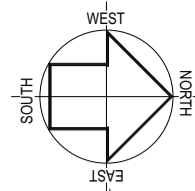


GRANO SCHEDULE

ID	TOP SURFACE [m ²]	PERIMETER [mm]
Floor Finish - Grano	GARAGE	34.58
		28.48
	34.58 m ²	28.48 m

NOTE: BOUNDARY POSITION AS PER ALIGNMENT
 WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.



LOT 3

205 m²
SANDY

COMMON LEGEND

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊗ TAP WATER TAP
- ⊗ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- GRATE
- SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- × G GAS LINE MARKER (PT)
- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOF TOP OF FOOTING
- 99 BOR BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE: YES
 WATER: YES
 PRELAI: YES
 GAS: YES BTC
 COMM: YES
 POWER: U/G

TBE - To Be Establish; BTC - Builder To Confirm

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

LOT 616

SINGLE STOREY BRICK & TILE RESIDENTIAL

LOT 1

VACANT RESIDENTIAL

LOT 2

VACANT RESIDENTIAL

PROPOSED RESIDENCE

F.F.L. @ 9.00
S.P.L. @ 8.900

LOT 3

VACANT RESIDENTIAL

LOT 618

SINGLE STOREY BRICK & IRON RESIDENTIAL

LOT 619

SINGLE STOREY BRICK & IRON RESIDENTIAL

CORBETT WAY

- NOTE:**
100mm CONCRETE SLAB TO ENGR'S DETAIL.
- NOTE:**
- 45 METERS AWAY FROM LEACH HIGHWAY AS PER TABLE 2: NOISE EXPOSURE FORCAST (ACOUSTIC REPORT)
- BAL NOTE:**
- REFER TO SEPARATE BUSHFIRE DOCUMENTATION FOR ALL REQUIREMENTS.
- GAS NOTE:**
- GAS LINE LOCATION IS TO CORBETT WAY AS PER ATCO DIAL. BEFORE YOU DIG PLANS.

NOTE:
SEE WATER CORPORATION FOR INTERNAL SEWER INFORMATION.

SEWER INFORMATION NOT AVAILABLE AT TIME OF SURVEY

SITE COVERAGE

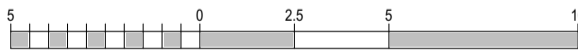
ZONED R40
 % ALLOWED 55%
 SITE AREA 205.01m²
 SITE COV. AREA 97.57m²

SITE COV. = 47.6%

COMMON AREA (103m² / 3) 34m²
 SITE AREA + COMMON AREA 239m²

ADJUSTED SITE COVERAGE = 40.76%

INTERESTS AND NOTIFICATIONS REFER TO PLAN SP 83874 AND CERTIFICATE OF TITLE



ALL DISTANCES ARE IN METRES

<p>AUTOMATED SURVEYS LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS 3 HASLER RD, OSBORNE PARK, WA 6017 P.O.Box 1862, Osborne Park DC WA 6916 Telephone (08) 9214 1777 www.automatedsurveys.com.au</p>	C					CLIENT:	TIONG	
	B					PROJECT:	LOT 3 (#15C) CORBETT WAY, BOORAGOON	
	A	20/01/2022	SITE SURVEY	AXR	MBT	AUTHORITY:	CITY OF MELVILLE	UBD MAP: 328 /23 /28
	REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED	PLAN:	SCALE: 1: 200 @ A3
BUILDER:	NOW LIVING		PLAN:	SP 83874		PACKAGE:	B	
REF.:	95607		C/T.:	4008/331		SHEET:	1 of 1	
H. Grid:	LOCAL	A.H.D level:	A.H.D. value - none - derived from:		Distance from Datum:	Approx. 8.75 km FROM COAST LINE 1.89 km FROM RIVER 0.28 km FROM LAKE	DRAWING No.:	241816
V. Datum:	ASSUMED	Local level:					REV.:	A

TERRACE

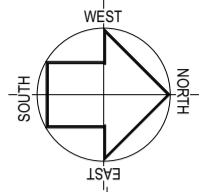
Level 8, 67 Walters Drive, Osborne Park WA 6017
 Tel: (08) 6461 5340
 P.O. Box 131 Mt. Hawthorn WA 6915
 Reg. Builder No. 6415 A.B.N. 54 009 063 076
 terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
AMENDS	WD1	STN	04.03.22	AO
	WD2	AO	23.03.22	AO

CLIENT:
 DATE:
 CLIENT:
 DATE:
 BUILDER:
 DATE:

CLIENT: TIONG
 ADDRESS: LOT 3 (15C) CORBETT WAY BOORAGOON

CUSTOM	
TERRACE SPECIFICATION	
MODEL N°	DATE
18245	23.03.22
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95607	10 OF 10

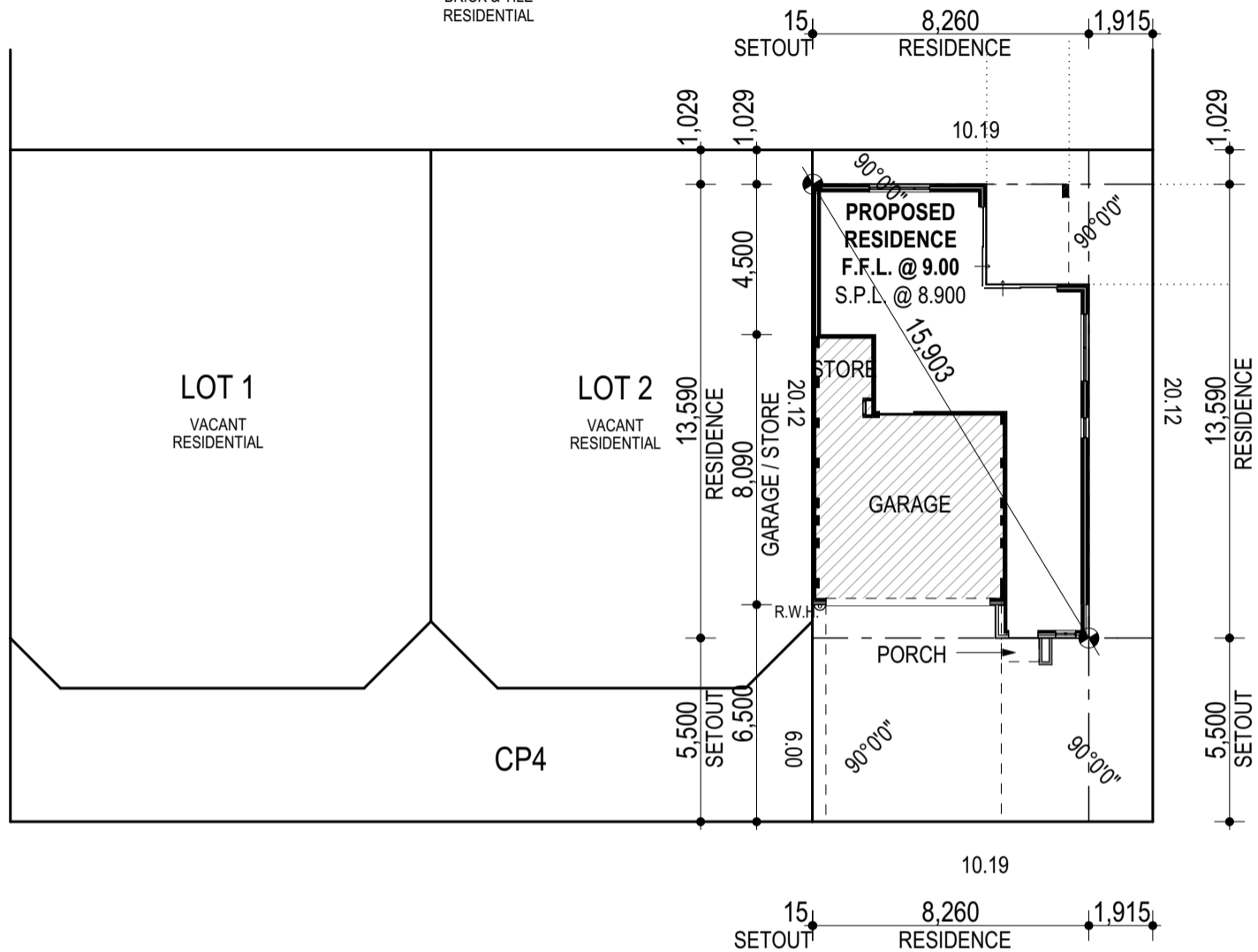


LOT 3

205 m²
SANDY

LOT 616
SINGLE STOREY
BRICK & TILE
RESIDENTIAL

CORBETT WAY



SITE SETOUT PLAN

SCALE 1:200

TERRACE

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REVISION	VO #	DRN	DATE	CHK
	WD1	STN	04.03.22	AO
AMENDS	WD2	AO	23.03.22	AO
Sub-contractors to verify all dimensions on site.				

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

CLIENT:
TIONG

ADDRESS:
**LOT 3 (15C)
CORBETT WAY
BOORAGOON**

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CUSTOM

TERRACE SPECIFICATION	
MODEL N°	DATE
18245	23.03.22
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95607	9 OF 10

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS/ WALL LINING THICKNESS
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

SUSPENDED FLOOR NOTE:
- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.

BRICKLAYER NOTES:

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

RENDERER NOTES:

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3

AIRCON NOTE:

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

6 STAR NOTE:

- EXTENT OF FOIL CAVITY WALL INSULATION. SHOWN AS

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES
- RENDER AND DOWNPIPES TO BE INSTALLED TO NCC 3.5.3 & AS 2179.1 (METAL) / AS 1273 (UPVC)

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

ROOF INSULATION NOTES:

- R4.0 CEILING INSULATION AS PER ADDENDA.

NOISE MANAGEMENT NOTE:

- GLAZING AS NOMINATED ON THE PLAN.
- 13mm SOUNDCHECK PLASTERBOARD TO CEILING.

N.C.C NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.5 AND AS 3786.
- CONDENSATION MANAGEMENT (PLIABLE BUILDING MEMBRANES - AS 4200, EXHAUST SYSTEMS AND ROOF VENTILATION) TO BE AS PER NCC 3.8.7.

CEILING FIXER NOTES:

- CEILING @ 31c TO GROUND FLOOR UNLESS NOTED OTHERWISE.

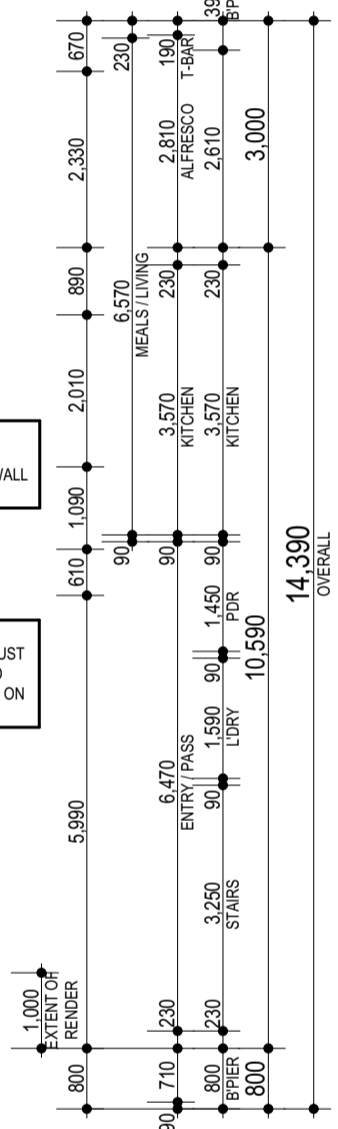
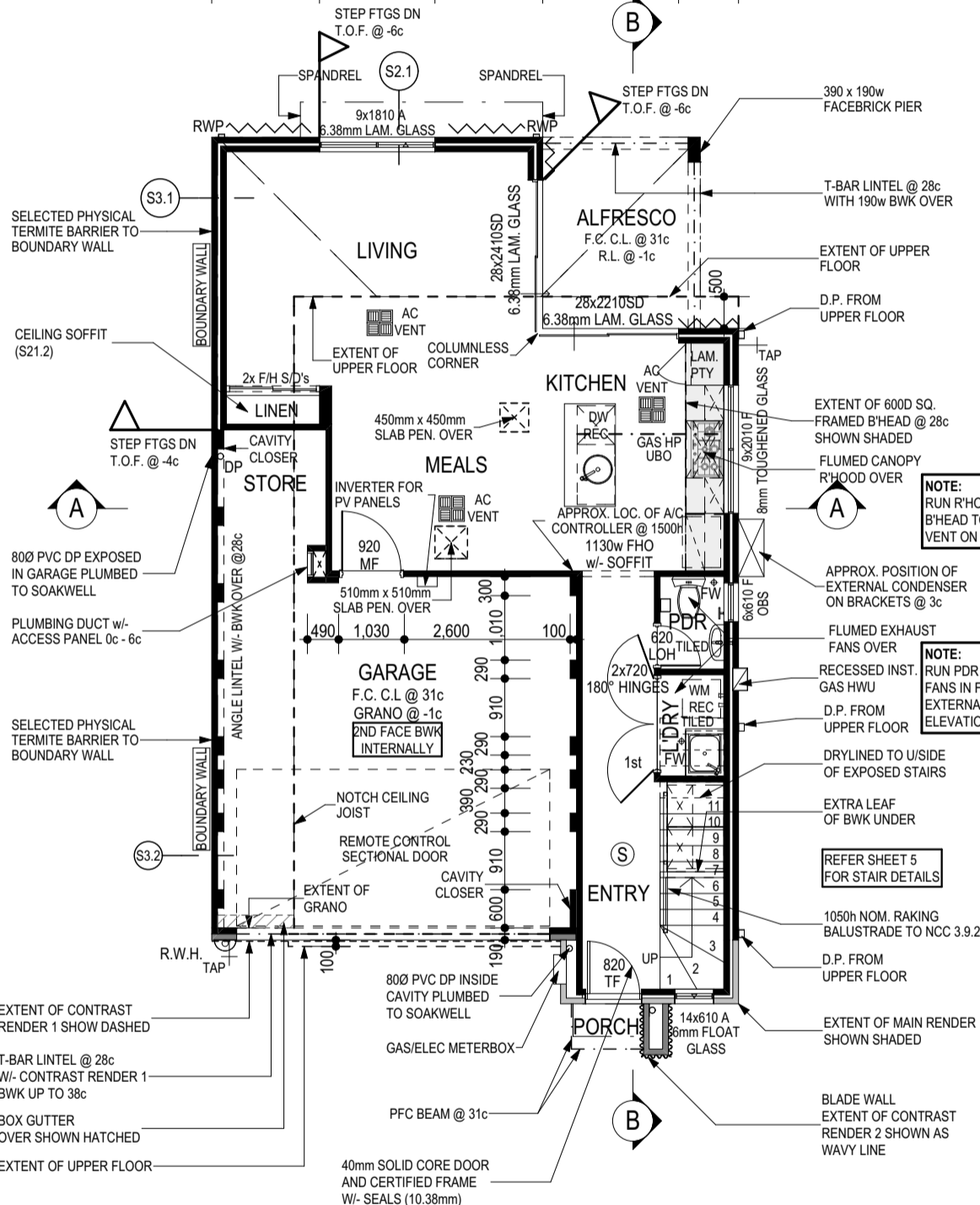
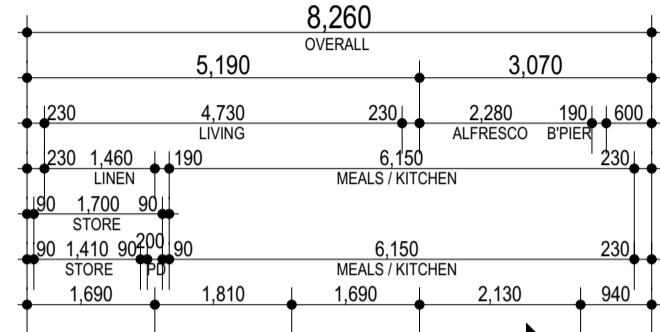
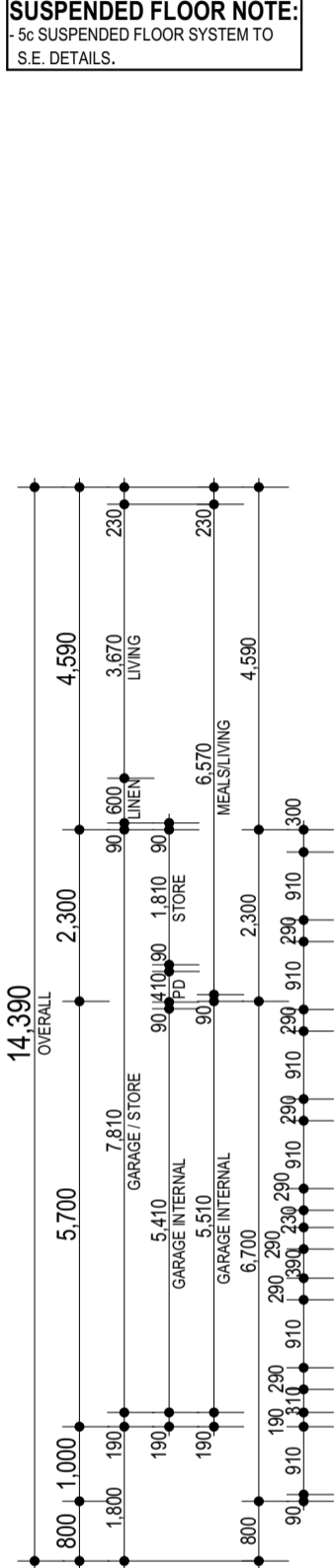
BAL 12.5:

- REFER TO SEPARATE BUSHFIRE DOCUMENTATION FOR ALL REQUIREMENTS TO ENGR'S DETAILS.

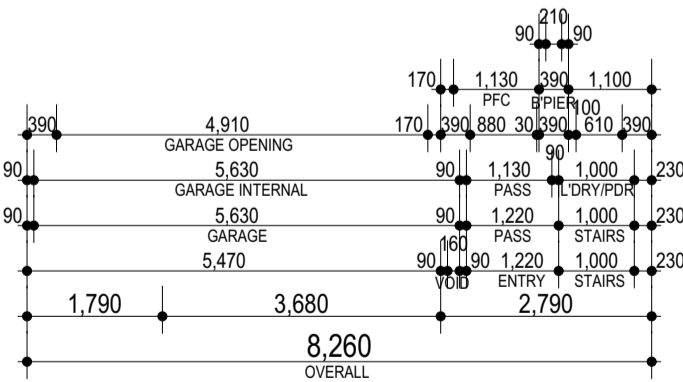
FIXING CARPENTER NOTES:

- 4x450D SHELVES TO LINEN.

LEGEND	
230w CAVITY 2c FACE BWK	
230w CAVITY MAIN RENDER BWK	
CONTRAST RENDER 1	
CONTRAST RENDER 2	



GROUND FLOOR PLAN
SCALE 1:100



ROOF AREAS GROUND		
ROOF AREA - GROUND [m2 ON THE FLAT]		33.45
AREAS - GROUND		
	PERIM. (m)	AREA (m²)
HOUSE (GROUND)	44.20	60.85
GARAGE/STORE	27.44	36.72
ALFRESCO	10.94	7.41
PORCH	3.68	0.80
		105.78 m²

TERRACE

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terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	STN	04.03.22	AO
AMENDS	WD2	AO	23.03.22	AO

Sub-contractors to verify all dimensions on site.

CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDER: _____
DATE: _____

CLIENT: TIONG
ADDRESS: LOT 3 (15C) CORBETT WAY BOORAGOON

CUSTOM	
TERRACE SPECIFICATION	
MODEL N°	DATE
18245	23.03.22
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95607	1 OF 10

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
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TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

NOISE MANAGEMENT NOTE:

- GLAZING AS NOMINATED ON THE PLAN.
- 13mm SOUNDCHECK PLASTERBOARD TO CEILING.

SUSPENDED FLOOR NOTE:

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.

BRICKLAYER NOTES:

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

RENDERER NOTES:

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3

AIRCON NOTE:

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES
- GUTTER AND DOWNPIPES TO BE INSTALLED TO NCC 3.5.3 & AS 2179.1 (METAL) / AS 1273 (UPVC)

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

ROOF INSULATION NOTES:

- R4.0 CEILING INSULATION AS PER ADDENDA.

RESTRICTED OPENING NOTE:

- RESTRICTED OPENING AS PER NCC 3.9.2.6 & 3.9.2.7

N.C.C NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.5 AND AS 3786.
- CONDENSATION MANAGEMENT (PLIABLE BUILDING MEMBRANES - AS 4200, EXHAUST SYSTEMS AND ROOF VENTILATION) TO BE AS PER NCC 3.8.7.

CEILING FIXER NOTES:

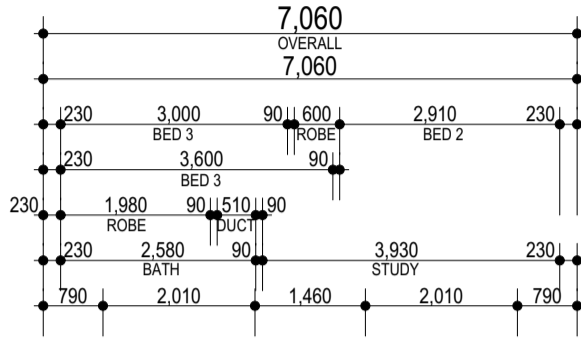
- CEILING @ 64c (28c AFL) + PLATE TO FIRST FLOOR UNLESS NOTED OTHERWISE.

BAL 12.5:

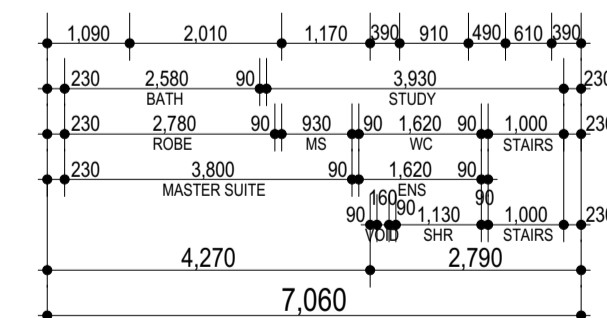
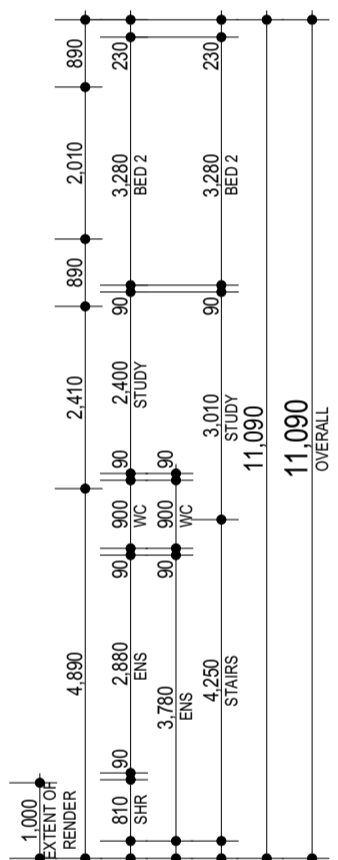
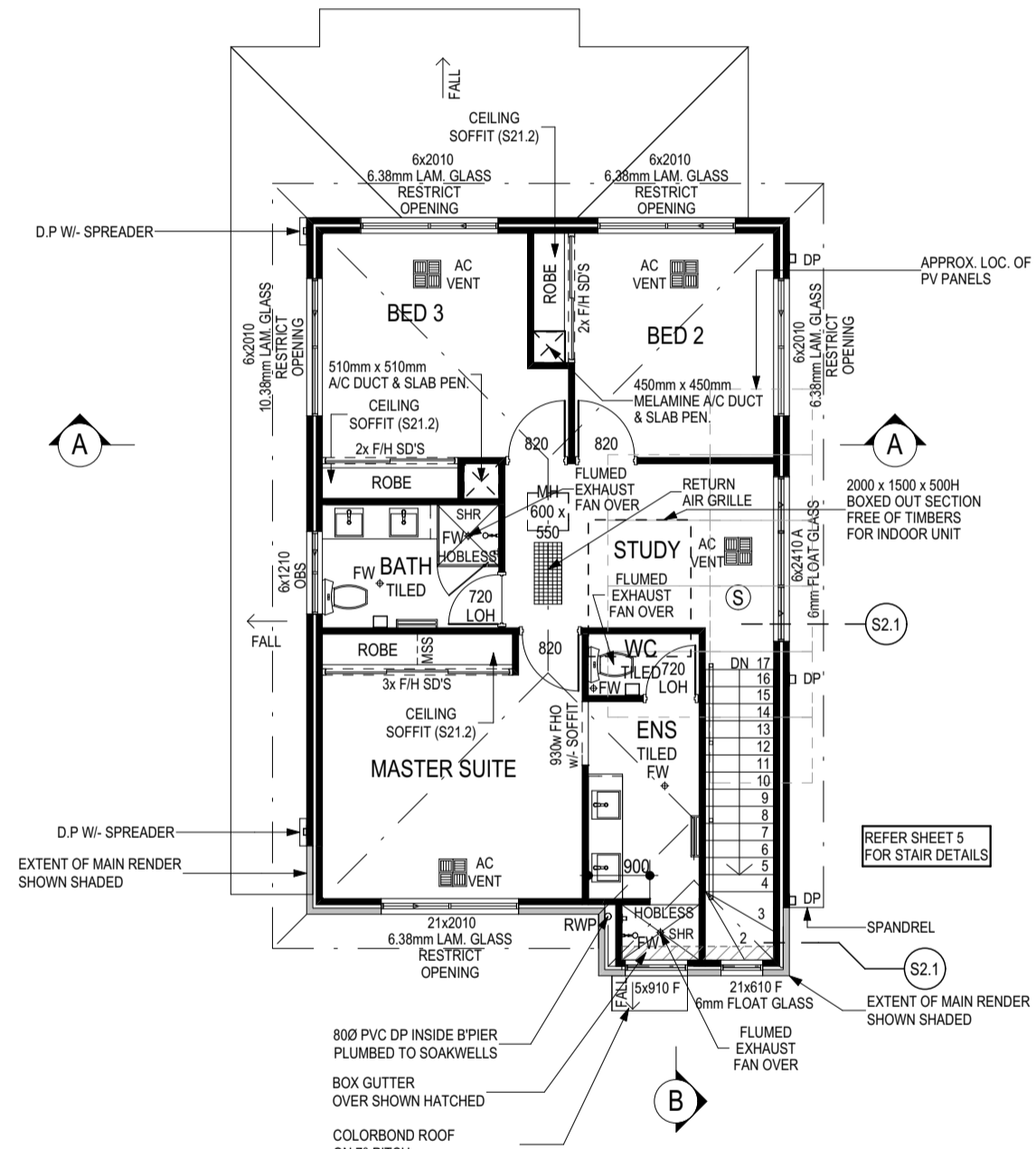
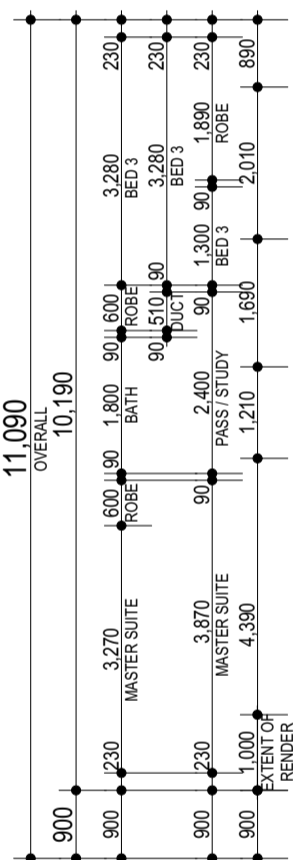
- REFER TO SEPARATE BUSHFIRE DOCUMENTATION FOR ALL REQUIREMENTS TO ENGR'S DETAILS.

FIXING CARPENTER NOTES:

- 450D SHELF & RAIL @ 1700 HIGH TO ROBES UNLESS OTHERWISE NOTED.
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 2.4M LONG.



LEGEND	
230w CAVITY	
2c FACE BWK	
230w CAVITY MAIN RENDER BWK	
CONTRAST RENDER 1	



FIRST FLOOR PLAN
SCALE 1:100

ROOF AREAS FIRST		
ROOF AREA - UPPER [m2 ON THE FLAT]	90.42	
AREAS - UPPER		
	PERIM. (m)	AREA (m²)
HOUSE (FIRST)	36.30	74.45
		74.45 m²

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REVISION	VO #	DRN	DATE	CHK
	WD1	STN	04.03.22	AO
AMENDS	WD2	AO	23.03.22	AO

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

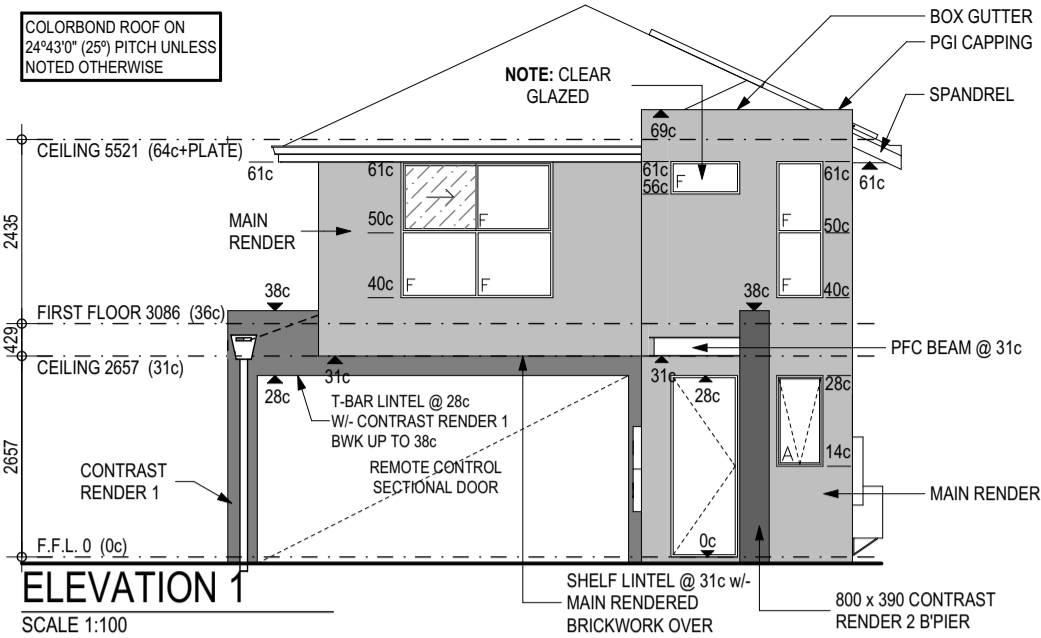
CLIENT: TIONG

ADDRESS: LOT 3 (15C) CORBETT WAY BOORAGOON

CUSTOM	
TERRACE SPECIFICATION	
MODEL N°	DATE
18245	23.03.22
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95607	2 OF 10

COLORBOND ROOF ON 24°43'0" (25°) PITCH UNLESS NOTED OTHERWISE

NOTE: CLEAR GLAZED



ELEVATION 1

SCALE 1:100

LEGEND:

MAIN RENDER:	
CONTRAST RENDER 1:	
CONTRAST RENDER 2:	
OBSCURED GLAZING:	
RESTRICTED OPENING:	

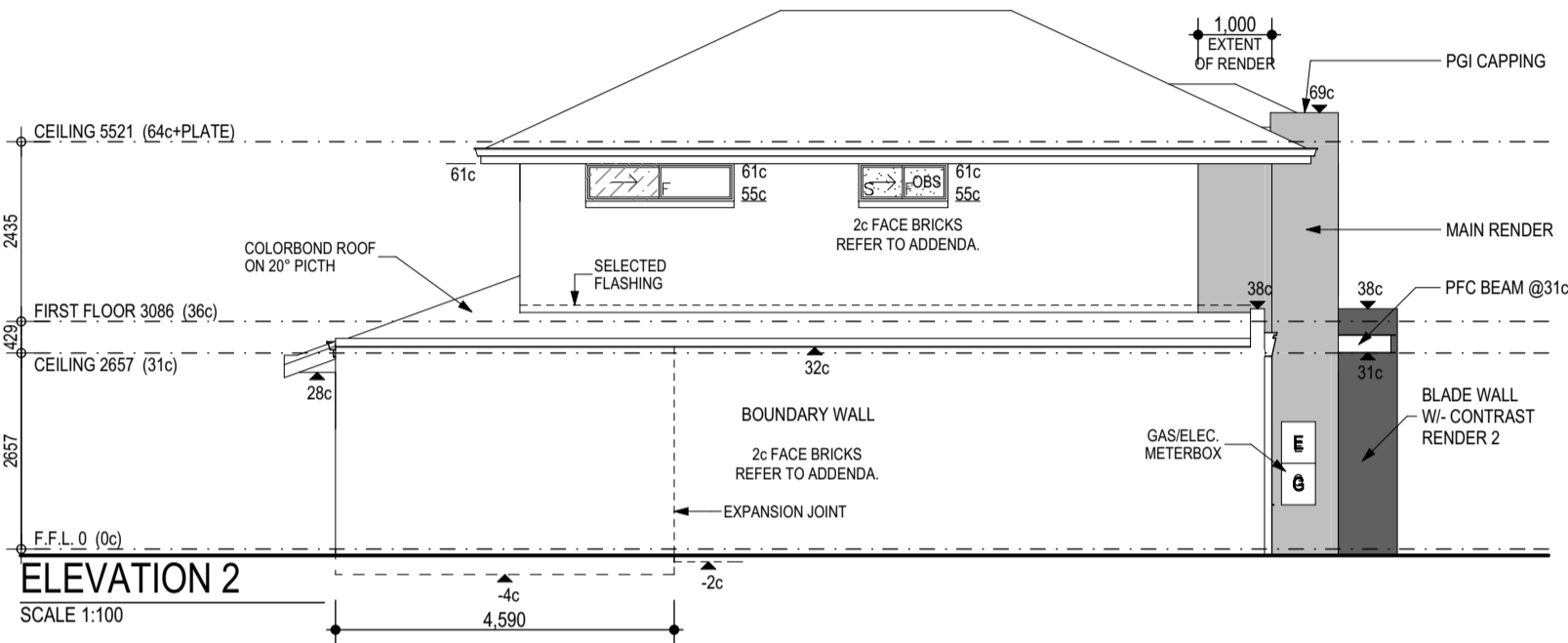
AS PER NCC 3.9.2.6 & 3.9.2.7 SHOWN HATCHED

ELEVATION NOTES:

- CONVENTIONAL ROOF FRAME APPLIES.
- ROOF TIE DOWN/FIXING STRAPS TO COMPLY WITH AS 3700 OR AS 4773 OR AS PER ENGINEER'S DETAIL.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.
- ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- ALL DIMENSIONS TO BRICKWORK.
- RESTRICTED OPENING AS PER NCC 3.9.2.7

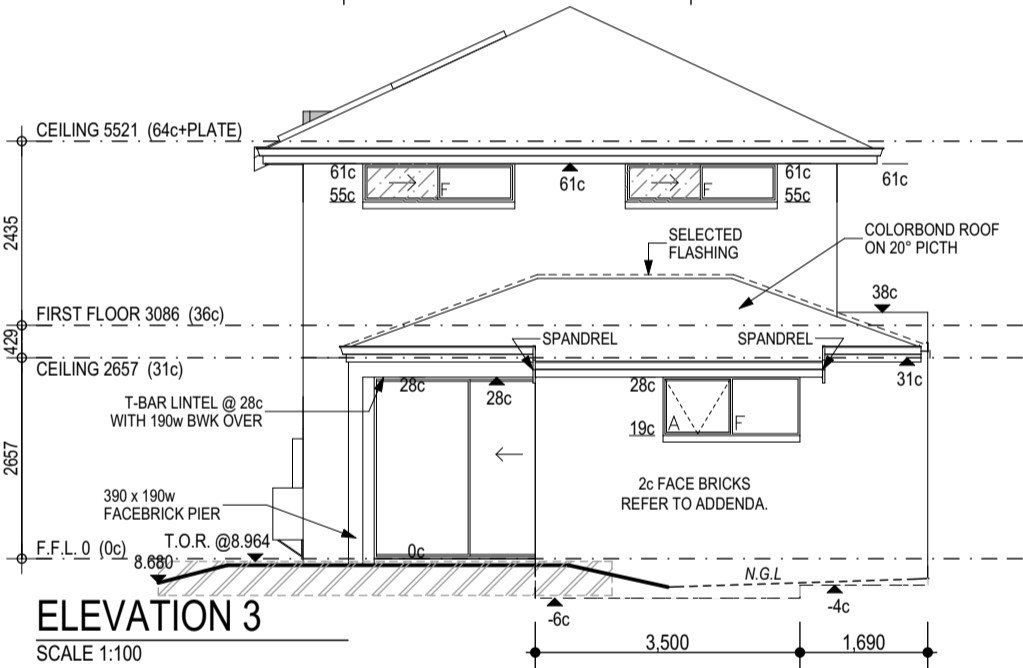
WINDOW SUPPLIER NOTE:

- SHADED WINDOWS INDICATE OBSCURED GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.



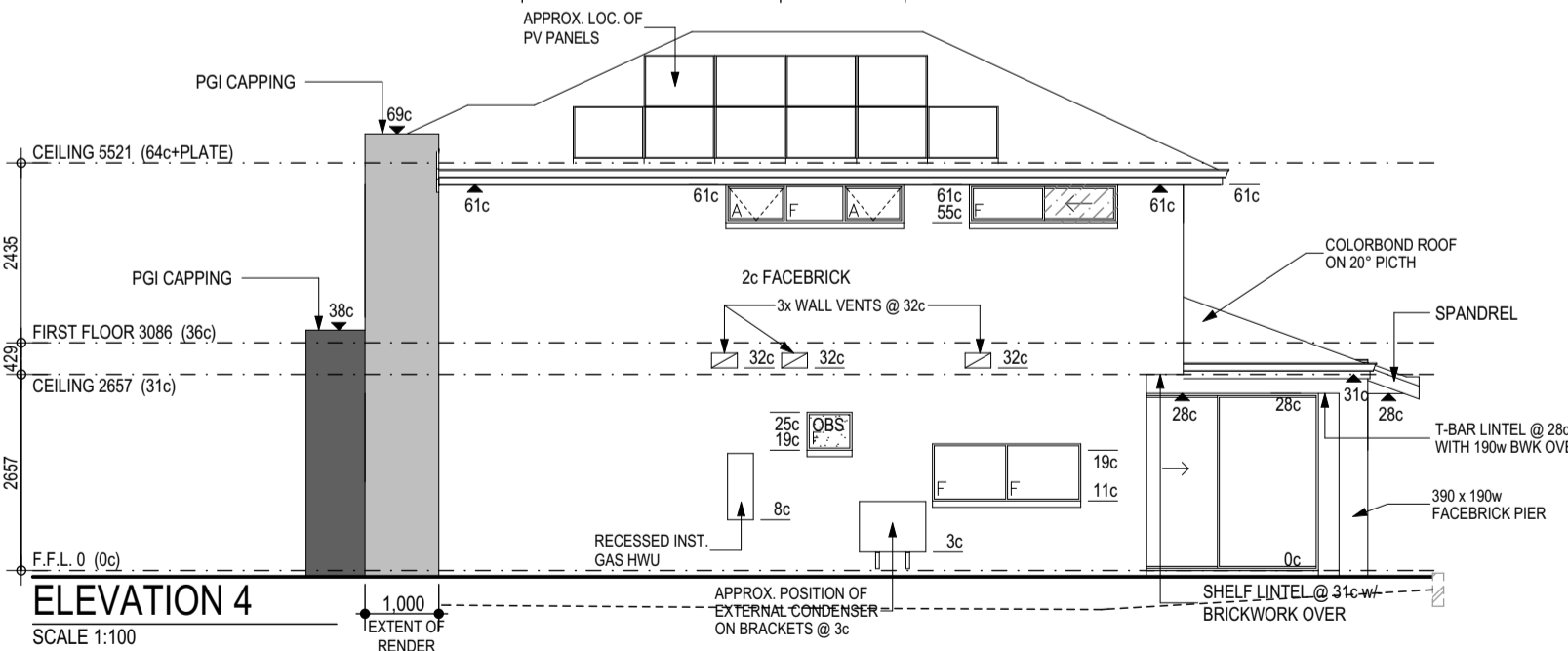
ELEVATION 2

SCALE 1:100



ELEVATION 3

SCALE 1:100



ELEVATION 4

SCALE 1:100

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REVISION	VO #	DRN	DATE	CHK
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AMENDS	WD2	AO	23.03.22	AO

Sub-contractors to verify all dimensions on site.

CLIENT:
DATE:
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DATE:
BUILDER:
DATE:

CLIENT: TIONG
ADDRESS: LOT 3 (15C) CORBETT WAY BOORAGOON

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CUSTOM

TERRACE SPECIFICATION	
MODEL N°	DATE
18245	23.03.22
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95607	3 OF 10