01 WALL TYPE - REFER SCHEDULE
- A WALL HEIGHT
- A - FULL HEIGHT TO UNDERSIDE OF STRUCTURE  
B - WALL TO NOMINAL 100mm ABOVE CEILING HEIGHT  
C - WALL TO UNDERSIDE OF CEILING  
D - REFER TO NOMINATED DETAIL

- Legend
- EXISTING AREAS NOT INCLUDED IN SCOPE

B	03/02/25	HS	ISSUED FOR INFORMATION
A	29/01/25	HS	ISSUED FOR INFORMATION
Rev.	Date	Initial	Description
Client			



Project  
**BULL CREEK SHOPPING CENTRE**

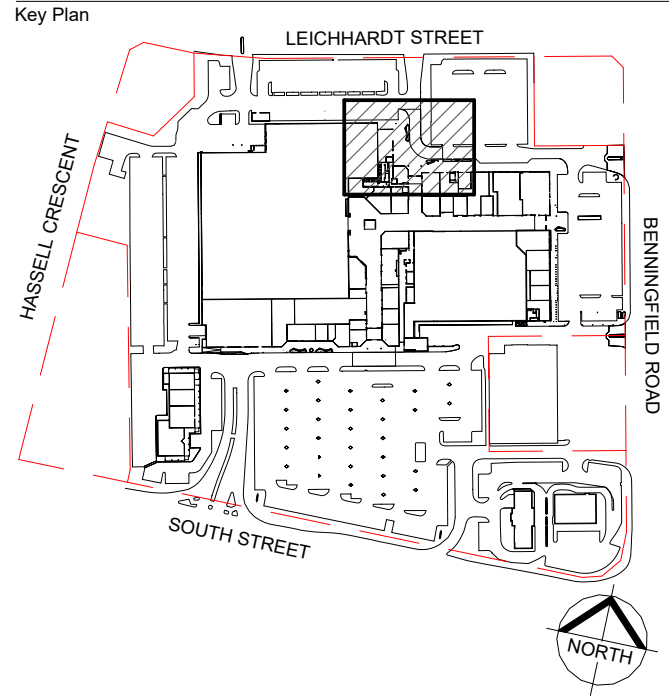
CORNER OF SOUTH ST AND BENNINGFIELD ROAD  
BULL CREEK WA 6149

Drawing Title  
**OVERALL SITE PLAN**

Drawn By MS	Checked By MB	Scale @ A1 As indicated
Project No. 44662	Drawing No. A101	Revision B

Status  
**DESIGN DEVELOPMENT**  
FOR INFORMATION ONLY





- General Notes
- CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SITE OR PRODUCING SHOP DRAWINGS WHICH MUST BE SUBMITTED FOR REVIEW BEFORE MANUFACTURING.
  - ASSEMBLE ALL BLOCKWORK WALLS IN ACCORDANCE WITH WALL STIFFENING AND SUPPORT DETAILS ON STRUCTURAL ENGINEER'S DRAWINGS.
  - ENSURE CIVIL WORKS CONTRACTOR AND PLUMBING CONTRACTOR COORDINATE AND ALLOW FOR STORMWATER COLLECTION SYSTEM TO BE CONTINUOUS FROM BUILDING FACE TO STORMWATER SYSTEM.

Legend

---	2 HOUR FIRE RATED SEPARATION
- - - -	LEASE LINE (NEW/MODIFIED TENANCIES ONLY)
0001 / D01	DOOR NUMBER DOOR TYPE - REFER DOOR SCHEDULE
0001 / W01	GLAZING SYSTEM NUMBER SYSTEM TYPE - REFER FACADE GLAZING SYSTEMS SCHEDULE
P01 / A	WALL TYPE - REFER SCHEDULE WALL HEIGHT
A	FULL HEIGHT TO UNDERSIDE OF STRUCTURE
B	WALL TO NOMINAL 100mm ABOVE CEILING HEIGHT
C	WALL TO UNDERSIDE OF CEILING
D	REFER TO NOMINATED DETAIL
---	EXISTING AREAS NOT INCLUDED IN SCOPE

Keynote Legend

CWT050	MATERIAL / ITEM - REFER LEGEND
PNT001	SELECTED FINISH - REFER SCHEDULES

MATERIAL / ITEM SCHEDULE

TAG	DESCRIPTION
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G	03/02/25	HS	ISSUED FOR INFORMATION
F	08/12/24	HS	ISSUED FOR INFORMATION
E	27/11/24	HS	ISSUED FOR INFORMATION
D	29/10/24	HS	ISSUED FOR INFORMATION
C	16/10/24	HS	ISSUED FOR INFORMATION
B	27/10/23	HS	ISSUED FOR INFORMATION
A	08/10/23	HS	ISSUED FOR INFORMATION
Rev.	Date	Initial	Description

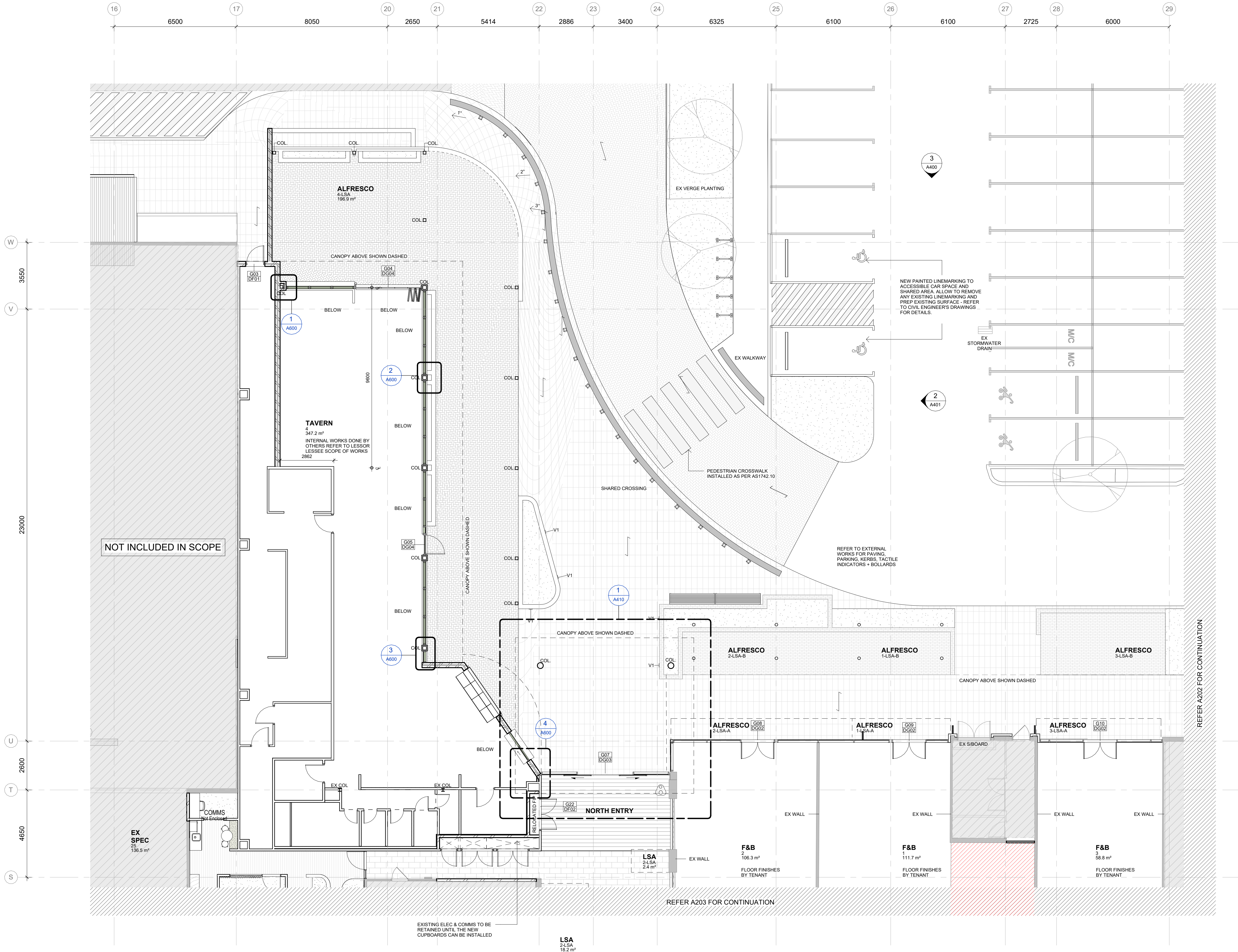


Project  
**BULL CREEK SHOPPING CENTRE**  
CORNER OF SOUTH ST AND BENNINGFIELD ROAD  
BULL CREEK WA 6149

Drawing Title  
**GROUND FLOOR PLAN  
NORTH PRECINCT**

Drawn By LA	Checked By MH	Scale @ A1 1 : 100
Project No. <b>44662</b>	Drawing No. <b>A201</b>	Revision <b>G</b>

Status  
**DESIGN DEVELOPMENT**  
FOR INFORMATION ONLY



1 FLOOR PLAN - NORTH PRECINCT  
1 : 100



# BULL CREEK SHOPPING CENTRE - PROPOSED MALL REFURBISHMENT WORKS



1 - VIEW OF NORTH ENTRY AND TAVERN FROM LEICHHARDT STREET DRIVEWAY

ALL IMAGES ARE ARTIST IMPRESSIONS ONLY



COVER PAGE  
BULL CREEK SHOPPING CENTRE

Status: **DA AMENDMENT**  
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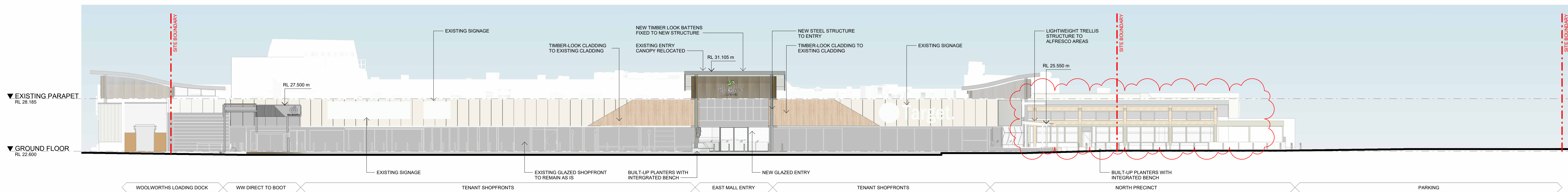
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Project Number: 44662  
Drawing Number: SD000  
Revision: A  
Date: 06/12/24





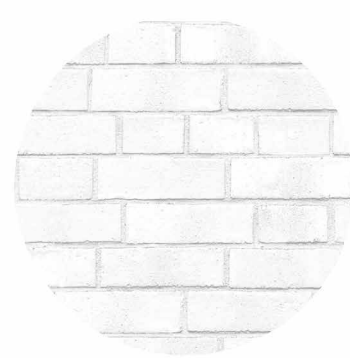
1 NORTH ELEVATION  
1:200



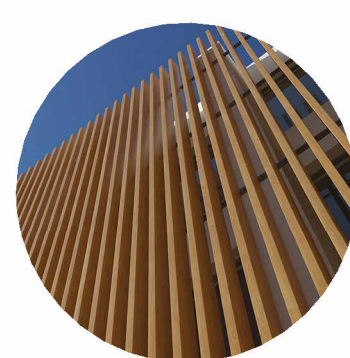
4 EAST ELEVATION  
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TIMBER LOOK CLADDING



WHITE FACE BRICK



TIMBER LOOK BATTENS



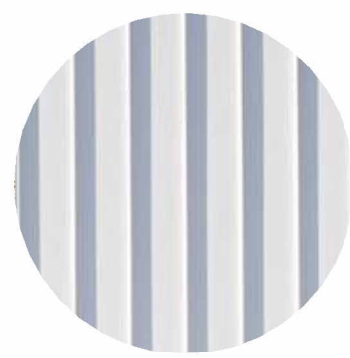
FEATURE TILE



TIMBER LOOK CLADDING



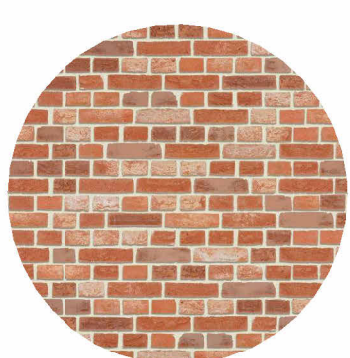
TEXTURED RENDER TO EXISTING CFC CLADDING



LIGHT-COLOURED PAINT TO EXISTING METAL CLADDING



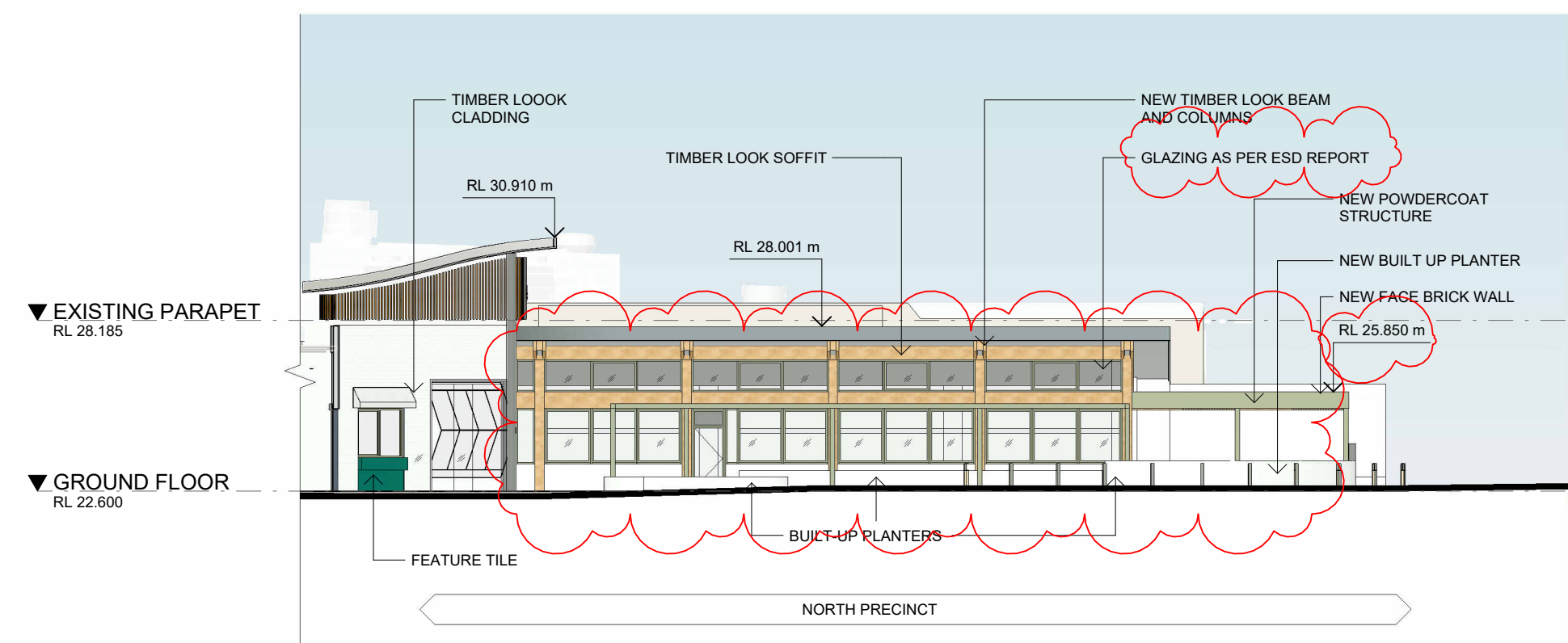
STEEL FRAMED CANOPIES



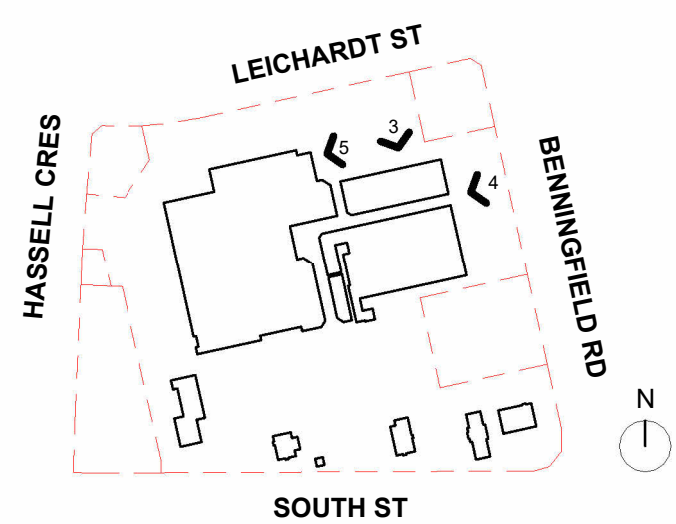
RECYCLED BRICK



HIT AND MISS BRICK WALL INFILLED WITH GLASS BLOCK



5 EAST ELEVATION  
1:200



NOTE: ALL THE TENANT SIGNAGE ARE INDICATIVE ONLY

EXISTING MALL ELEMENTS ARE NOT PART OF PROPOSED WORKS

Status: **DA AMENDMENT**  
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0 16

Project Number: 44662  
Drawing Number: SD401  
Revision: A  
Date: 06/12/24



ELEVATIONS - TAVERN  
BULL CREEK SHOPPING CENTRE

**SILVERLEAF**

**BULLCREEK SHOPPING CENTRE TAVERN  
BULLCREEK**

**ACOUSTIC ASSESSMENT**

**NOVEMBER 2024**

OUR REFERENCE: 33750-2-24427



DOCUMENT CONTROL PAGE

ACOUSTIC ASSESSMENT  
BULLCREEK SHOPPING CENTRE TAVERN  
BULLCREEK

Job No: 24427

Document Reference: 33750-2-24427

DOCUMENT INFORMATION				
Author:	George Watts	Checked By:	Tim Reynolds	
Date of Issue:	20 November 2024			
REVISION HISTORY				
Revision	Description	Date	Author	Checked
1	Clarification of barriers	26/11/2024	GW	
DOCUMENT DISTRIBUTION				
Copy No.	Version No.	Destination	Hard Copy	Electronic Copy
1	2			✓

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APPENDICIES

A	Development Plans
B	Noise Contour Plot



## **EXECUTIVE SUMMARY**

have been commissioned through Silverleaf, to carry out an acoustical assessment of noise emissions associated with the proposed tavern at the Bullcreek Shopping Centre.

This assessment considers noise levels associated with the patron noise of the development, within the external alfresco areas.

Noise level emissions associated with the proposed tavern can comply with the Assigned Noise Level stipulated by the *Environmental Protection (Noise) Regulations 1997* however, the following control options need to be introduced:

- Alfresco areas to be limited to ambient music only.
- Internal noise emissions to be contained within the structure of the building. The internal operations and the desired noise levels to be confirmed and designed for accordingly during the detailed design phase of the project. This would be considered standard practice for a development of this type, with a condition to reflect this requirement considered an appropriate outcome of the development approval.
- Mechanical services have not been considered in this assessment, as they have not been designed at the early stage of the development. It is considered appropriate that an assessment of the noise impact associated with the mechanical design be a condition of development approval, however it is noted that the mechanical services equipment are likely to be located within the already existing plantroom(s) associated with the Bullcreek Shopping Centre, and therefore, are not considered to be a significant issue.
- Barriers around the alfresco area facing north to be built to a height of 2.0m above ground floor level, with the area facing north east a height of 1m above ground floor level.

## 1.0 INTRODUCTION

have been commissioned by Silverleaf to carry out an acoustical assessment of noise emissions associated with the proposed tavern to be located within the Bullcreek Shopping Centre.

This is understood to have been requested to accompany the development application for the project.

The objectives of the study were to:

- Construct a predictive noise model for noise levels associated with the proposed development of the tavern.
- Assess the predicted noise levels received at the closest noise sensitive premises, for compliance with the *Environmental Protection (Noise) Regulations 1997*.
- If exceedances are predicted, investigate possible noise control options that will reduce noise emissions to achieve compliance with the regulations.

For reference, development plans are attached in Appendix A.

## 2.0 CRITERIA

The *Environmental Protection (Noise) Regulations 1997* stipulate the allowable noise levels at any noise sensitive premises from other premises. The allowable noise level is determined by the calculation of an influencing factor, which is added to the baseline criteria set out in Table 1 of the Regulations. The baseline assigned noise levels are listed in Table 2.1.

**TABLE 2.1 – ASSIGNED NOISE LEVELS**

Premises Receiving Noise	Time of Day	Assigned Level (dB)		
		L <sub>A</sub> 10	L <sub>A</sub> 1	L <sub>A</sub> max
Noise sensitive premises within 15 metres of a dwelling	0700 - 1900 hours Monday to Saturday	45 + IF	55 + IF	65 + IF
	0900 - 1900 hours Sunday and Public Holidays	40 + IF	50 + IF	65 + IF
	1900 - 2200 hours all days	40 + IF	50 + IF	55 + IF
	2200 hours on any day to 0700 hours Monday to Saturday and 0900 hours Sunday and Public Holidays	35 + IF	45 + IF	55 + IF

Note: The L<sub>A10</sub> noise level is the noise that is exceeded for 10% of the time.  
The L<sub>A1</sub> noise level is the noise that is exceeded for 1% of the time.  
The L<sub>Amax</sub> noise level is the maximum noise level recorded.

It is a requirement that noise from the site be free of annoying characteristics (tonality, modulation and impulsiveness) at other premises, defined below as per Regulation 9.

**“impulsiveness”** means a variation in the emission of a noise where the difference between  $L_{Apeak}$  and  $L_{Amax\ Slow}$  is more than 15dB when determined for a single representative event;

**“modulation”** means a variation in the emission of noise that –

- (a) is more than 3dB  $L_{A\ Fast}$  or is more than 3dB  $L_{A\ Fast}$  in any one-third octave band;
- (b) is present for more at least 10% of the representative assessment period; and
- (c) is regular, cyclic and audible;

**“tonality”** means the presence in the noise emission of tonal characteristics where the difference between –

- (a) the A-weighted sound pressure level in any one-third octave band; and
- (b) the arithmetic average of the A-weighted sound pressure levels in the 2 adjacent one-third octave bands,

is greater than 3 dB when the sound pressure levels are determined as  $L_{Aeq,T}$  levels where the time period T is greater than 10% of the representative assessment period, or greater than 8 dB at any time when the sound pressure levels are determined as  $L_{A\ Slow}$  levels.

Where the above characteristics are present and cannot be practicably removed, the following adjustments are made to the measured or predicted level at other premises.

**TABLE 2.2 – ADJUSTMENTS FOR ANNOYING CHARACTERISTICS**

Where tonality is present	Where modulation is present	Where impulsiveness is present
+ 5 dB	+ 5 dB	+ 10 dB

Where the noise emission is music, then any measured level is adjusted according to Table 2.3 below.

**TABLE 2.3 – ADJUSTMENTS TO MEASURED MUSIC NOISE LEVELS**

Where <b>impulsiveness</b> is not present	Where <b>impulsiveness</b> is present
+10 dB(A)	+15 dB(A)

The nearest noise sensitive premises considered in our assessment are as shown in Figure 1 below.



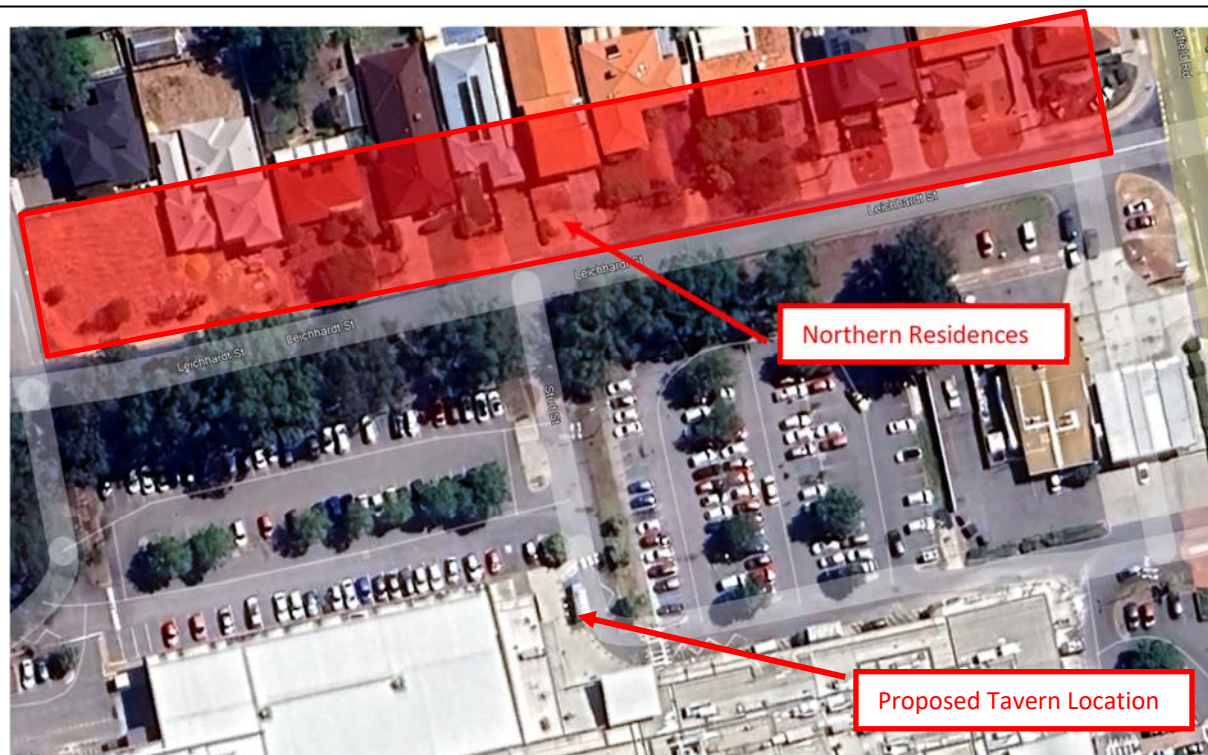


FIGURE 1 – DEVELOPMENT LOCATION AND SURROUNDS

The influencing factor at the identified noise sensitive premises has been determined as 5 dB.

The influencing factor calculation has been based on the following:

**Major Roads within the outer circle;**

South Street + 2 dB

**Commercial Premises within the inner circle;**

40 % + 2 dB

**Commercial Premises within the outer circle;**

20 % + 1 dB

**Total IF + 5 dB**

Therefore, the assigned noise levels are listed in Tables 2.4.

TABLE 2.4 - ASSIGNED OUTDOOR NOISE LEVELS

Premises Receiving Noise	Time of Day	Assigned Level (dB)		
		L <sub>A10</sub>	L <sub>A1</sub>	L <sub>Amax</sub>
Noise sensitive premises within 15 metres of a dwelling	0700 - 1900 hours Monday to Saturday	50	60	70
	0900 - 1900 hours Sunday and Public Holidays	45	55	70
	1900 - 2200 hours all days	45	55	60
	2200 hours on any day to 0700 hours Monday to Saturday and 0900 hours Sunday and Public Holidays	40	50	60

Note: L<sub>A10</sub> is the noise level exceeded for 10% of the time.  
L<sub>A1</sub> is the noise level exceeded for 1% of the time.  
L<sub>Amax</sub> is the maximum noise level.

3.0 NOISE MODELLING AND RESULTS

From information provided, a noise model was developed of the proposed development, which consists of a tavern and an alfresco outdoor area.

Noise emissions from within the new tavern building have been assumed to be contained within the building itself, with this preliminary assessment considering external noise sources only.

Solid screening has been assumed for the external areas of the alfresco area, with the screening being on top of the surrounding planting. The height of the screening / barrier, including planters, have in total has been assumed to be 2.0m above ground level facing the north, and then reducing to a 1m barrier to the north east (as per the drawings provided). The screen is to be solid (i.e. no gaps) with a surface density of not less than 10kg/m<sup>2</sup>. Glass would be envisioned as being the preferred construction medium.

Noise levels within the external areas has been assumed to be 66 dB(A)/m<sup>2</sup> sound power level. This noise level is representative of beer garden noise levels. This noise level has been utilised as the sound power level for the alfresco area as it has been utilised for numerous assessments of a similar nature and has been confirmed as being sufficiently accurate for the purposes of assessment. In this instance it is understood that this noise level is likely to overestimate the actual noise level emissions associated with the alfresco area, based upon the intended use of the proposed tavern.

Any music in the alfresco areas has been considered to be ambient only, and not significantly contributing to the noise received at neighbouring premises. This assumption (i.e. the restriction of no significant music) is understood to be accepted by the proposed operator of the tavern. It is noted that with ambient music noise levels, there is the additional assumption that the music would not contain significant levels of low frequency noise (i.e. bass component).

Bifold windows/doors have been assumed to be open – with any music internally at background/ambient level. In the event of music being played at any significant level, these openings would need to be closed.

Noise emissions associated with mechanical services has not been included in this assessment, as the mechanical design has not been undertaken at this stage of the project. This design work would be undertaken during the design development phase of the project, and it would be considered appropriate – and the norm – for an assessment of noise impacts associated with the mechanical design to be undertaken during the design development phase, however it is noted that the mechanical services equipment are likely to be located within the already existing plantroom(s) associated with the Bullcreek Shopping Centre, and therefore, are not considered to be a significant issue. The assessment would be considered appropriate to be submitted to council to obtain building permit for the project.

Noise levels at the identified noise sensitive premises, are listed in Table 3.1. It is noted that all premises to the north of the proposed tavern have been considered in our assessment, however for simplicity, only the highest calculated noise level has been reported below. A noise contour plot is included for information purposes in Appendix B.

TABLE 3.1 – CALCULATED NOISE LEVELS AT NOISE SENSITIVE PREMISES

Location	Calculated Noise Level dB(A)
Northern Residences	40

## 4.0 ASSESSMENT

Noise levels associated with the externals area are to be limited to patron noise only, with background music to be restricted to a level such that it does not significantly contribute to the noise emissions of the development.

Hence, no adjustment to the calculated noise levels are applicable in accordance with the *Environmental Protection (Noise) Regulations 1997*.

Therefore, Table 4.1 summarises the assessment of the calculated noise levels against the pertinent Assigned Noise Levels.

**TABLE 4.1 – ASSESSMENT**

Location	Assessable Noise Level, dB(A)	Applicable Times of Day	Applicable L <sub>A10</sub> Assigned Level (dB)	Exceedance to Assigned Noise Level (dB)
Northern Residences	40	Day	50	Complies
		Sunday Public Holiday Day Period	45	Complies
		Evening	45	Complies
		Night	40	Complies

As can be seen from the above table, noise levels associated with the proposed tavern alfresco areas are calculated to comply with the relevant assigned noise levels under certain operating conditions. The following summarises the conditions that are deemed necessary:

- Alfresco areas to be limited to ambient music only.
- Internal noise emissions to be contained within the structure of the building. The internal operations and the desired noise levels to be confirmed and designed for accordingly during the detailed design phase of the project.
- Barriers around the alfresco area to be built to a height of 2.0m above ground floor level facing north and reducing to 1m to the north-east. Barrier locations to be as per the attached drawings.

We note that with the inclusion of the above, compliance is achieved at all times.

## 5.0 CONCLUSION

Based on the above assessment, noise level emissions associated with the proposed tavern can comply with the Assigned Noise Level stipulated by the *Environmental Protection (Noise) Regulations 1997*.

# **APPENDIX A**

## Development Plans



## **APPENDIX B**

### **NOISE CONTOUR PLOT**





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