

NEW OVERSHADOWING 8.36m²
 EXISTING OVERSHADOWING 72.09m²

SITE INFO	
LOT AREA	692m ²
ZONING	R20
OPEN SPACE	405m ² / 58%
TOTAL OVERSHADOWING AS SHOWN SHADED	80.45m ² (N/A)

SITE FEATURE SURVEY PLAN

1:200



STAGE:
PLANNING & ENGINEERING
 CLIENT:
**NORRIS
 ALINE & TIM**
 PROPOSED RESIDENCE AT:
**19 LANGLEY WAY
 BOORAGOON**

SHEET:
SITE FEATURE SURVEY PLAN

DATE:	REV:	DESCRIPTION:	BY:
07-12-21	A	CONTRACT	ST
12-01-22	B	CONTRACT - MARK UPS - STAIR WINDOWS, CEILING FAN	ST
19-01-22	C	CONTRACT - MARK UPS - TEMP WALLS	ST
31-01-22	D	CONTRACT - MARK UPS - DESIGN UPDATE & ELECTRICAL	ST
16-02-22	E	PLANNING & ENGINEERING	ST

NEXUS HOME IMPROVEMENTS:
 P: 21 HAMMOND ROAD
 COCKBURN CENTRAL
 WA 6164
 T: 08 9414 1789
 ABN: 72152669326
 W: www.nexushomesgroup.com.au

SHEET N^o:
1 OF 11
 JOB N^o:
2020
 SCALE: A3 SHEET

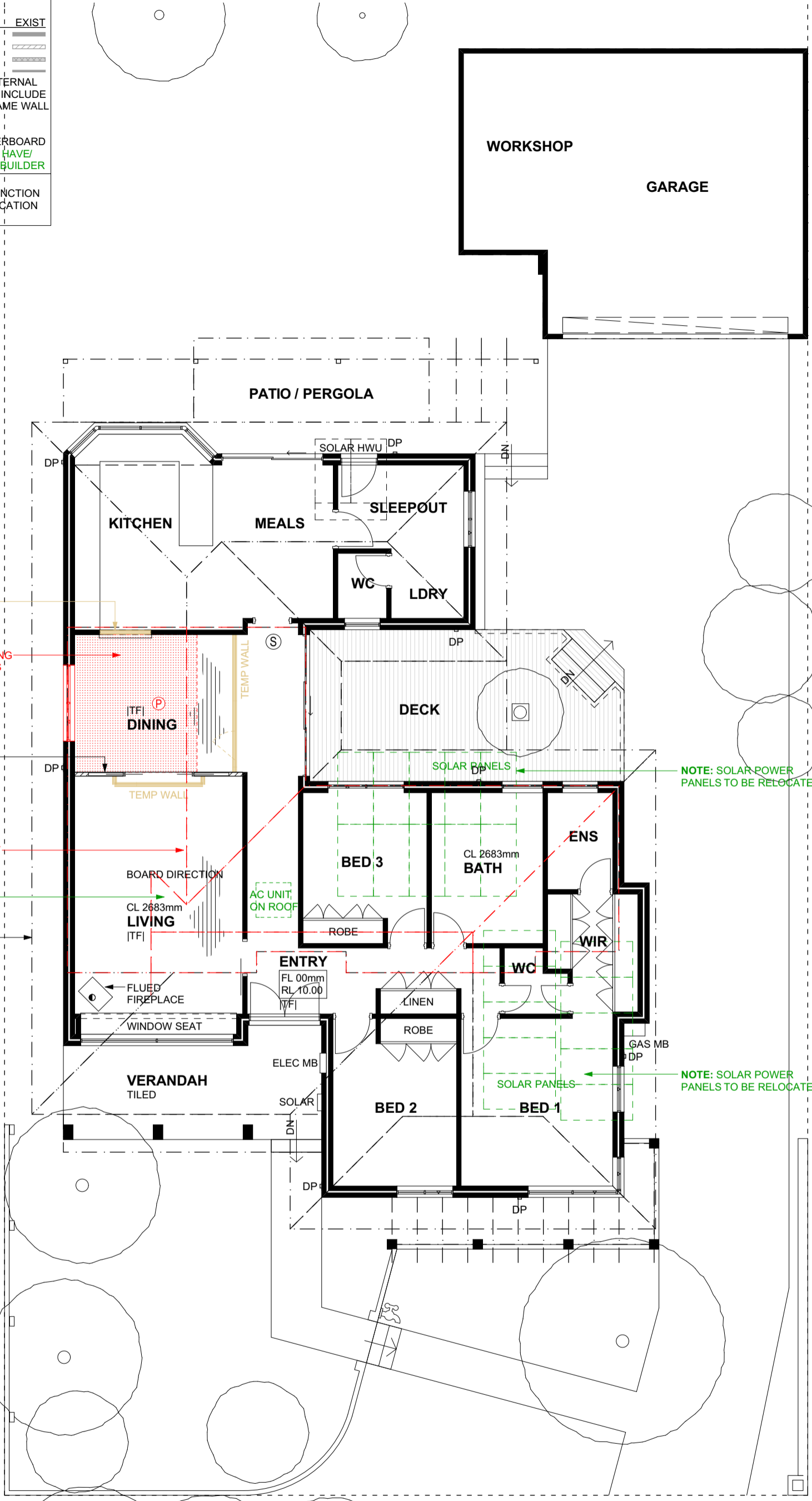
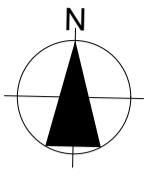
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NOTE: DO NOT SCALE FROM THESE DRAWINGS. ALL CONTRACTORS TO CHECK MEASURE ON SITE PRIOR TO FABRICATION. ANY DISCREPANCIES TO BE REPORTED TO SUPERVISOR IMMEDIATELY

LEGEND:

NEW	EXIST
WHERE POD CONSTRUCTION: EXTERNAL WALLS AND INTERNAL POD JOINS INCLUDE PLYWOOD BOARD ON TIMBER FRAME WALL	
[CF] CONCRETE FLOOR	
[TF] TIMBER FRAME FLOOR	
ZIG ZAG = DRYLINE PLASTERBOARD	
GREEN NOTES = ITEMS IN GREEN HAVE/NOT BEEN ALLOWED FOR BY THE BUILDER	

ADDENDUM NOTE:
DRAWINGS TO BE READ IN CONJUNCTION WITH ADDENDUM TO THE SPECIFICATION AND COLOUR ADDENDUM



TEMP WALL TO OPENING

PORTION OF CEILING LINING AND JOISTS TO BE REMOVED

TIMBER CLADDING

PORTION OF ROOF TO BE REMOVED

TV AERIAL TO BE REPOSITIONED

BOXED EAVES

NOTE: SOLAR POWER PANELS TO BE RELOCATED

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DEMOLITION GROUND FLOOR PLAN

1:100



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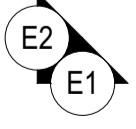
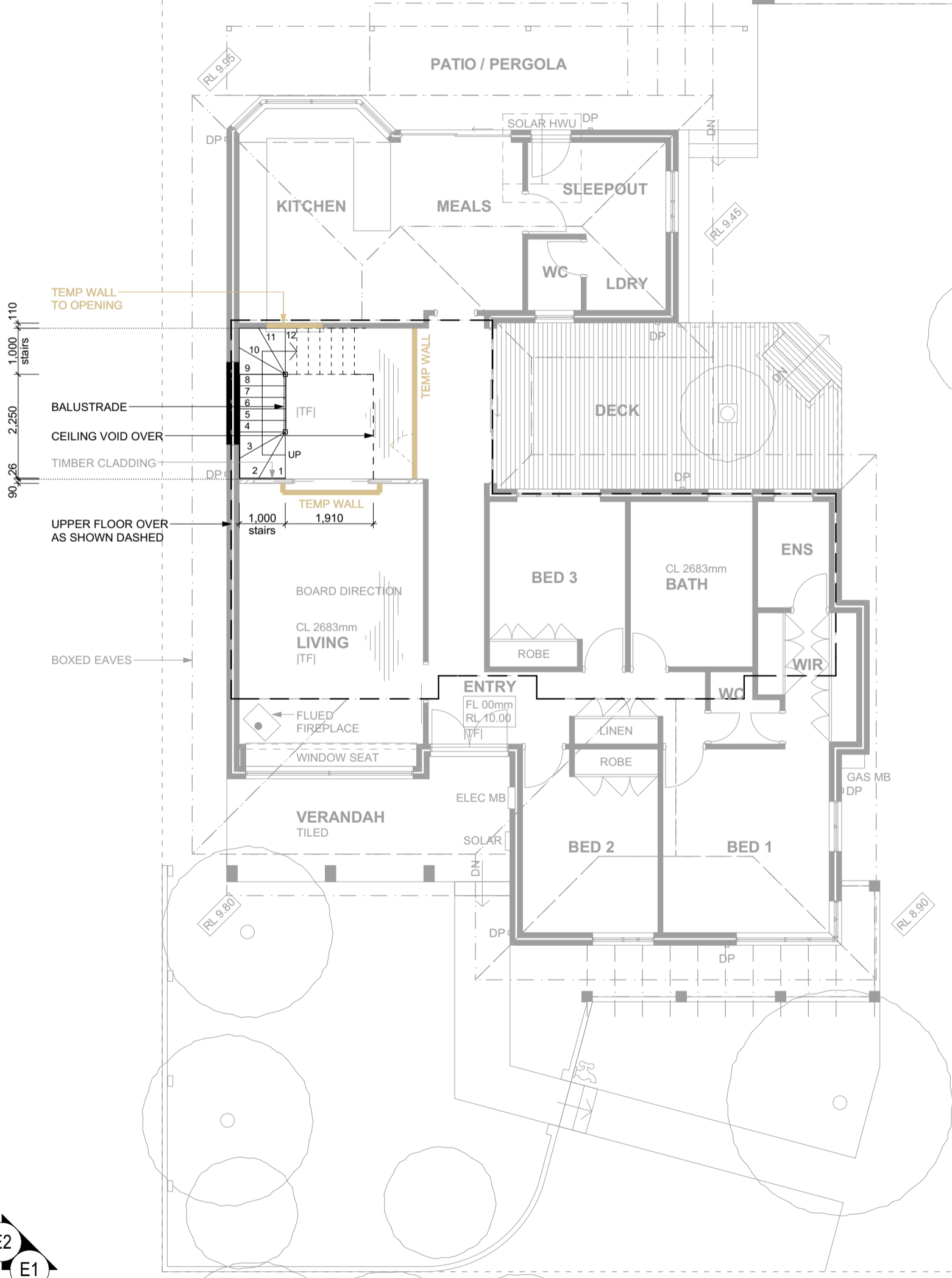
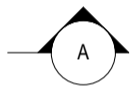
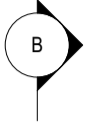
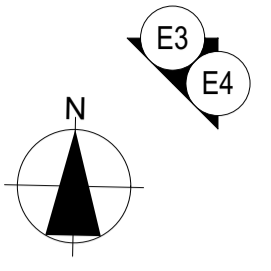
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WINDOW NOTE: UPPER FLOOR BEDROOM WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA 3.9.2.5

STAIR NOTE: STAIR CONSTRUCTION TO COMPLY WITH BCA 3.9.1. BALUSTRADE AND HANDRAILS TO COMPLY WITH BCA 3.9.2



GROUND FLOOR PLAN
1:100

GF AREAS	
EXISTING DECK	26.55
EXISTING GARAGE	53.27
EXISTING GROUND	175.28
EXISTING PATIO	17.41
EXISTING VERANDAH	14.57
	287.08 m ²



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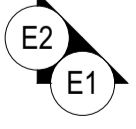
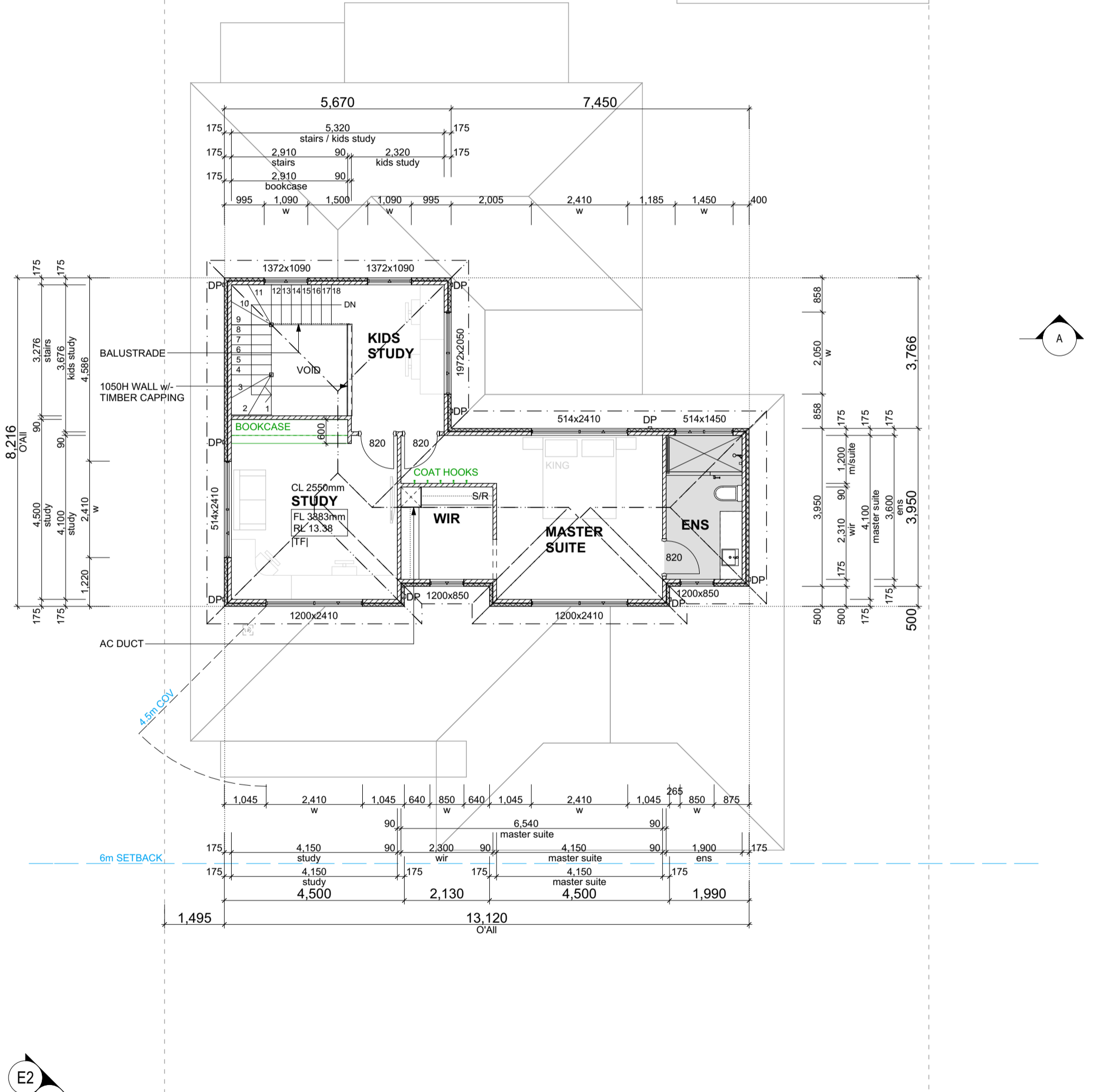
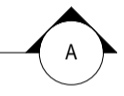
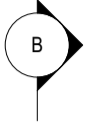
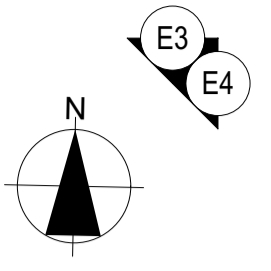
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UPPER FLOOR PLAN
1:100

UF AREAS	
PROPOSED UPPER	77.93
	77.93 m ²



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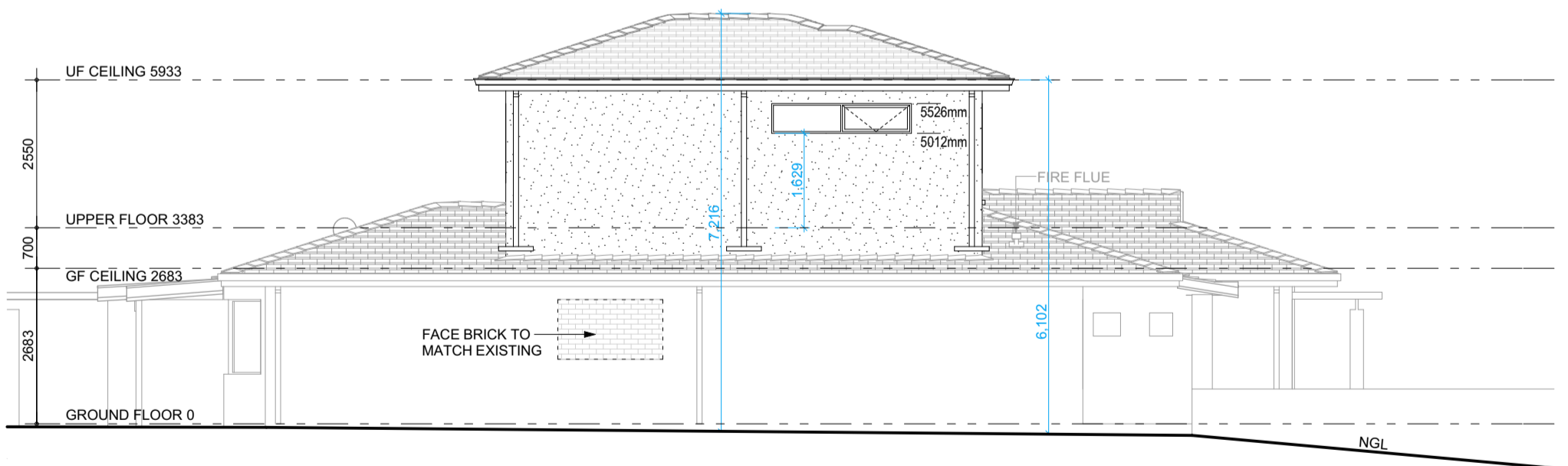
E1 ELEVATION (STREETSCAPE)

1:200



E1 ELEVATION

1:100



E2 ELEVATION

1:100



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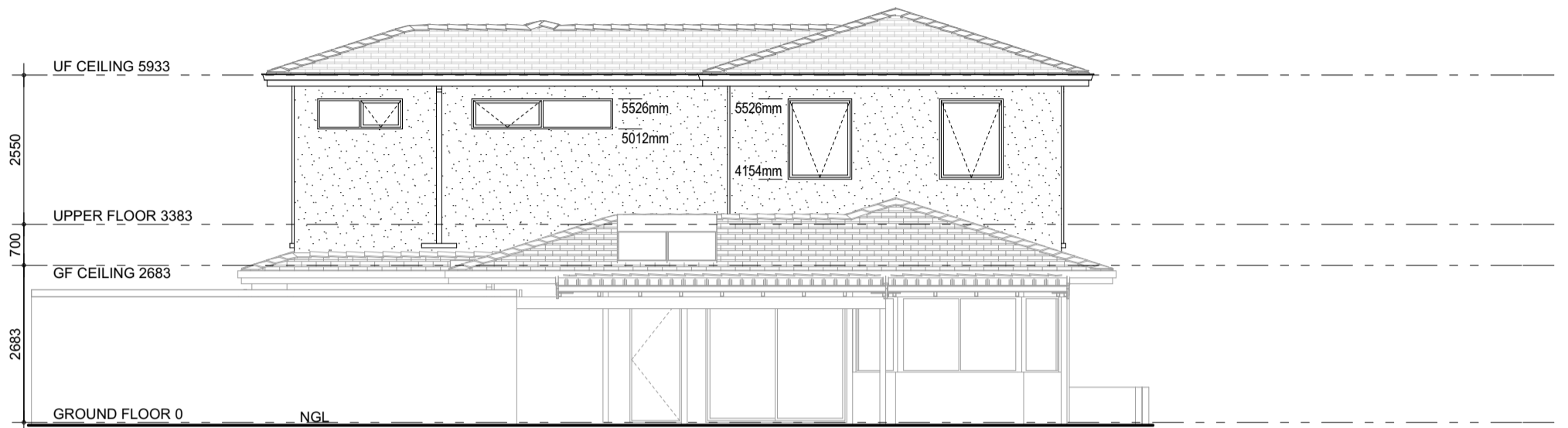
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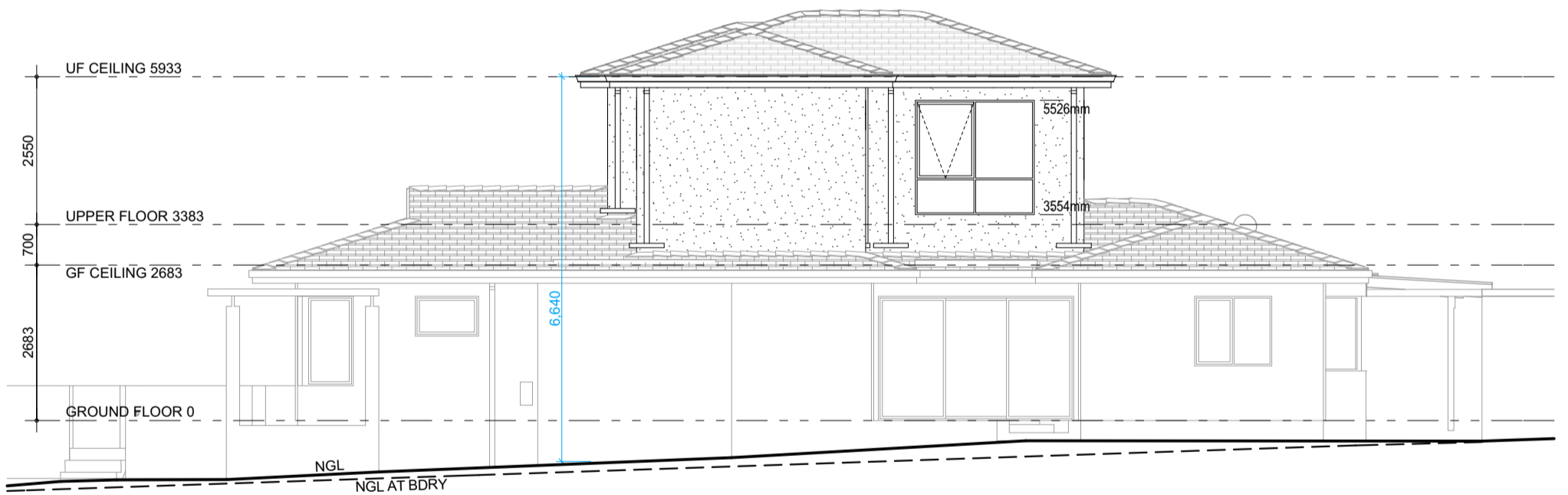
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E3 ELEVATION
1:100



E4 ELEVATION
1:100



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