

| | | | |
|-------------------------------|------------------------------|-----------------------------|-----------------------|
| CLIENT: | PLAN: TBA | LOT AREA: 404m ² | SURVEY DATE: 23/11/21 |
| BUILDER: CENTRAL AVENUE HOMES | C/T Vol: Fol: | MAP REFERENCE: | |
| BUILDER JOB # | HEIGHT DATUM: AHD | COASTAL ZONE: >1KM | |
| AUTHORITY: CITY OF MELVILLE | HEIGHT CORRECTION TO AHD: NO | SEWER INFORMATION: YES | |

FEATURE SYMBOL LEGEND

IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improve
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

SEWER JUNCTION DETAILS

HOUSE CONNECTION HC(1) IL: 22.57
 UP DISTANCE: 0.9
 DEPTH TO CONNECTION: 1.33

NOTES

- ALL FEATURES IN GOOD CONDITION
- DEVELOPMENT AREA: ESTABLISHED
- FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

SAND PAD LEVELS:
 HOUSE S.P.L - 24.200
 PORTICO S.P.L - 24.128
 OUTDOOR LIVING S.P.L - 24.128
 DOUBLE GARAGE S.P.L - 24.042

SITWORK NOTE:
 WHERE POSSIBLE SAND PAD SHALL BE TAPERED DOWN APPROX. 300MM FROM 500MM OUTSIDE BUILDING LINE TO ACCOMMODATE EXCESS SOIL FROM FOOTINGS AND DRAINS.

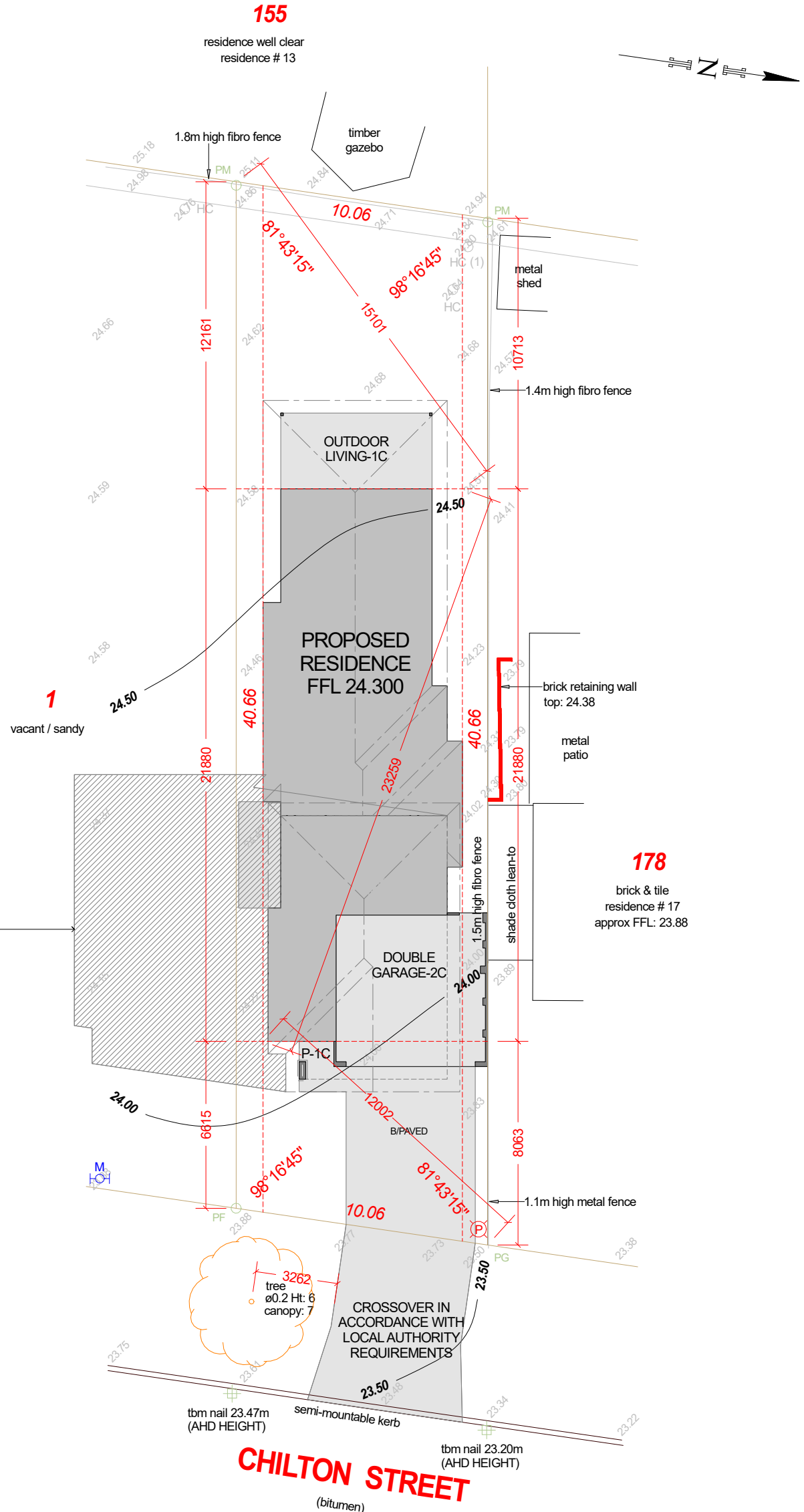
STORMWATER NOTE:
 - STORMWATER TO BE COLLECTED AND RETAINED ON SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS
 - 2 X 1200 X 1200 CONCRETE SOAKWELL ALLOWED, LOCATIONS DETERMINE BY PLUMBER

PLUMBER DRAINER NOTE:
 SOIL EXCAVATED NEAR SEWER LINES SHALL BE COMPACTED TO ORIGINAL LEVELS BACK INTO TRENCH

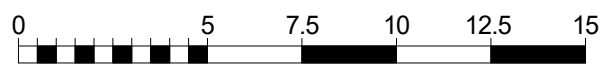
DEVELOPMENT APPLICATION NOTE
 PLANS ARE FOR DEVELOPMENT APPLICATION USE ONLY, NOT FOR BUILDING LICENCE OR CONSTRUCTION PURPOSES.

OVERSHADOWING NOTE
 74.64m² OF OVERSHADOWING TO ADJOINING PROPOERTY IN ACCORDANCE WITH SPP 7.3

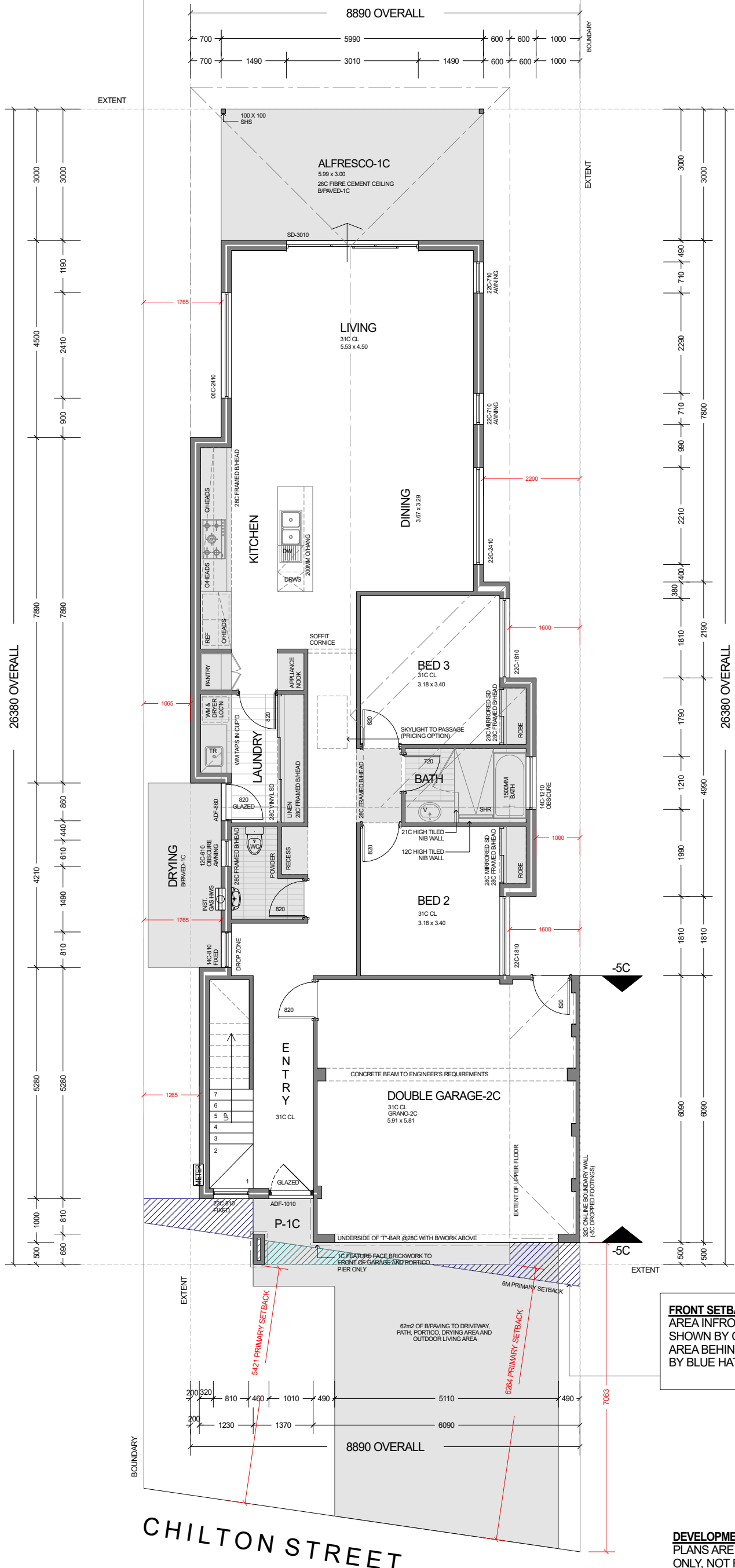
| POWER | |
|--|-----------------------|
| CABLE DOME | POWER POLE |
| CABLE BOX | CONSUMER POLE |
| POWER MARKER | EXPOSED CABLES |
| LIGHT POLE | STAYWIRE ANCHOR |
| WATER | |
| WATER METER / TAP | FIRE HYDRANT |
| TAP | STOP VALVE |
| FLUSHING POINT | RETIC VALVE |
| BORE | WATER MARKER |
| SEWERAGE | |
| SEWER M/H (SQUARE LID) | SEWER M/H (ROUND LID) |
| INSPECTION SHAFT | INSPECTION OPENING |
| HOUSE CONNECTION | |
| TELSTRA | |
| TELSTRA PIT | TELSTRA MANHOLE |
| TELSTRA MARKER | |
| DRAINAGE | |
| DRAIN M/H (SQUARE LID) | DRAIN M/H (ROUND LID) |
| SIDE ENTRY PIT | DRAINAGE GRATE |
| COMBINED ENTRY PIT | |
| GAS | |
| GAS METER | GAS VALVE |
| GAS MARKER | |
| SURVEY MARKS | |
| PEG FOUND | PEG GONE |
| DRILL HOLE | BENCH MARK |
| PEN MARK | NAIL & PLATE |
| | NAIL |
| MISCELLANEOUS INFO. | |
| STREET SIGN | SPOT HEIGHT |
| UNKNOWN SERVICE MARKER | BOLLARD |
| OVERHEAD POWER LINE | SEWER LINE |
| FENCE LINE | WINDOW / OPENING |
| SERVICE DETAILS | |
| WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: A, TBC GAS: A, TBC SEWER: L | |
| SERVICE NOTES | |
| L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED | |



SCALE 1:200 AT A3 SIZE




| | | | | | | | |
|--|---|-----------------------|-----------|---|-----------------|---------------------------|----------------|
| No. 3358 | PROPOSED DWELLING FOR: REWA AT: PROPOSED LOT 2 (#15) CHILTON ST, WILLAGEE | | | THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT | | | |
| DWG. ELEVATIONS | LOCATION | AREA | PERIMETER | SCALE 1 : 100 | DRWG No. 4 of 4 | OWNER _____ BUILDER _____ | |
| <p>Unit 1/27 Erceg Rd, Yangebup WA 6164 PH: 9456 3366 Email: adminassist@centralavenuehomes.com.au</p> | GROUND FLOOR AREA | 128.666m ² | 60.540m | DRAWN | DATE | CHKD | DESCRIPTION |
| | GARAGE/STORE AREA | 36.234m ² | | A.M. | 13/01/22 | A.M. | DESIGN CONCEPT |
| | PORTICO AREA | 1.370m ² | | A.M. | 21/03/22 | A.M. | DA - REV 2 |
| | ALFRESCO AREA | 17.970m ² | | | | | |
| | FIRST FLOOR AREA | 61.555m ² | 32.060m | | | | |
| BALCONY | 8.835m ² | | | | | | |
| GROUND ROOF AREA | 129.933m ² | 50.370m | | | | | |
| FIRST ROOF AREA | 85.780m ² | 38.060m | | | | | |
| TOTAL AREA | 236.660m ² | | | | | | |
| COPYRIGHT THIS PLAN IS COVERED BY COPYRIGHT. COPYRIGHT EXISTS IN WHOLE, IN PART AND IN CONCEPT. DISCUSSION WITH ANY PARTY FOR THE PURPOSE OF COMMENT, COSTING, REDESIGN OR CONSTRUCTION IN ANY FORM WITHOUT FORMAL WRITTEN PERMISSION OF CENTRAL AVENUE HOMES WILL BE DEEMED A BREACH OF COPYRIGHT. | | | | | | | |

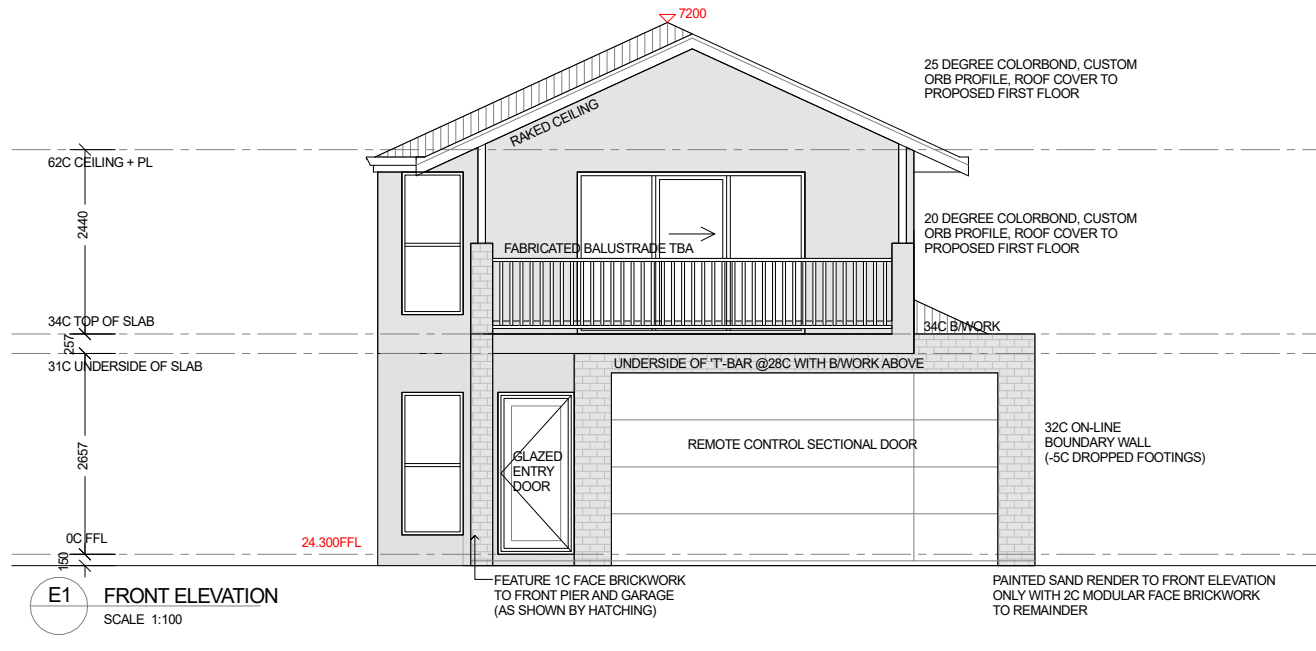


FRONT SETBACK NOTE
 AREA IN FRONT OF 6M PRIMARY SETBACK
 SHOWN BY GREEN HATCHING - 1.2m²
 AREA BEHIND 6M PRIMARY SETBACK SHOWN
 BY BLUE HATCHING - 3.5m²

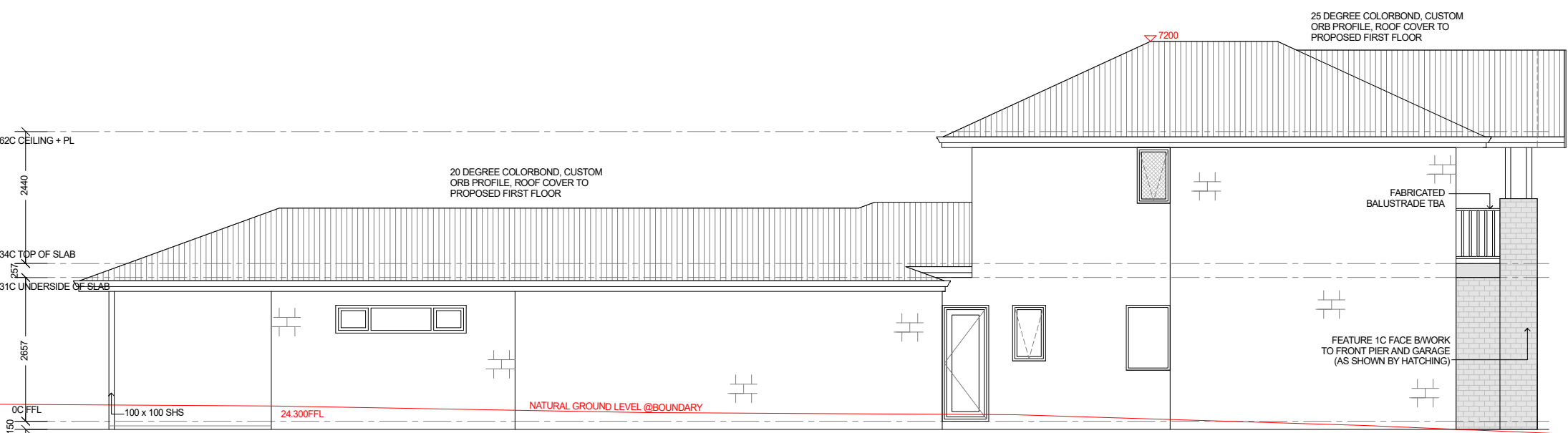
DEVELOPMENT APPLICATION NOTE
 PLANS ARE FOR DEVELOPMENT APPLICATION USE
 ONLY, NOT FOR BUILDING LICENCE OR CONSTRUCTION
 PURPOSES.

No. **3358** PROPOSED DWELLING FOR: REWA AT: PROPOSED LOT 2 (#15) CHILTON ST, WILLAGEE

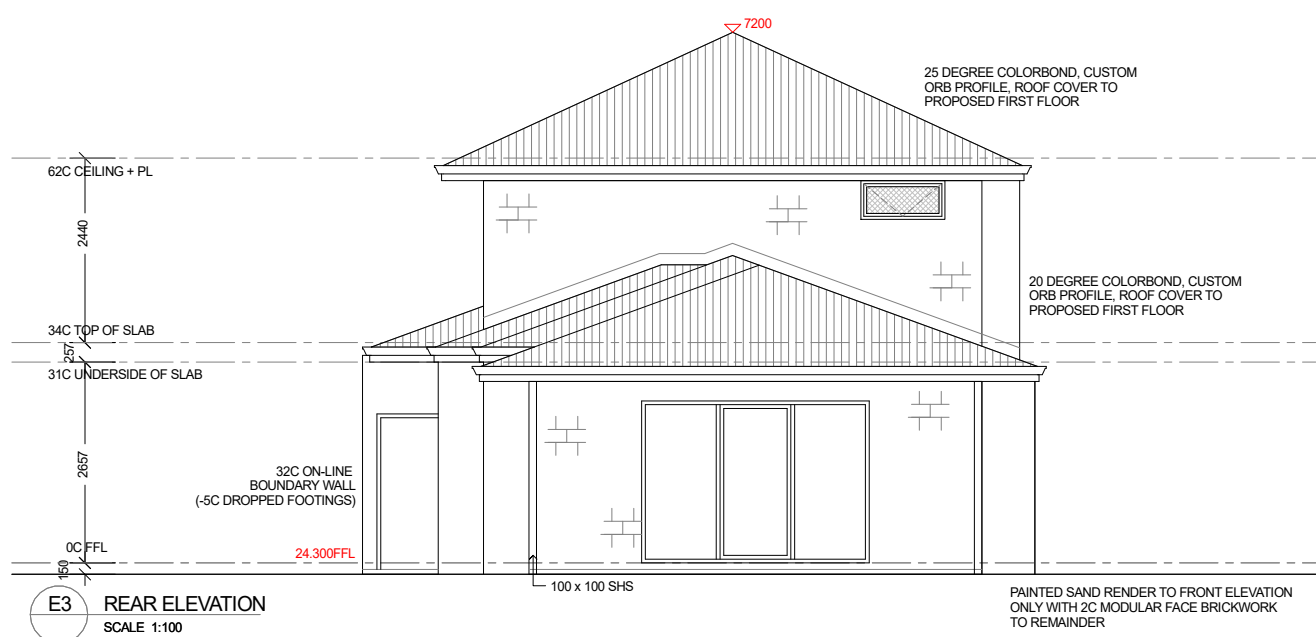
| | | | | | |
|---|---|---|---|--|--|
| DWG. DESIGN CONCEPT  Unit 1/27 Erceg Rd, Yangebup WA 6164 PH: 9456 3366 Email: adminassist@centralavenuehomes.com.au | LOCATION GROUND FLOOR AREA GARAGE/STORE AREA PORTICO AREA ALFRESCO AREA FIRST FLOOR AREA BALCONY GROUND ROOF AREA FIRST ROOF AREA TOTAL AREA | AREA 128.666m ² 36.234m ² 1.370m ² 17.970m ² 61.555m ² 8.835m ² 129.933m ² 85.780m ² 236.660m ² | PERIMETER 60.540m 32.060m 50.370m 38.060m | SCALE 1 : 100 DRAWN DATE CHKD DESCRIPTION A.M. 13/01/22 A.M. DESIGN CONCEPT A.M. 21/03/22 A.M. DA - REV 2 | DRWG No. 1 of 4 THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT OWNER _____ BUILDER _____ OWNER _____ COPYRIGHT THIS PLAN IS COVERED BY COPYRIGHT. COPYRIGHT EXISTS IN WHOLE, IN PART AND IN CONCEPT. DISCUSSION WITH ANY PARTY FOR THE PURPOSE OF COMMENT, COSTING, REDESIGN OR CONSTRUCTION IN ANY FORM WITHOUT FORMAL WRITTEN PERMISSION OF CENTRAL AVENUE HOMES WILL BE DEEMED A BREACH OF COPYRIGHT. |
|---|---|---|---|--|--|



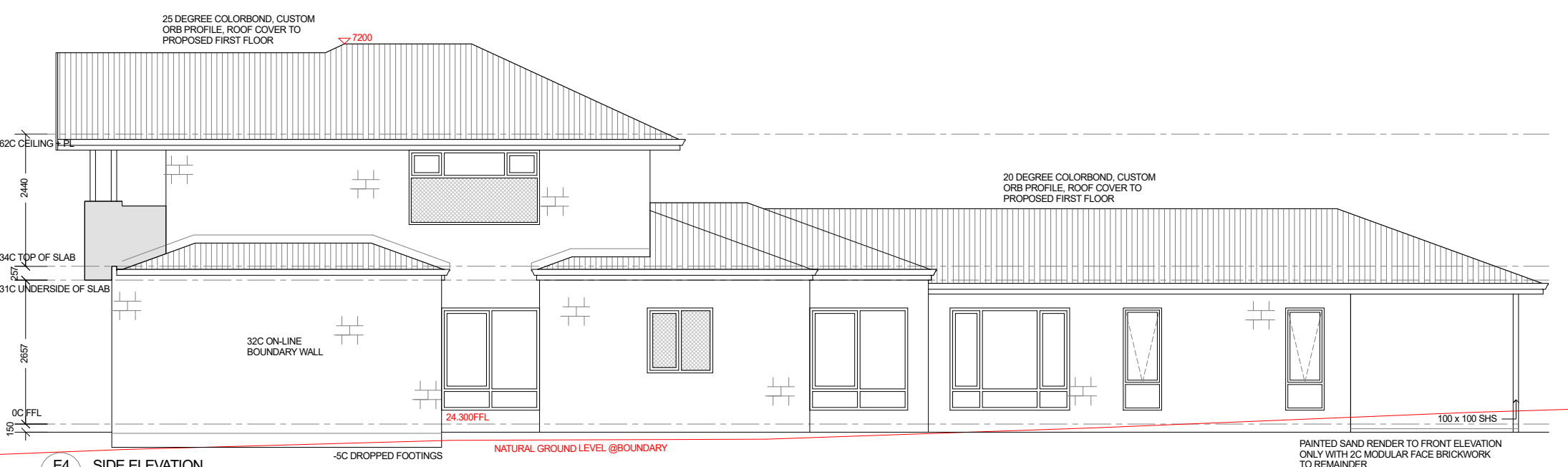
E1 FRONT ELEVATION
SCALE 1:100



E2 SIDE ELEVATION
SCALE 1:100



E3 REAR ELEVATION
SCALE 1:100



E4 SIDE ELEVATION
SCALE 1:100

No. **3358** PROPOSED DWELLING FOR: REWA AT: PROPOSED LOT 2 (#15) CHILTON ST, WILLAGEE

| DWG. | ELEVATIONS | LOCATION | AREA | PERIMETER | SCALE | DRAWG No. 2 of 4 | | | THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT | |
|------|------------|-------------------|-----------------------|-----------|---------|------------------|----------|------|---|---------------------------|
| | | | | | | DRAWN | DATE | CHKD | | DESCRIPTION |
| | | GROUND FLOOR AREA | 128.666m ² | 60.540m | 1 : 100 | A.M. | 13/01/22 | A.M. | DESIGN CONCEPT | OWNER _____ BUILDER _____ |
| | | GARAGE/STORE AREA | 36.234m ² | | | A.M. | 21/03/22 | A.M. | DA - REV 2 | OWNER _____ |
| | | PORTICO AREA | 1.370m ² | 32.060m | | | | | | |
| | | ALFRESCO AREA | 17.970m ² | | | | | | | |
| | | FIRST FLOOR AREA | 61.555m ² | 50.370m | | | | | | |
| | | BALCONY | 8.835m ² | | | | | | | |
| | | GROUND ROOF AREA | 129.933m ² | 38.060m | | | | | | |
| | | FIRST ROOF AREA | 85.780m ² | | | | | | | |
| | | TOTAL AREA | 236.660m ² | | | | | | | |

Unit 1/27 Erceg Rd, Yangebup WA 6164
PH: 9456 3366 Email: adminassist@centralavenuehomes.com.au

Central Avenue Homes

THIS PLAN IS COVERED BY COPYRIGHT. COPYRIGHT EXISTS IN WHOLE, IN PART AND IN CONCEPT. DISCUSSION WITH ANY PARTY FOR THE PURPOSE OF COMMENT, COSTING, REDESIGN OR CONSTRUCTION IN ANY FORM WITHOUT FORMAL WRITTEN PERMISSION OF CENTRAL AVENUE HOMES WILL BE DEEMED A BREACH OF COPYRIGHT.