

+ Cameron & Kate Power
80 McCallum Crescent
ARDROSS



proposed street front view



proposed side verge path view

- general notes**
- DO NOT SCALE FROM THE DRAWINGS.
 - CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
 - REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL WORK AND CONCRETE WORK.
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 - VERIFY ALL PLUMBING AND A/C DUCTS PRIOR TO POURING CONCRETE SUSPENDED SLAB.
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date :	revision :	client :
04-11-21	CONCEPTUAL DESIGNS ISSUED TO CLIENT FOR REVIEW.	C & K POWER
18-11-21	CONCEPT DESIGN AMMENDMENT AS PER CLIENT REVIEW.	
		project :
		TWO STOREY RESIDENTIAL DWELLING
		LOT 1 #80 MCCALLUM CRESCENT,
		ARDROSS, WA. 6153
date :	job no :	scale :
NOV 2021	21-025	1:100 @ A2

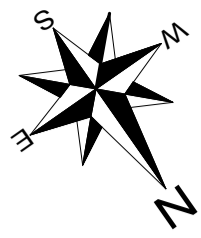
printed :	sheet :	revision :
12/05/2022	0	
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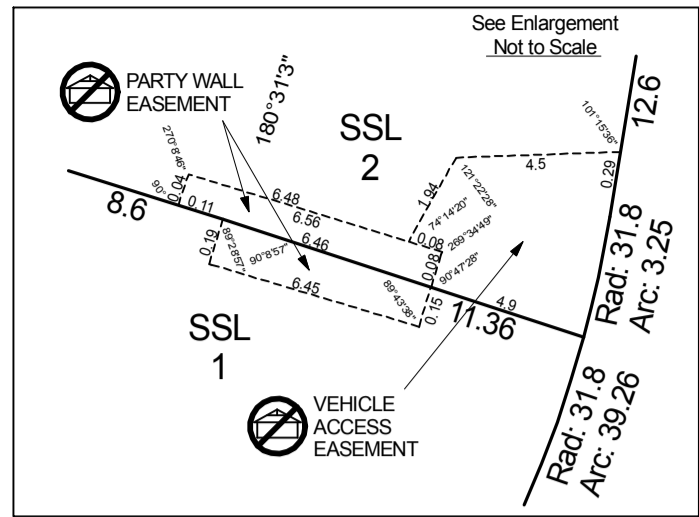
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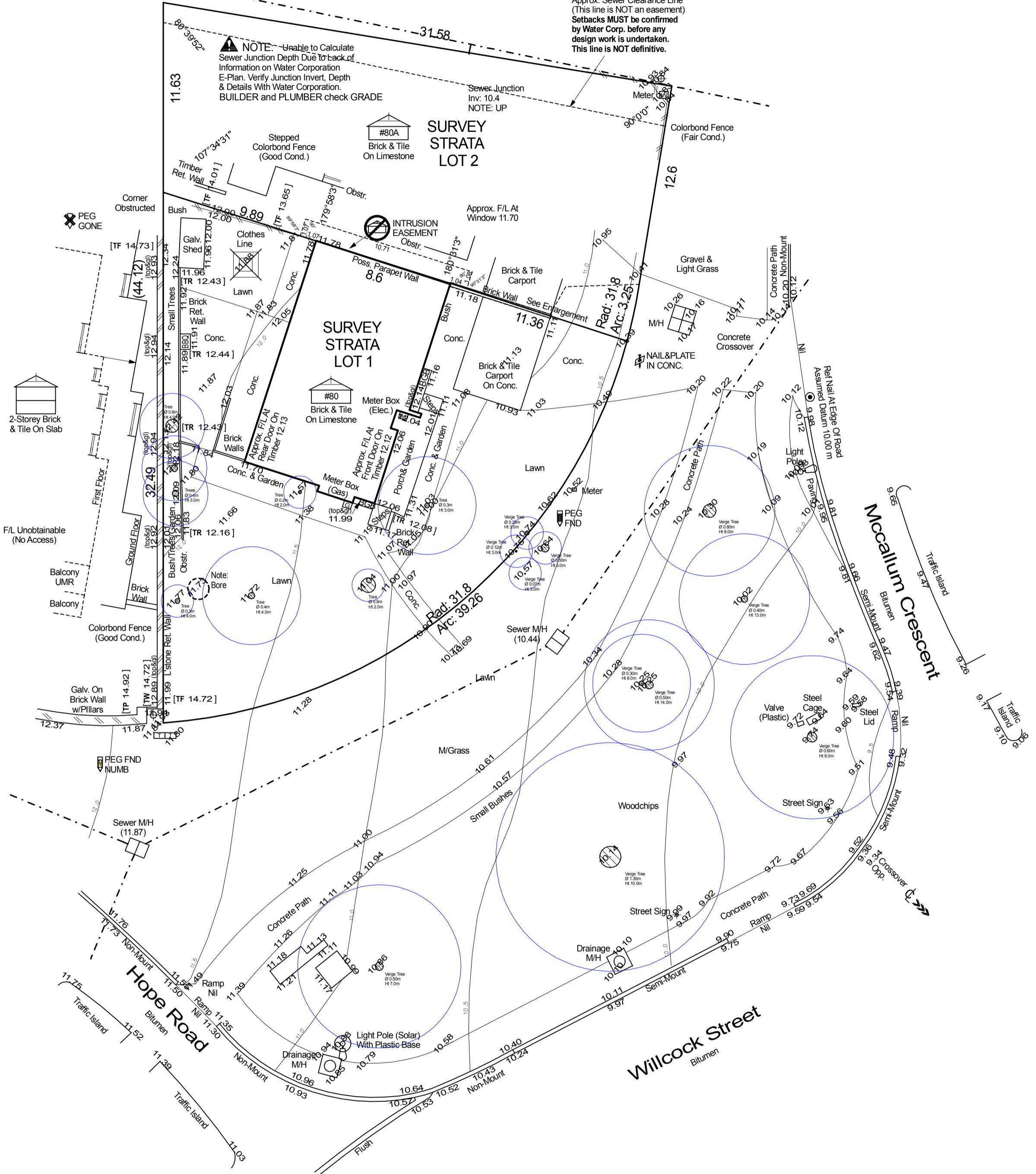
⊕	Power Dome
⊙	Power Pole
⊠	Phone Pits
⊡	Water Conn.
⊢	Water Conn.
⊣	Top Pillar/Post
⊤	Top Wall
⊥	Top Retaining
⊦	Top Fence



NOTE:
Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.

NOTE:
Approx. Sewer Clearance Line (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.

NOTE: Unable to Calculate Sewer Junction Depth Due to lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation. BUILDER and PLUMBER check GRADE



SSL 2 MISCLOSE
0.000 m
SSL 1 MISCLOSE
0.000 m

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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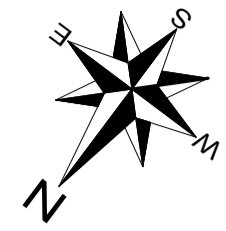
COTTAGE SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	510926	GPS	Lat: -32.023023 Long: 115.833939
ADDRESS	#80 Mccallum Crescent	LOT	Survey Strata Lot 1 (SP 16723)
SUBURB	Ardress		Original Lot 124 (Plan 5059)
LGA	CITY OF MELVILLE	AREA	610m ²
DRAWN	B. Saliba	VOL	1833
		FOL	371
		DATE	20 Oct 21
		SSA	No

ROADS	Bitumen	ELEC.	U/Ground
KERBS	See Survey	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Refer to Survey	COASTAL	No

(Approximate Only Confirm With Survey)



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 - ALL PLUMBING, ELECTRICAL, STORMWATER & IRRIGATION CONDUIT TO BE PRELAYS & INSTALLED PRIOR TO POURING CONCRETE OR LAYING PAVING.
 - EXTENT OF PAVING TO OWNERS SPECIFICATION. CONFIRM PRIOR TO LAYING.
 - SUPPLY AND INSTALL 'DURSPAN' CHEMICAL TERMITE TREATMENT TO MANUFACTURERS SPECIFICATION & USE A PHYSICAL TERMITE BARRIER TO BOUNDARY WALLS AS REQUIRED TO COMPLY WITH AS 3660.1-2014 & BCAPART 3.1.3
 - REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR PILE FOOTING SIZES, LOCATION & DETAILS.

date	revision	client	printed
04-11-21	0	CAMERON & KATE POWER	19/05/2022
18-11-21	1		4:03 PM
28-03-22	2		
19-05-22	3		

project	sheet	revision
TWO STOREY RESIDENTIAL DWELLING	0	
LOT 1 #80 MCCALLUM CRESCENT, ARDROSS, WA. 6153	02/05	
date	job no	scale
NOV 2021	21-025	1:200 @ A2

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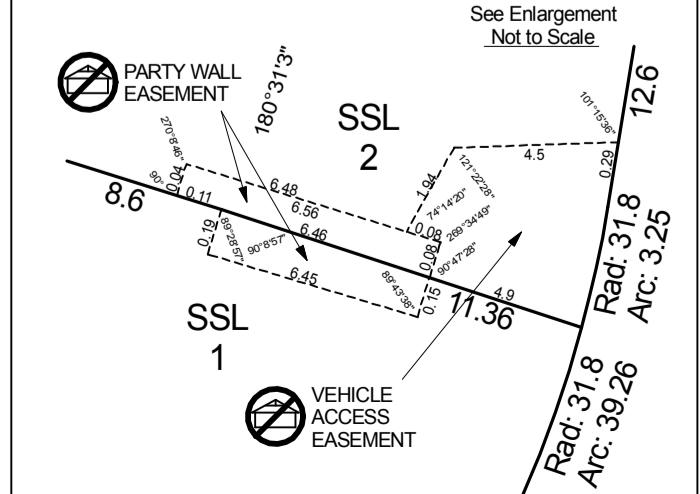


SSL 2 MISCLOSE	0.000 m
SSL 1 MISCLOSE	0.000 m

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LEGEND

☉	Power Pole
⊕	Phone Pits
⊗	Water Conn.
TP 10.00	Top Pylon/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence



Scale 1:200

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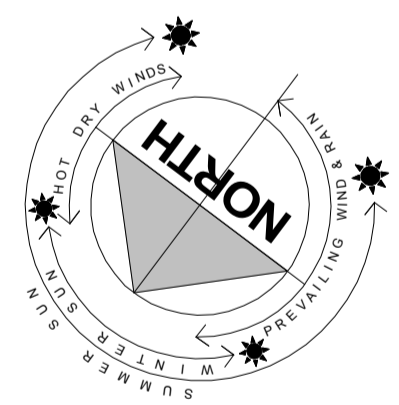
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ROADS	Bitumen	ELEC.	U/Ground
KERBS	See Survey	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Refer to Survey	COASTAL	No



+ ground floor plan
1:100



+ areas

	building area	perimeter
site	- 601m²	
living	- 226.59m²	- 91.00m
garage/store	- 56.77m²	- 31.13m
alfresco	- 27.95m²	- 24.71m
portico	- 5.09m²	- 16.02m
upper	- 84.51m²	- 44.56m
balcony	- 23.63m²	- 20.27m
total	- 424.54m²	- 227.69m

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28-03-22	DRAWINGS ISSUED FOR DEVELOPMENT APPROVAL.		
19-05-22	FRONT FENCE HEIGHTS REDUCED AS PER (LPP 3.1).		

project: **TWO STOREY RESIDENTIAL DWELLING**
 LOT 1 #80 MCCALLUM CRESCENT,
 ARDROSS, WA. 6153

date: NOV 2021 job no: 21-025 scale: 1:100 @ A2

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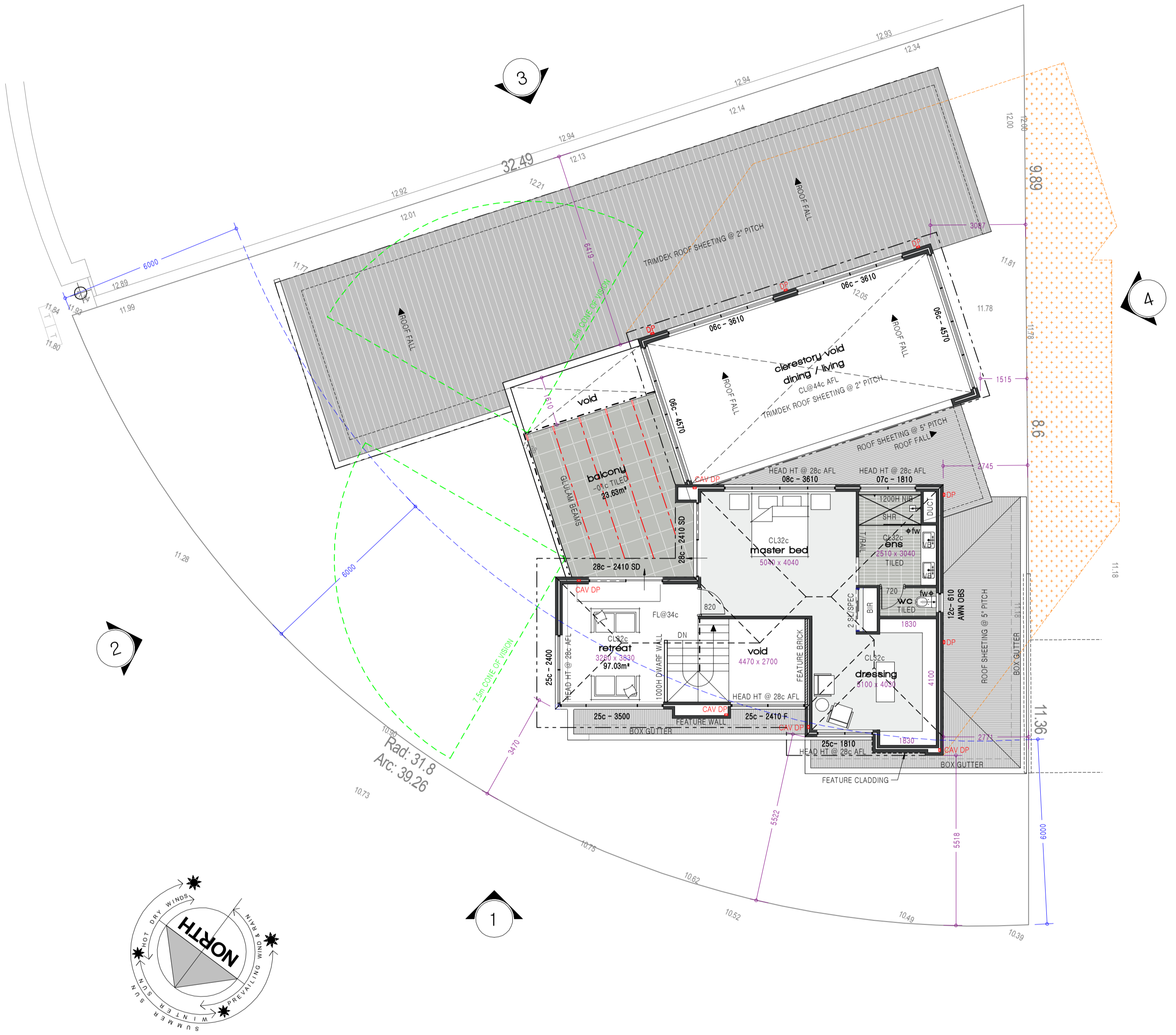
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+ overshadow diagram

SITE OVERSHADOWING CALCULATIONS:
(25% OVERSHADOWING PERMITTED AS PER R-CODES)

TOTAL AREA OF NEIGHBOURING LOT = 415.73m²
SHADOW CAST ON ADJOINING LOT AT NOON, JUNE 21ST = 42.87m²
TOTAL AREA OVERSHADOWED = 10.31%



+ upper floor plan

1:100

+ areas

	building area	perimeter
site	- 601m ²	
living	- 226.59m ²	- 91.00m
garage/store	- 56.77m ²	- 31.13m
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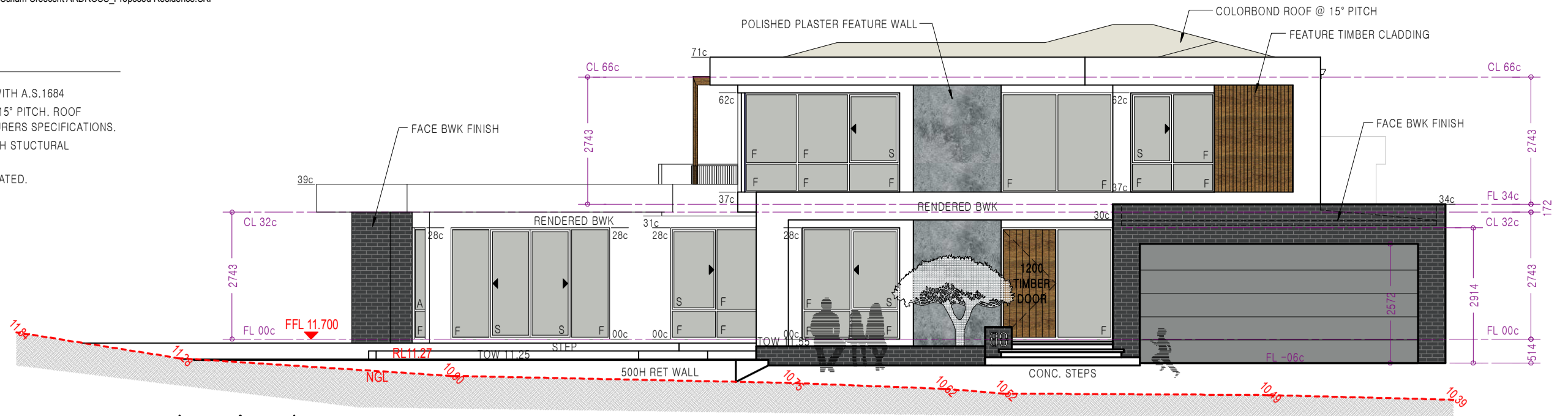
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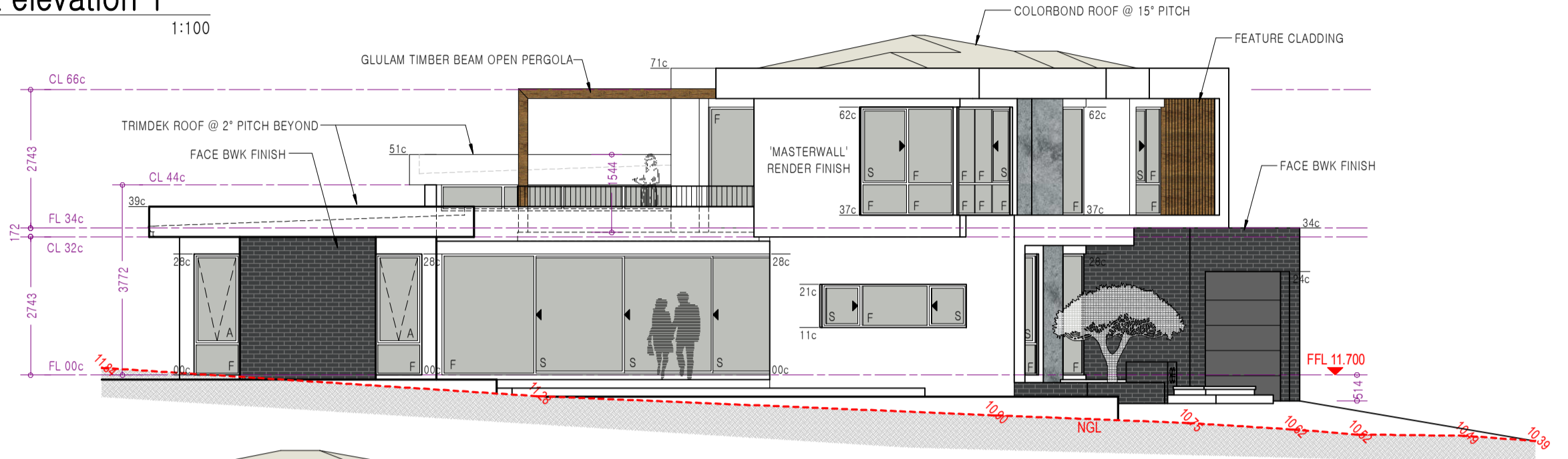
+ roofing notes:

- TIMBER ROOF FRAMING TO COMPLY WITH A.S.1684
- SELECTED STEEL SHEET ROOFING @ 15° PITCH. ROOF COVERING INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.
- ALL CEILING & ROOF TIMBERS H2 TREATED.



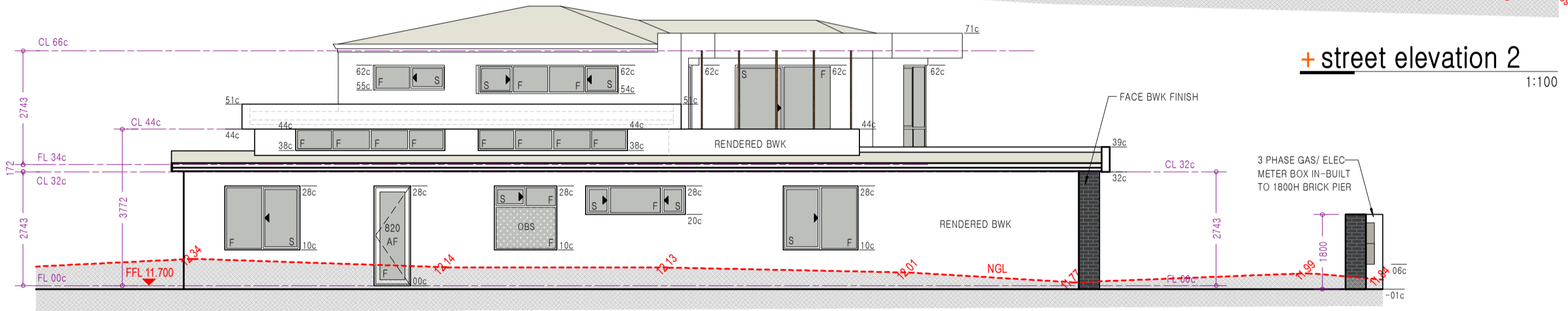
+ street elevation 1

1:100



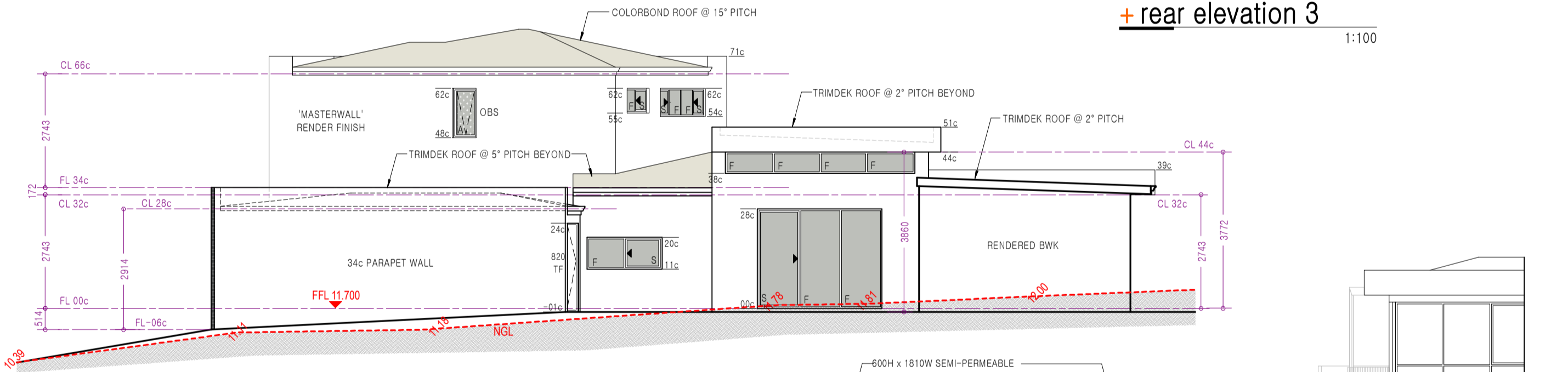
+ street elevation 2

1:100



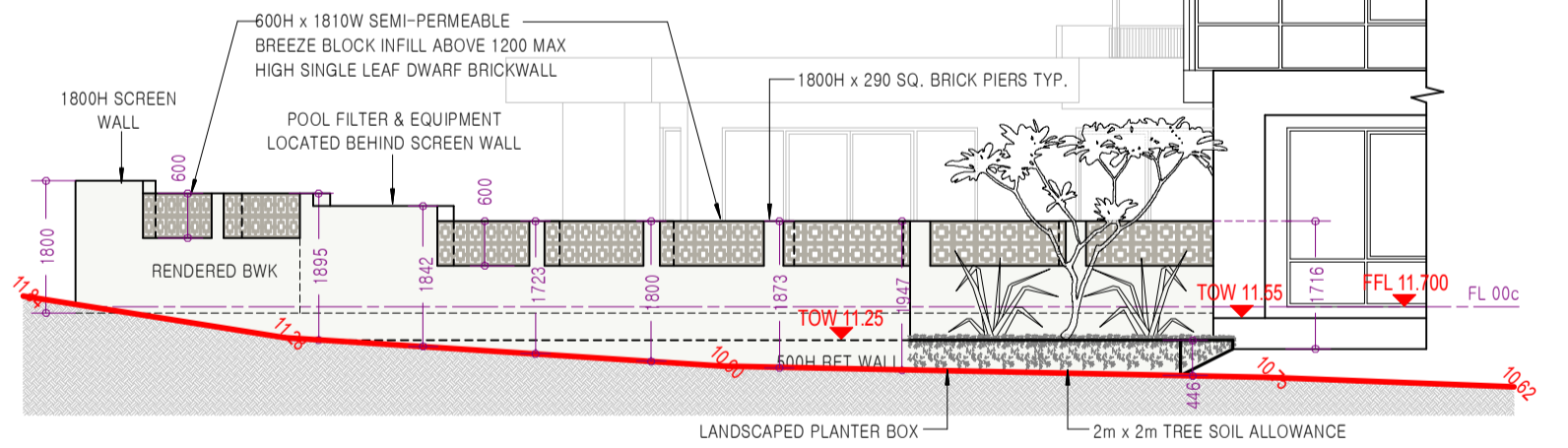
+ rear elevation 3

1:100



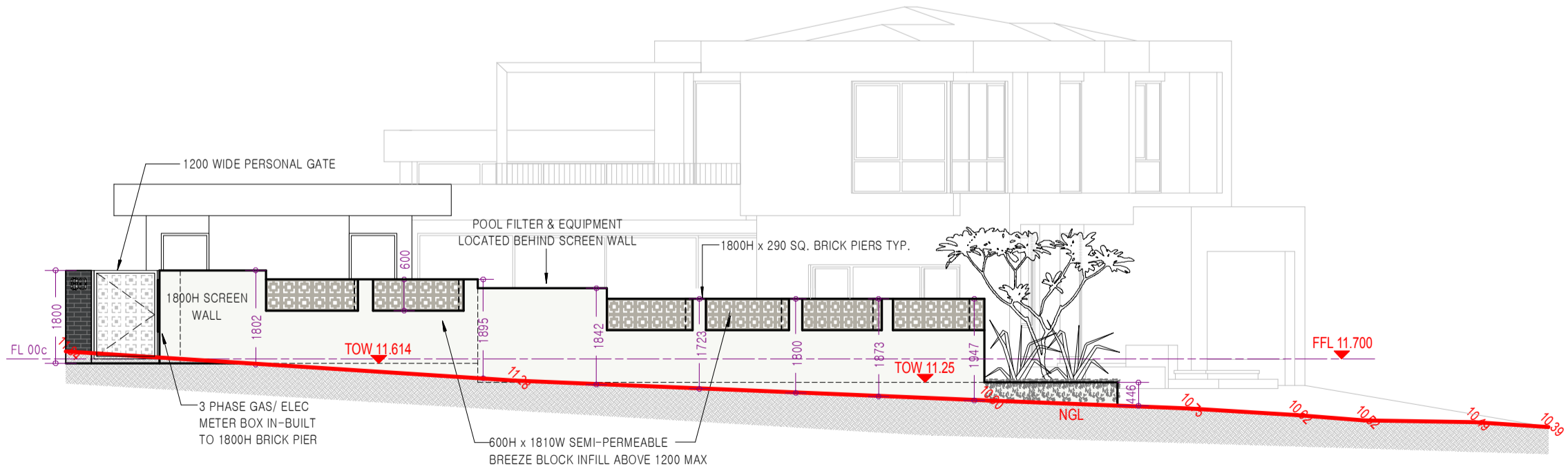
+ side elevation 4

1:100



+ fence elevation 1

1:100



+ fence elevation 2

1:100



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