

Proposed Double Storey Dwelling for Smith House

TOBIA
CONSTRUCTIONS



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161b Lot 2 Moreing Road , Attadale WA 6156

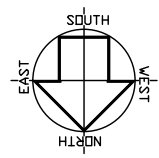
SERVICE INFORMATION	
AREA	ESTABLISHED
SEWERAGE	YES DEPTH 1.04
WATER	TBC PRELAIM
ELECTRICAL	YES UG
TELECOM	YES
GAS	TBC
DRAFTED	DF SURVEYOR TS
SERVICE LEGEND	
SURVEY	
* DATUM	
oPF PEG FOUND	
oPG PEG GONE	
SEWERAGE	
oSEW SEWER MANHOLE	
oIO INSPECTION OPENING	
oIS INSPECTION SHAFT	
WATER	
oM WATER METER	
oH HYDRANT	
oF FLUSH POINT	
oV STOP VALVE	
ELECTRICAL	
oDD POWER DOME/PILLAR	
oP POWER POLE	
oL LAMP POST	
oC CONSUMER POLE	
oA STAY WIRE ANCHOR	
STORMWATER	
oSM STORMWATER MANHOLE	
oGR GRATE	
oSEP SIDE ENTRY PIT	
GAS	
oG GAS METER	
oS SERVICE VALVE	
TELECOM	
oT COMMUNICATION PIT	
SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEW INV.	39.63
UP.	0.00
DEPTH.	1.04

CLIENT: Craig Smith			
ADDRESS: LOT 2 (#161B) MOREING ROAD, ATTADALE			
PLAN: DP422579	C/T: 4010/854	AUTHORITY: CITY OF MELVILLE	
DATE: 11/02/2022		JOB REFERENCE: DP22034 - 161B Moreing Rd Attadale	
H. Grid : LOCAL	Local level :	A.H.D. value SEWER M/H Distance	
V. Datum : AHD	A.H.D. level :41.51	derived from : D0697 from Datum : 38.35m	
VERSION	DATE	DESCRIPTION	APPROVED BY

DEVELOPED

TOWN PLANNING | SURVEYING | PROPERTY
 A | 315 ROKEBY ROAD, SUBIACO WA 6008
 P | (08) 6119 9175
 E | projects@dvlpd.com.au
 W | www.developedproperty.com.au

IMPORTANT NOTES:	
1.	The information on this drawing is current at the date of survey.
2.	All services are to be confirmed with relevant authorities. This include without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
3.	Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
4.	Original lot dimensions taken from Landgate Survey Plans.
5.	Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
6.	The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
7.	Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
8.	This plan is for the purpose of application and in no way represents WAPC conditional approval.
9.	Developed does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
10.	Permission is required from Developed for the reproduction or copying of this plan.
Scale:	0 5 7.5 10 15
1:200 at A3	



WARNING!
 BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

Overshadow 21 June 12pm
 no.163b (641m2) 88.67m2
 163b Moreing Rd
OVERSHADOW 14% (max 25%)

EXISTING FIBRO FENCE TO BE REMOVED & REPLACED BY NEW BOUNDARY WALL & BRICK FENCE AROUND POOL AREA.

EXISTING RETAINING WALL TO BE REMOVED AND REPLACED BY NEW BOUNDARY WALLS

BUILD NEW GARAGE WALL & BRICK FENCE DOWN TO LEVEL OF EXISTING RETAINING WALL (REPLACING EXISTING WALL)

RETAIN PORTION OF EXISTING RETAINING WALL FORWARD OF GARAGE TO TRUNCATION & CP LANE

RETAIN EXISTING FIBRO FENCE PAST BUILDING LINE

RETAIN EXISTING FIBRO FENCE TO REAR B'DRY

RETAIN EXISTING METAL FENCE TO SIDE B'DRY

SEWER LINE

MOREING ROAD



SITE PLAN

1:200

LOT 2
497m²

LOT 1
VACANT
SAND

LOT 5
BRICK & TILE RESIDENCE

2
D15304
(S20006)

LOT 14
METAL SHED

LOT 850
BRICK & TILE RESIDENCE

P44750
(S50181)

area	m2
Ground Floor	157.88m2
Upper Floor	129.14m2
Carport	39.72m2
Alfresco	23.40m2
Balcony	4.38m2
	354.52m2

Open Space Calc.
 Site Area 497m²
 Site Cover - 198m²
 $\frac{198}{497} = 39\%$ cover
 61% Open Space Compliant

STORMWATER NOTES

SOAKWELLS WITH TRAFFICABLE LIDS & RAISED GRATES FOR PAVING

CONNECT DP'S WITH 90mm PVC TO SOAKWELLS

PIPEWORK SHOWN IS DIAGRAMMATIC AND MAY ALTER ON SITE AS DIRECTED BY BUILDER

STORMWATER MIN. GRADIENT $\frac{1}{150}$

DOWNPIPES TO OPEN GRATES TO ALLOW COLLECTION OF PAVED AREAS

STORMWATER CALCULATIONS
 237m² ROOF & 53m² PAVING AREA (CARPORT)
 1m³ for each 80m² = 3.625m³ capacity req'd
 1800Ø x 1500d = 3.815m³

STORMWATER CALCULATIONS
 91m² driveway paving
 1.1378m³ for each 80m² = 15.00m³ capacity req'd
 1200Ø x 1200d = 1.356m³

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 CLIENT: **Smith House**

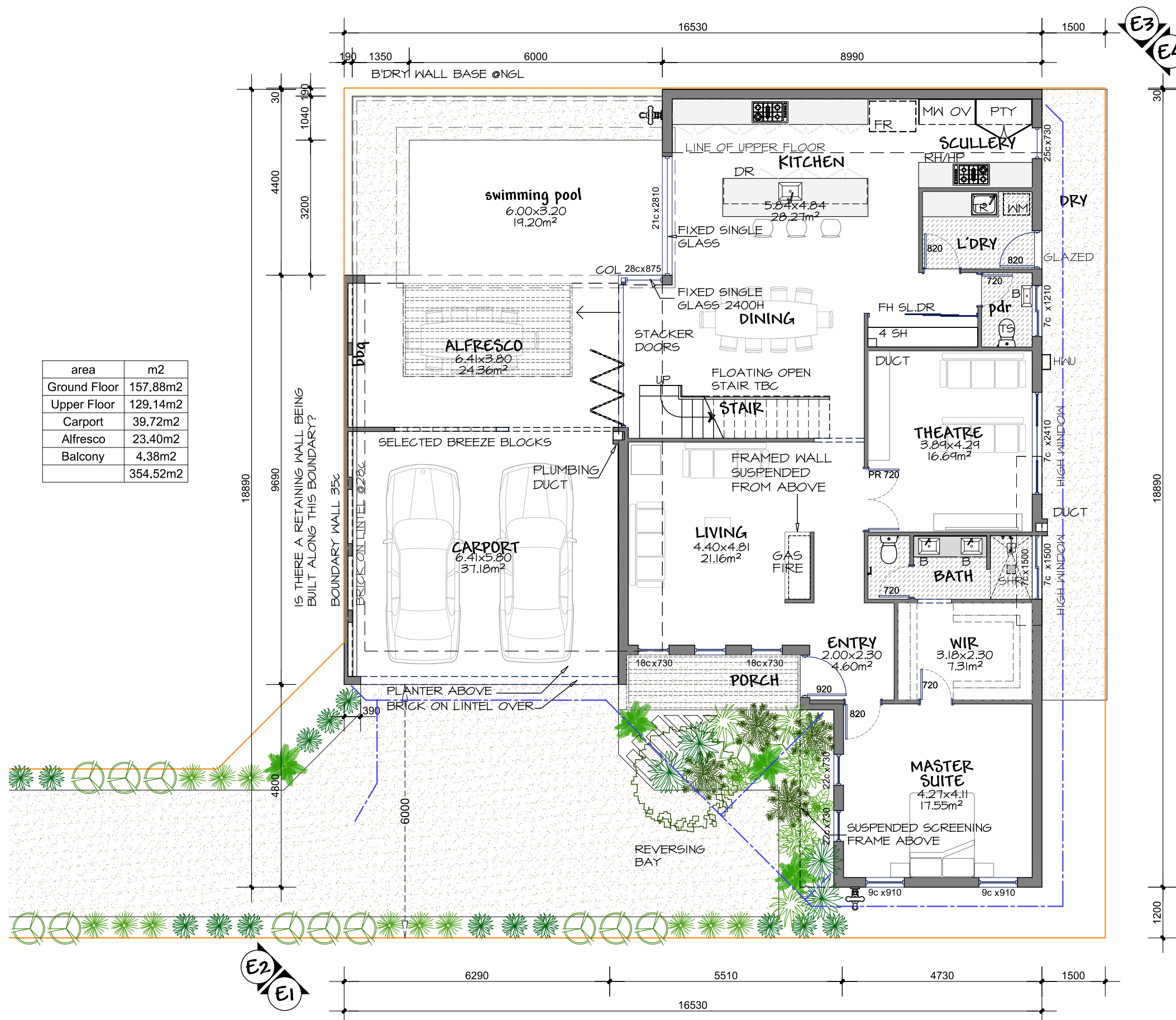
SITE ADDRESS: lot: 2 Hse No 161b

Moreing Road Attadale WA 6156
 Project: **Proposed Double Storey Dwelling**

LOCAL AUTHORITY	TOTAL SITE AREA	R-CODE ZONING
City of Melville	497m ²	R40

This Drawing Title: **SitePlan** Unit No: **00**

Dwg file name: Form: Street-Client-StageRev-(UnitNo) AttMoreingRd-DA.dwg Sheet No: **01**



area	m2
Ground Floor	157.88m2
Upper Floor	129.14m2
Carport	39.72m2
Alfresco	23.40m2
Balcony	4.38m2
	354.52m2

Ground Floor Plan
1:100

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SITE ADDRESS: lot: **2** Hse No **161b**

Project **Moreing Road Attadale WA 6156**

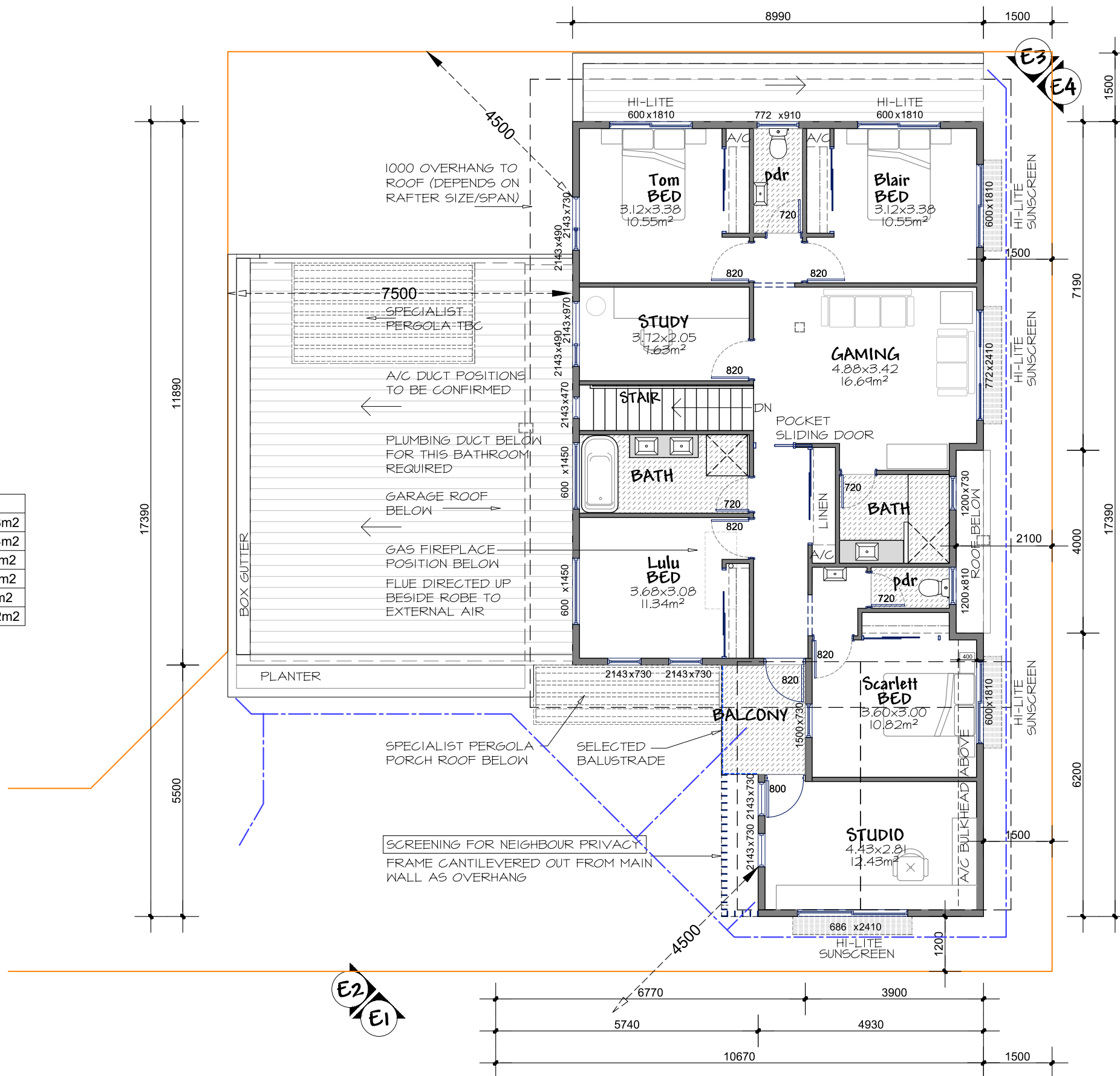
Proposed Double Storey Dwelling

LOCAL AUTHORITY: City of Melville TOTAL SITE AREA: 497m² R-CODE ZONING: R40

This Drawing Title: **GroundFloorPlan** Unit No: **00**

Dwg file name: Form: Street-Client-StageRev-(UnitNo) AttMoreingRd-DA.dwg Sheet No: **10**

area	m2
Ground Floor	157.88m2
Upper Floor	129.14m2
Carport	39.72m2
Alfresco	23.40m2
Balcony	4.38m2
	354.52m2



SETBACK DETERMINED BY RC
 TABLE 2 &
 FIG. 3e & 4c,
 BASED ON RAISED LEVEL OF
 NEIGHBOUR NGL
 (REFER TO ELEVATION E4)
 WALL <6m HIGH

Upper Floor Plan
 1:100

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 CLIENT: Smith House

SITE ADDRESS:
 lot: 2 Hse No 161b

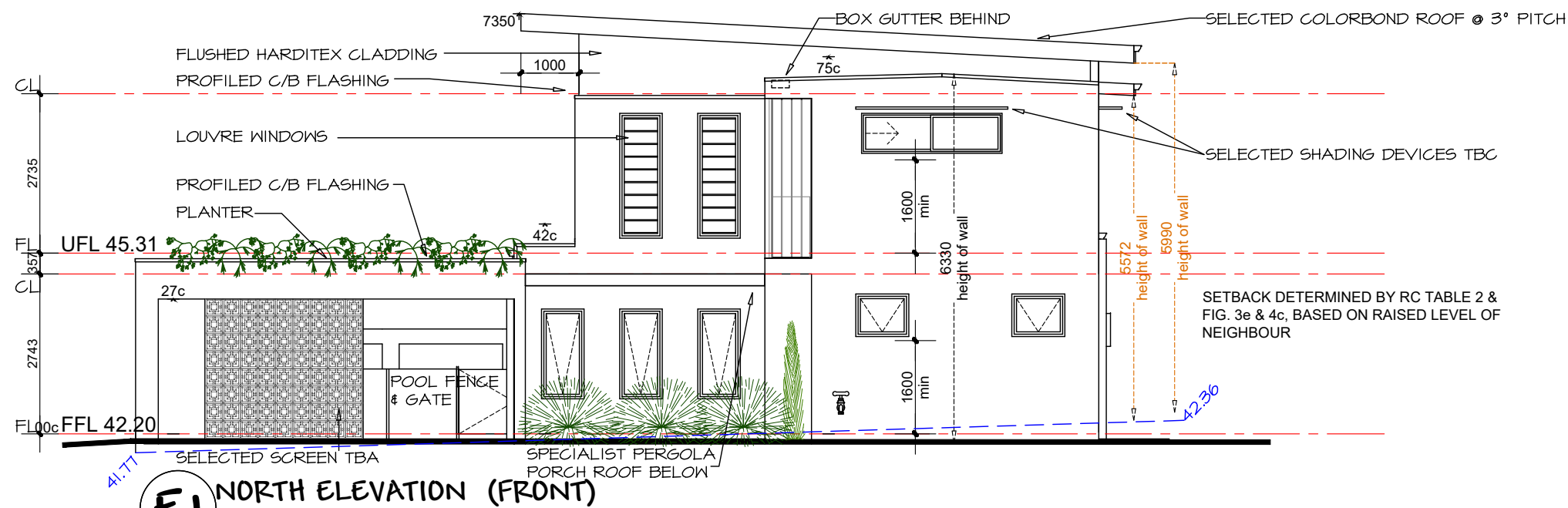
Project
 Moreing Road
 Attadale WA 6156

Proposed Double Storey
 Dwelling

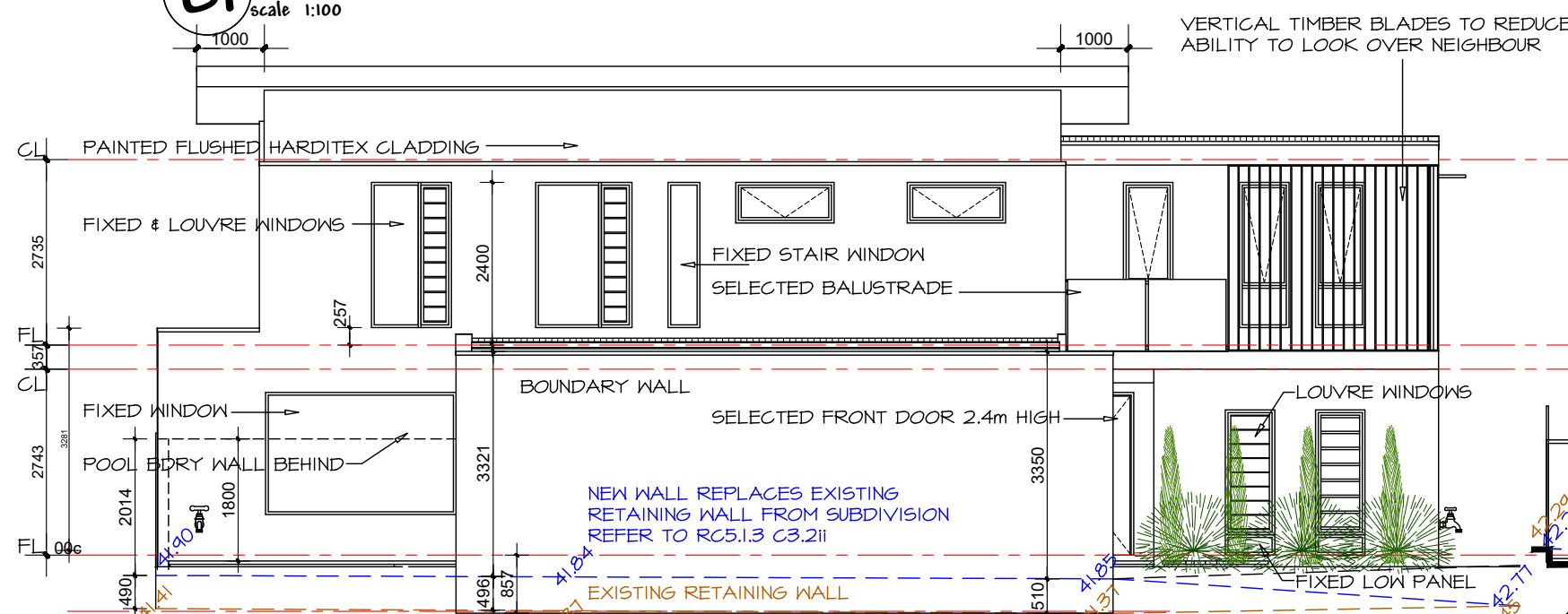
LOCAL AUTHORITY	TOTAL SITE AREA	R-CODE ZONING
City of Melville	497m ²	R40

This Drawing Title	Unit No
UpperFloorPlan	00

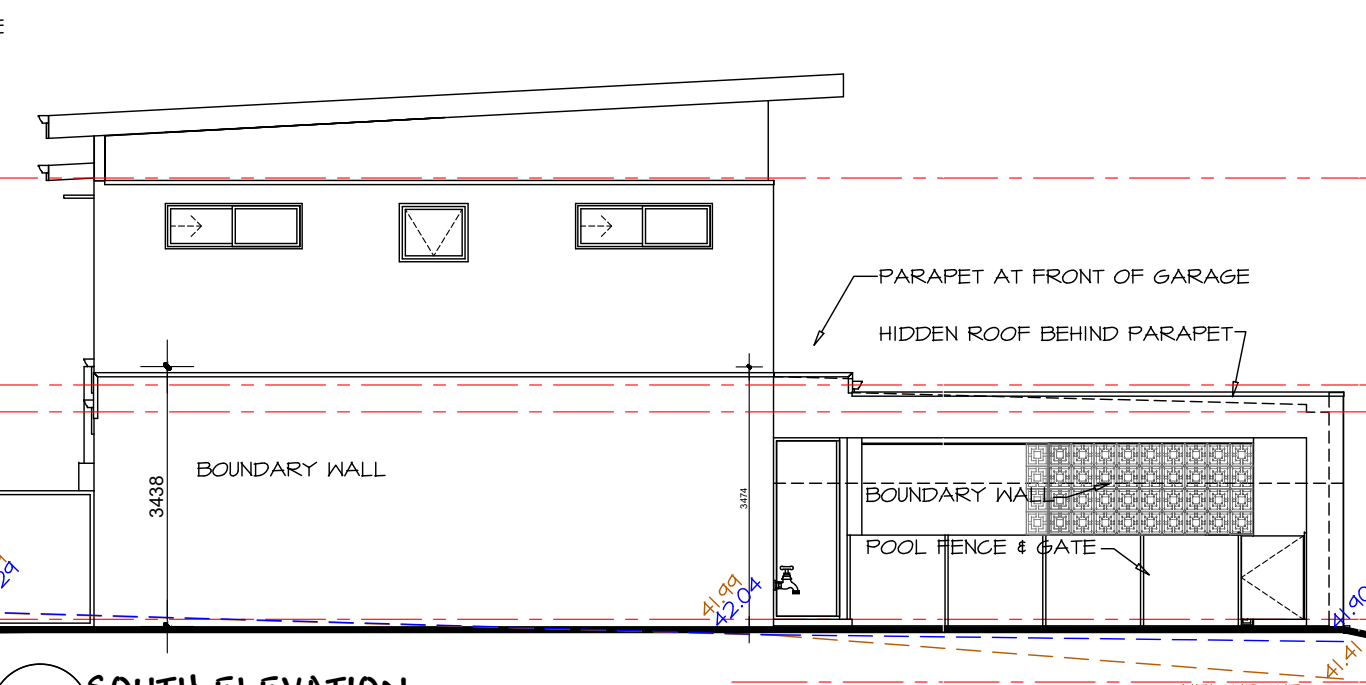
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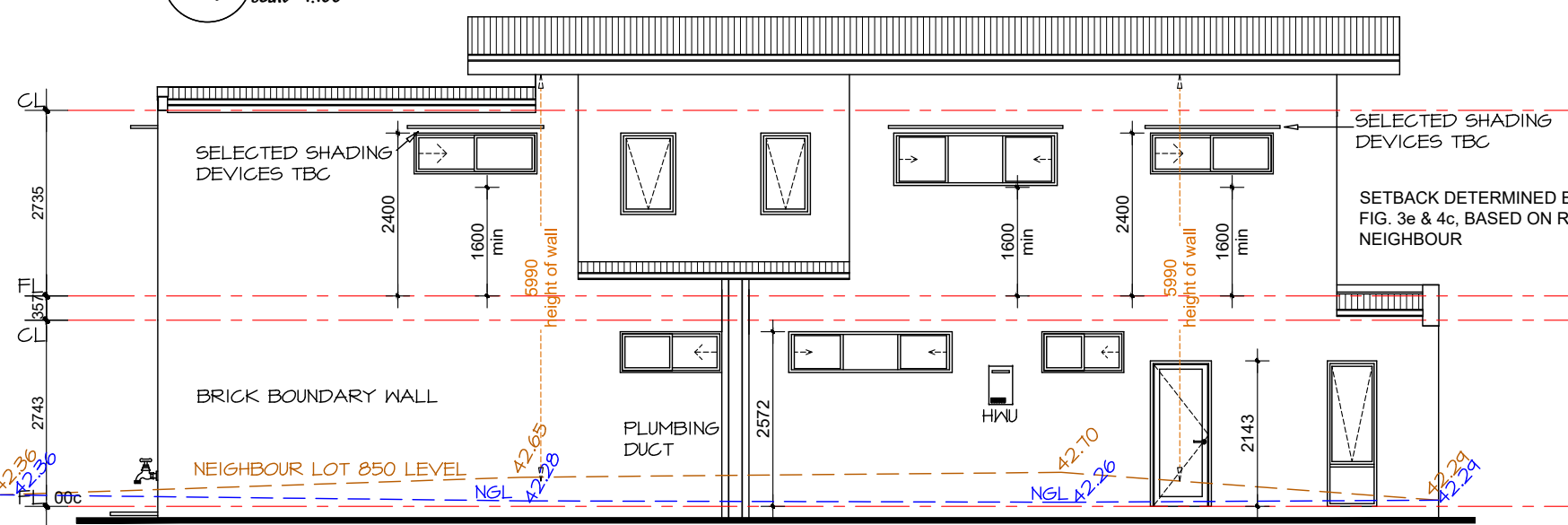
E1 NORTH ELEVATION (FRONT)
 scale 1:100



E2 EAST ELEVATION (STREET)
 scale 1:100



E3 SOUTH ELEVATION
 scale 1:100



E4 WEST ELEVATION (SIDE)
 scale 1:100

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SITE ADDRESS: lot: **2** Hse No **161b**

Project **Moreing Road Attadale WA 6156**
Proposed Double Storey Dwelling

LOCAL AUTHORITY City of Melville	TOTAL SITE AREA 497m ²	R-CODE ZONING R40
This Drawing Title Elevations		Unit No 00
Dwg file name : Form: Street-Client-StageRev-(UnitNo) AttMoreingRd-DA.dwg		Sheet No. 12