

OWNER TO REMOVE
brick paving, trees, roots
& shrubs as necessary

OWNER TO ADJUST
a/c unit as necessary

strip out Kitchen of island
bench tops, servery wall,
cabinets & wall tiling only

DEMOLITION NOTE:
form opening in WIR ceiling
to suit new staircase

PROPOSED RESIDENCE FOR:
John & Marie NORFOR

ADDRESS:
42 STIRK ROAD,
ALFRED COVE, 6154

BUILT AROUND PEOPLE

DRAWN: CC
DESIGNED: C.HADDAD
CHECKED: NC
DATE: 11/03/2022
LAST OPENED: 11/03/2022

SCALE: 1:100
SHEET: 1 OF 6
SIZE: A3
RENOVATIONS
JOB NO:
162854

Issue Name Drawn Date Issue Name Drawn Date

EXISTING FLOOR PLAN

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HOMES GROUP

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ROOF, WALL & FLOOR STEEL FRAME TO CONFORM TO AS/NZS 4600:2005

framing tie downs as per engineers drawings, details & specifications

STAIRCASE to conform to B.C.A. 3.9.1 & A.S. 1657
HANDRAIL/BALUSTRADE to conform to B.C.A. 3.9.2 & A.S. 1170.1
GOINGS = 250mm & RISERS = 177.8mm

BEAMS & FLOOR JOIST LAYOUTS refer to engineers drawings, details & specifications

WALL DIMENSION NOTE : unless otherwise noted all external dimensions are to framed walls (add 75mm for Masterwall cladding)

INSULATION NOTE: R4.1 insulation to new ceiling areas
R2.0 insulation to new external & internal walls

STEEL FLOOR FRAME NOTE : recess floor frame to Ens 2 20mm & hobless shower area 50mm

STEEL WALL FRAME NOTE : form opening in studwork to suit wet area niche as indicated on room layout sheet

TILE LAYER NOTE: brickup to suit cabinet hobs as indicated on room layout sheets

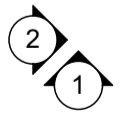
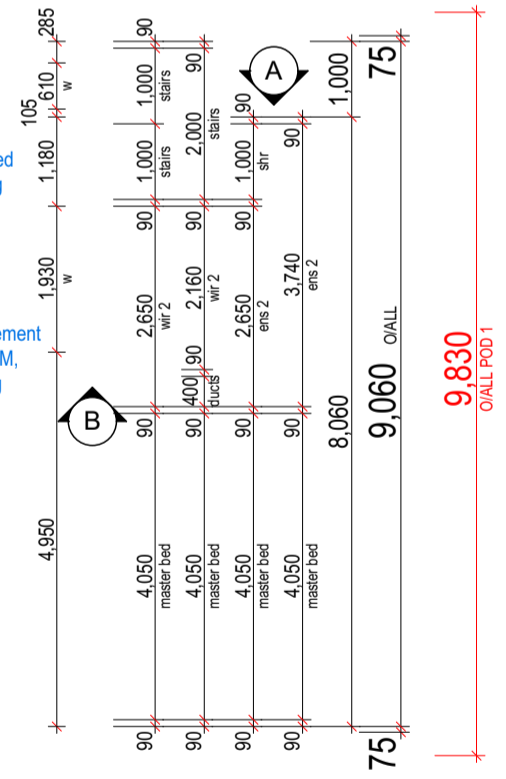
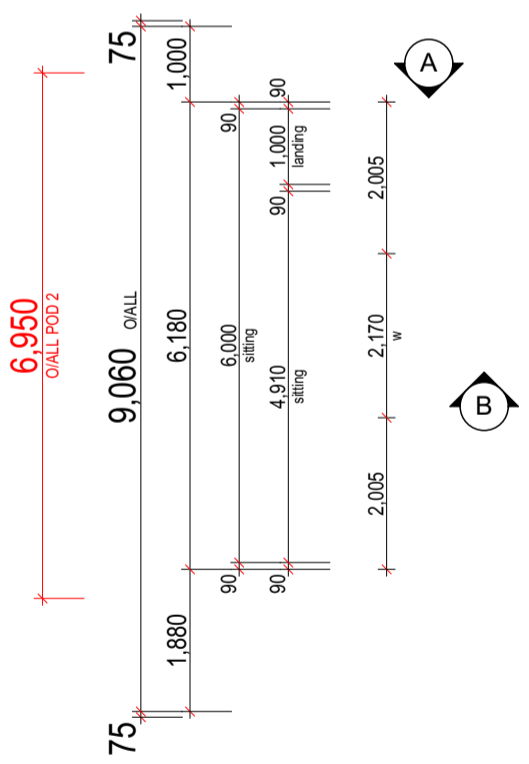
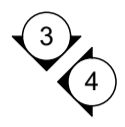
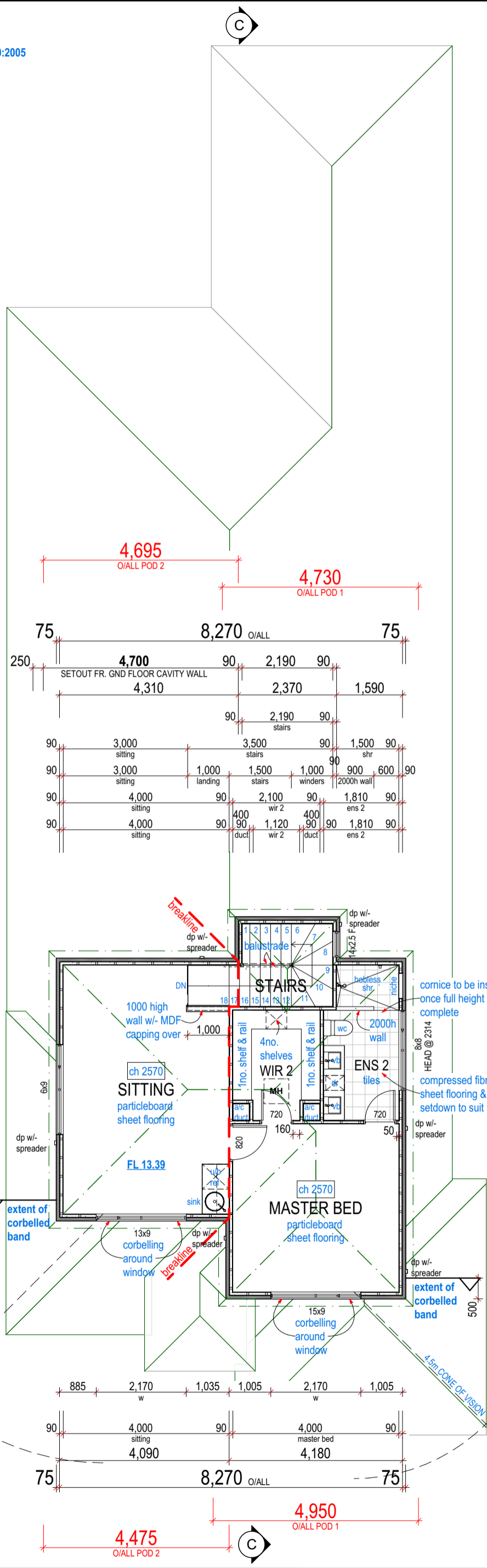
ALUMINIUM JOINERY NOTE: provide permanent restrictors to windows to conform to B.C.A 3.9.2.6

ROOF PLUMBER NOTE : provide soakers under dp(rwp) spreaders & flashing fins to valleys as necessary

TOILET DOOR NOTE: toilet door to conform to B.C.A. 3.8.3.3 VOL. 2

PAINTER NOTE: provide exterior painting of all new upper floor work only (incl. downpipes) in Watty Solver paint.

all internal painting by Owner after handover



PROPOSED RESIDENCE FOR:
John & Marie NORFOR

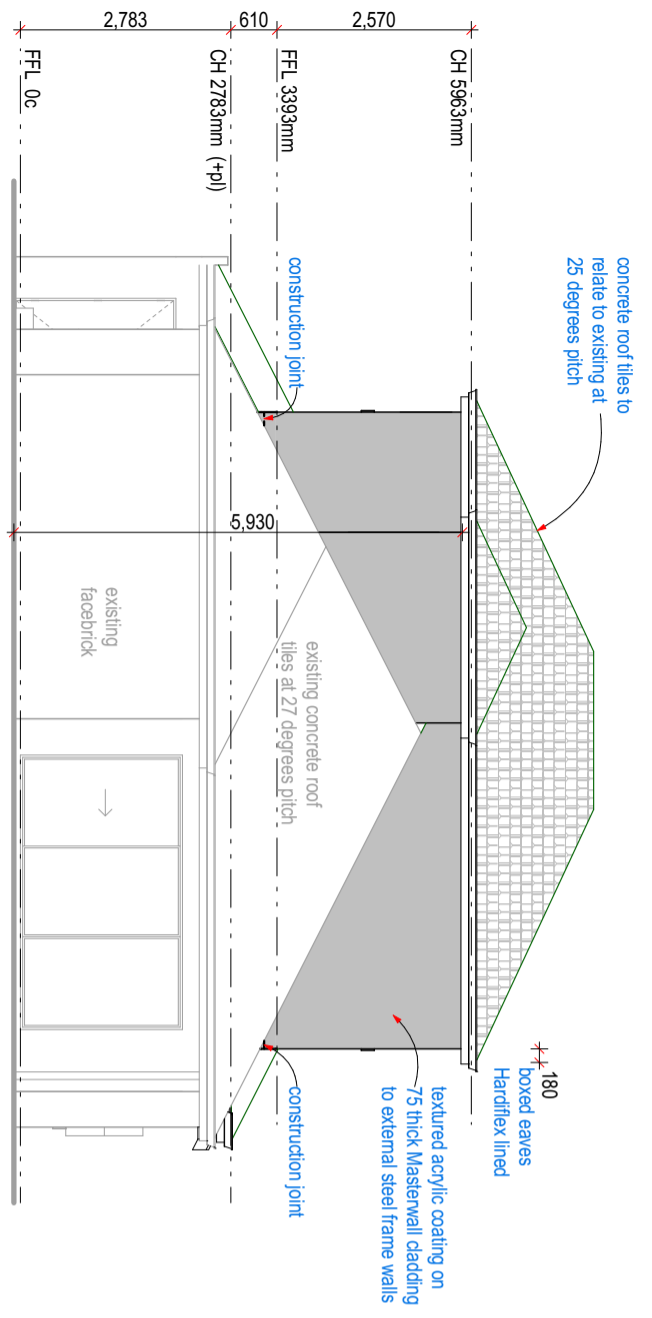
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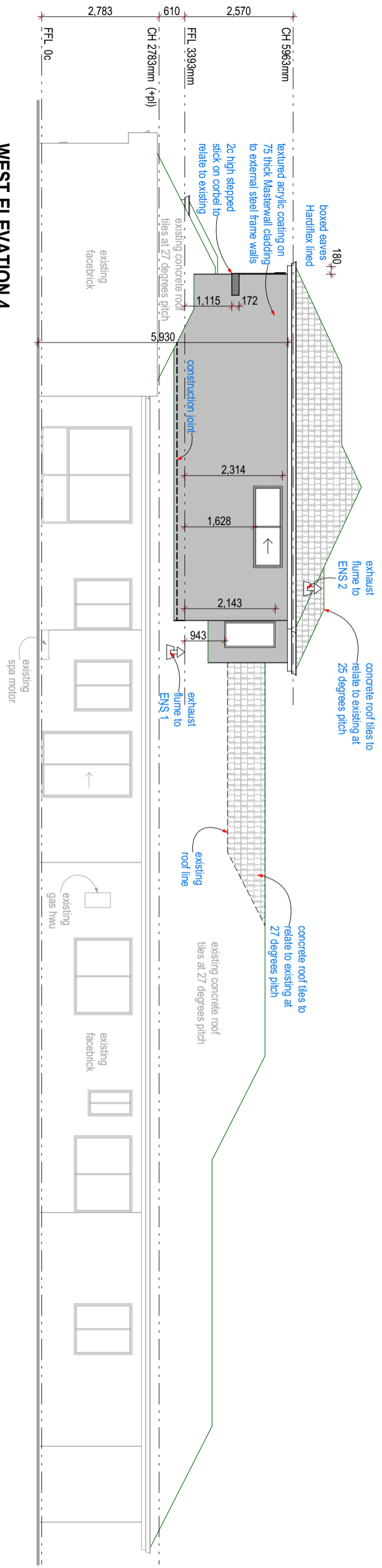
Issue Name Drawn Date Issue Name Drawn Date

PROPOSED FIRST FLOOR PLAN





SOUTH ELEVATION 3



WEST ELEVATION 4

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ALFRED COVE, 6154

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CHECKED: NC
DATE: 11/03/2022
LAST OPENED: 11/03/2022

SCALE: 1:100
SHEET: 5 OF 6
SIZE: A3
RENOVATIONS
JOB NO:
162854

Issue Name Drawn Date Issue Name Drawn Date

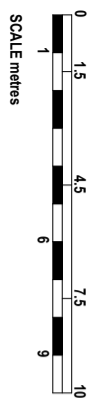
ELEVATIONS 2/2

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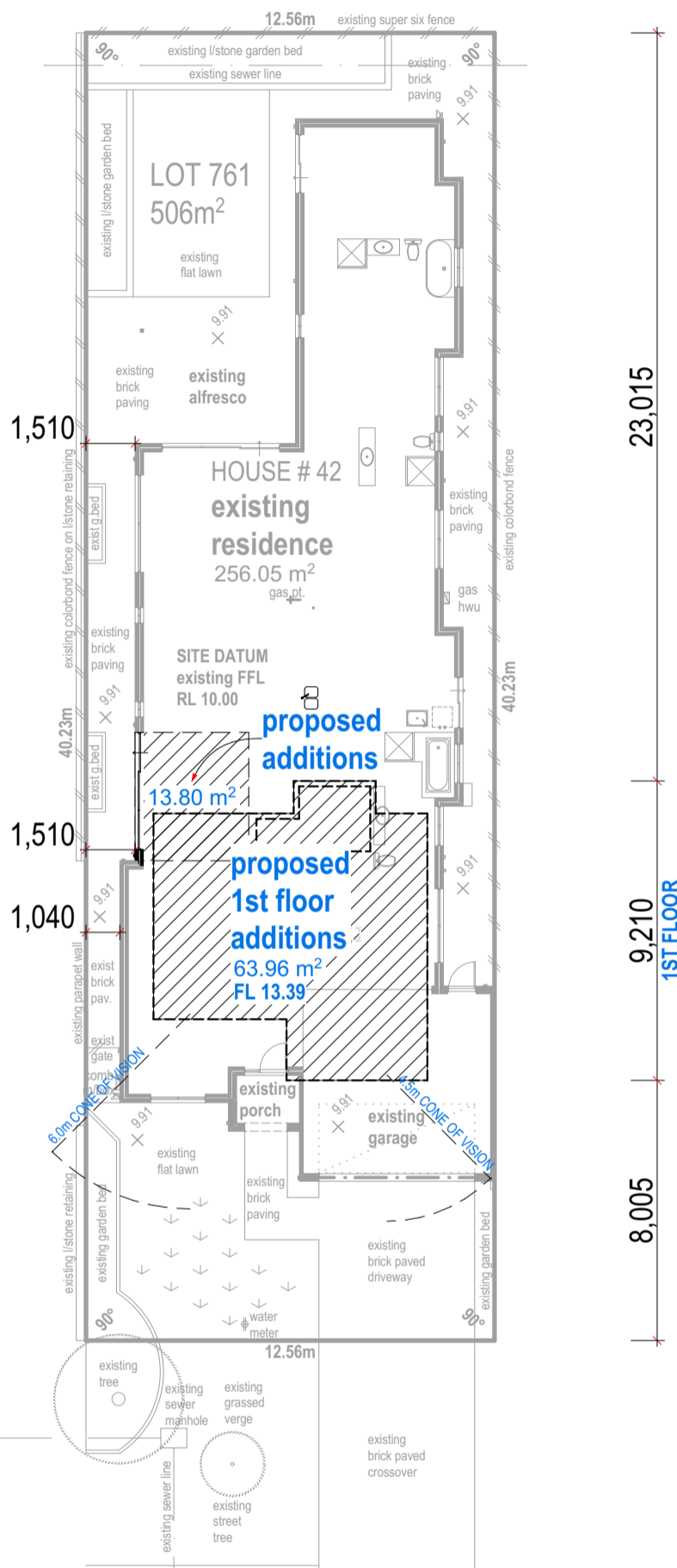
OWNER TO SUPPLY & INSTALL
STORMWATER SOAKWELLS TO
LOCAL AUTHORITY REQUIREMENTS
& SPECIFICATIONS

NEW FIRST FLOOR DOWNPIPES
TO DRAIN INTO SPREADERS &
DISCHARGE ONTO EXISTING ROOF

DUE TO SITE ORIENTATION,
OVERSHADOWING AFFECTS
SUBJECT PROPERTY ONLY

2,075 8,420 2,065
1ST FLOOR

23,800 3,520 12,840 7,440



OPEN SPACE CALCULATIONS

TOTAL AREA GROUND FLOOR =
256.05 m²(existing) + 13.80 m²(new)

Total Area = 269.85 m²

TOTAL AREA OF OPEN SPACE =

Total Lot Area = 506 m² - 269.85 m² =
236.15 m²

expressed as percentage = $236.15/506 \times 100 =$
46.7 %

STIRK ROAD

PROPOSED RESIDENCE FOR:
John & Marie NORFOR

ADDRESS:
42 STIRK ROAD,
ALFRED COVE, 6154

DRAWN: CC SCALE: 1:200
DESIGNED: C.HADDAD SHEET: 6 OF 6
CHECKED: NC SIZE: A3
DATE: 11/03/2022 RENOVATIONS
LAST OPENED: 11/03/2022 JOB NO:
162854

Issue Name Drawn Date Issue Name Drawn Date
SITE PLAN

