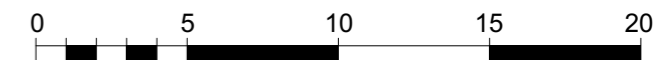


CLIENT:	PLAN: P 10827	LOT AREA: 1067m ²	SURVEY DATE: 25/02/21
BUILDER: NICHE LIVING	C/T Vol: 1376 Fol: 643	MAP REFERENCE:	
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: >1KM	
AUTHORITY: CITY OF MELVILLE	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	



FEATURE SYMBOL LEGEND

NOTES

- (1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED
- (2) DEVELOPMENT AREA: ESTABLISHED

POWER	
CABLE DOME	POWER POLE
SITE MAIN SWITCHBOARD	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

SERVICE DETAILS

WATER: L
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: A, TBC
 SEWER: L

SERVICE NOTES

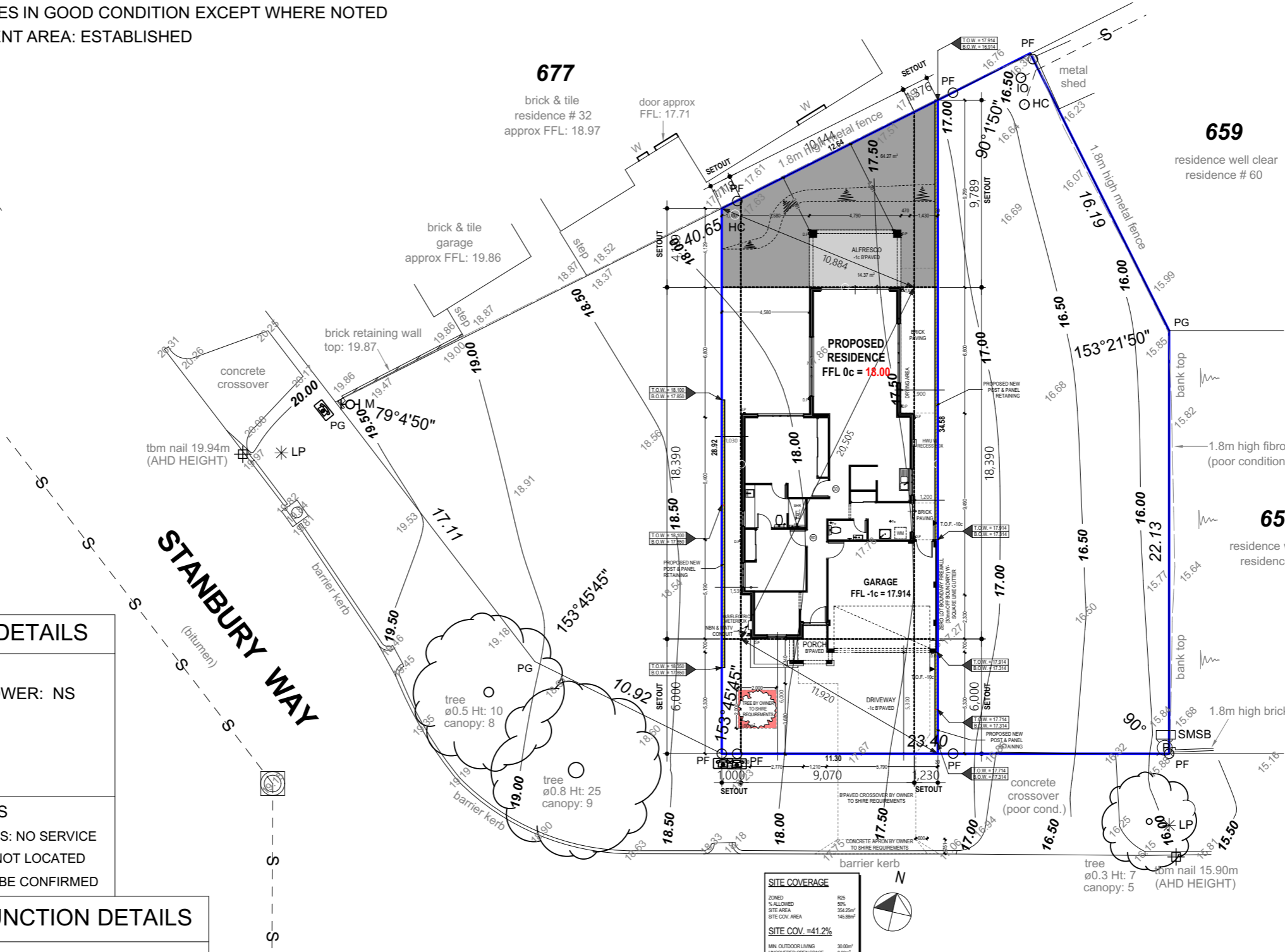
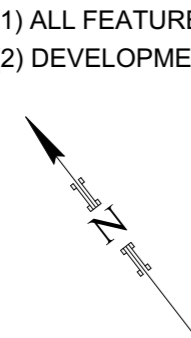
L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 14.07
 UP DISTANCE: 0.0
 DEPTH TO CONNECTION: 2.28

IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



SITE COVERAGE	
ZONED	90%
% ALLOWED	92%
SITE AREA	354.29m ²
SITE COV. AREA	145.88m ²
SITE COV. = 41.2%	
MIN. OUTDOOR LIVING	30.00m ²
UNCOVERED OPEN SPACE	8.00m ²
UNCOVERED SITE AREA	64.27m ²
COVERED SITE AREA	14.37m ²

GOULD PLACE

(bitumen)

These drawing supersede any 3D artist impressions, brochure drawings and preliminary drawings.

NOTES:

- H2 TREATED PINE IS USE FOR CONSTRUCTION OF ALL UNITS.
- EAVES ARE TO BE A MINIMUM OF 450MM FROM THE BOUNDARY AND HAVE A NON-COMBUSTIBLE LINING IN ACCORDANCE WITH FIGURE 3.7.2.7 NCC VOL 2 2019.
- SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION WILL BE INTERCONNECTED AND HARDWIRED AS PER AS 3786:2014.
- ALL EXHAUST FANS FLUMED TO EXTERNAL.

BRICKLAYER NOTES:

- 90mm 2c FACE BRICKWORK FOR 1/3 BOND
- REFER TO ENGINEERING DRAWINGS FOR HOOP IRON STRAP DETAILS.
- WEEP HOLES TO BE INSTALLED AT MAX.1200 CTRS.
- INSTALL ALCOVE FLASHING UNDER SLIDING DOORS.

GRANO NOTES:

- SMOOTH TROWEL FINISH TO HARDSTAND.
- MIN. 20mm FALL REQUIRED.

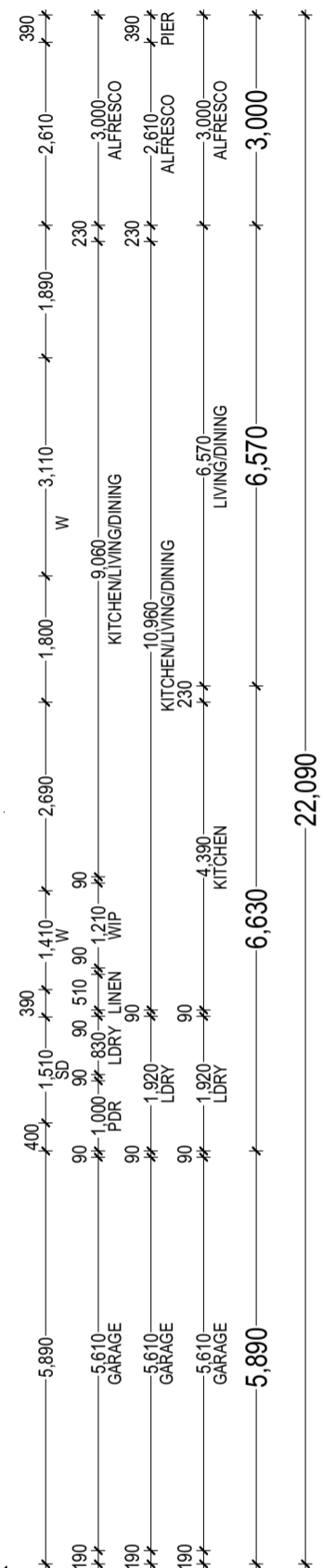
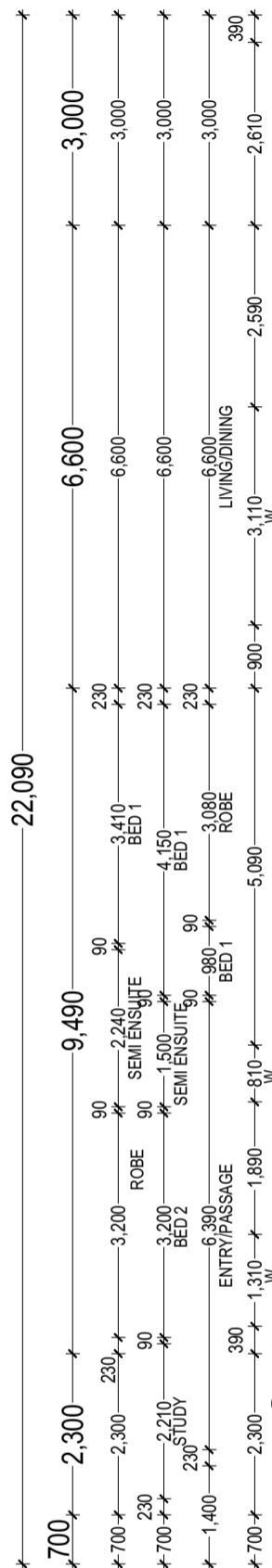
**COLORBOND ROOF @ NOTED PITCH
NON - COASTAL ZONE**

**WIND CLASSIFICATION
AS PER ENGINEER'S CERTIFICATE OF INSPECTION**

**28c + PL CEILING TO GROUND FLOOR
UNLESS NOTED OTHERWISE**

**REFER TO ADDENDA FOR
COLOUR SCHEME SELECTION**

MAIN RENDER COLOUR -----



TRADE NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE WORKS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS OR AND OTHER CONSULTANTS DETAILS.
- REFER TO ENGINEERS DETAILS FOR CONCRETE SLAB & CONCRETE FOOTING SPECIFICATIONS.
- RAIN WATER DOWN PIPE POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.
- ALL WORK TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES ETC. WORKS TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.
- EXTERNAL RENDER TO FINISH FLUSH ON TOP OF FOOTINGS WITH FUTURE TANKING BY BUILDER.

PAINTER NOTES:

- ALL PAINT TO BE DULUX.
- ALL PAINTERS TO COMPLY TO NICHELIVING SPECIFICATIONS PROVIDED.

CLIENT NOTES:

- ROOM DIMENSIONS ARE TO BRICKWORK AND DO NOT ALLOW FOR RENDER OR PLASTER. PLEASE CHECK PLAN CAREFULLY. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.

CONCRETOR / BRICKLAYER NOTES:

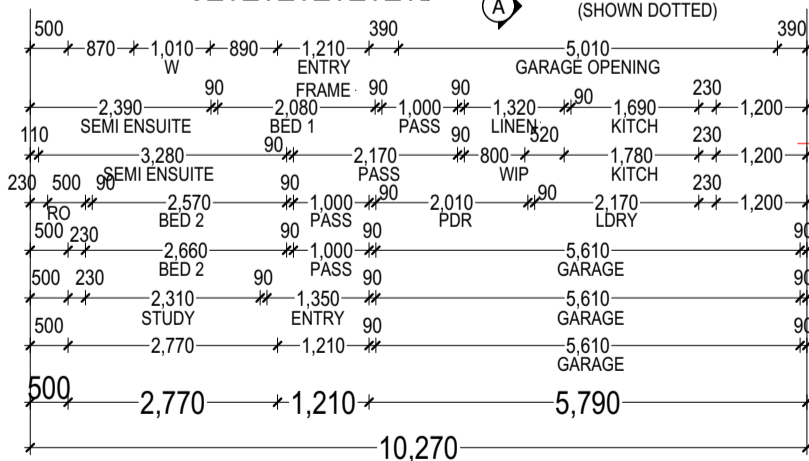
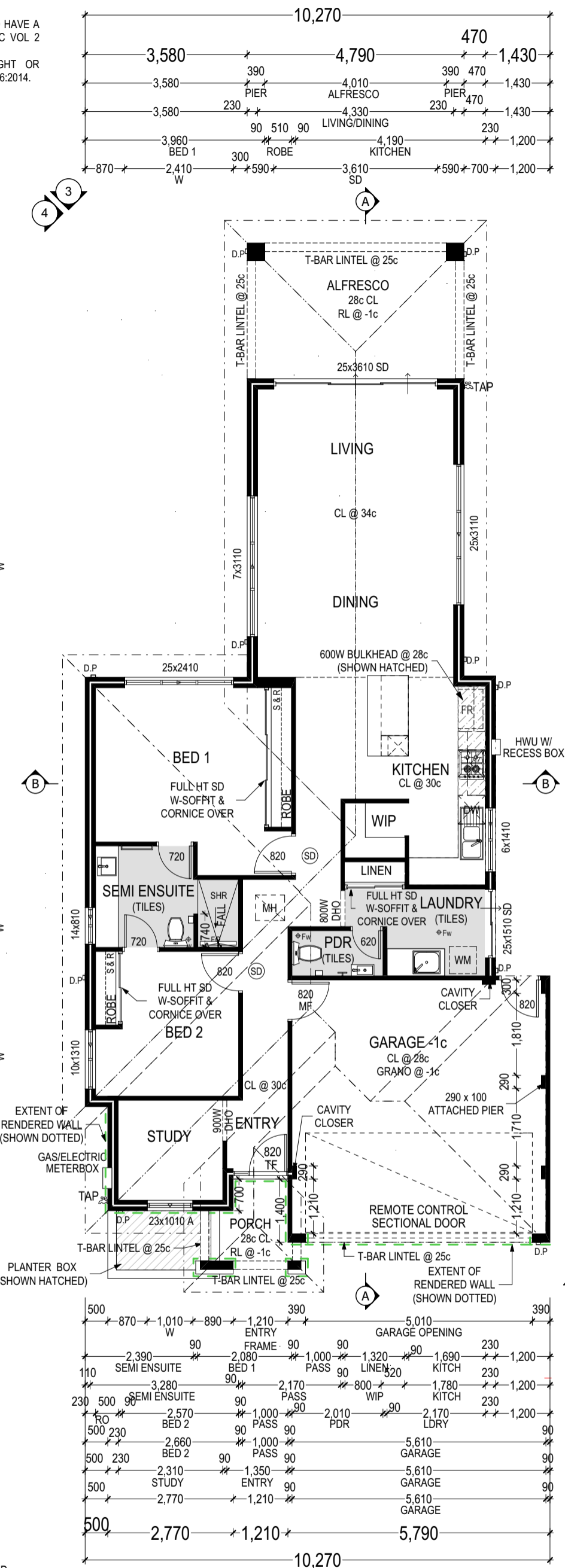
- NOTCH FOOTING BELOW METERBOX FOR GAS RUN-IN.
- ALFRESCO T.O.F. @ -3c

CARPENTER NOTES:

- MANHOLE 565 X 665.
- SOFFITS REQUIRED TO ALL ROBES.
- ALL BOX GUTTERS TO HAVE FALLS TO RAINWATER HEADS OR RAINWATER PIPES.

TERMITE TREATMENT:

- INSTALL TERMITE TREATMENT AS PER AS 3660.1



GROUND FLOOR PLAN

1:100

HOUSE AREA CALCULATION	
ID	Area
GROUND FLOOR	108.98
GARAGE	32.06
ALFRESCO	14.37
STORE	4.69
PORCH	3.54
163.64 m²	

PRELIMINARY



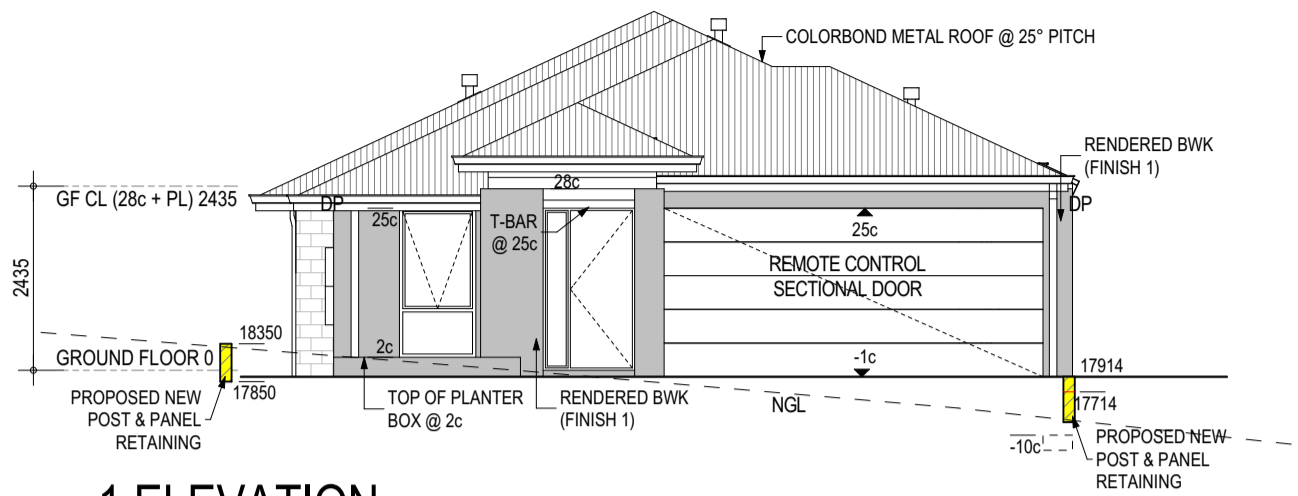
TEL: 08 9483 0000
FAX: 08 6230 5429
www.nicheliving.com.au
180 Newcastle Street,
Perth WA 6000

REVISION:		NO.	DATE	DESCRIPTION	DWN	CHK	BUILDER	OWNER	OWNER	DATE
0	11.06.21			PRELIMINARY	TH					

CLIENT:	NICHELIVING		
ADDRESS:	LOT 2 4 GOULD PLACE BOORAGOON 6154		
DRAWN:	TH	JOB No.:	NH21-0770
DATE:	18 May 21	SHEET:	3 OF 8
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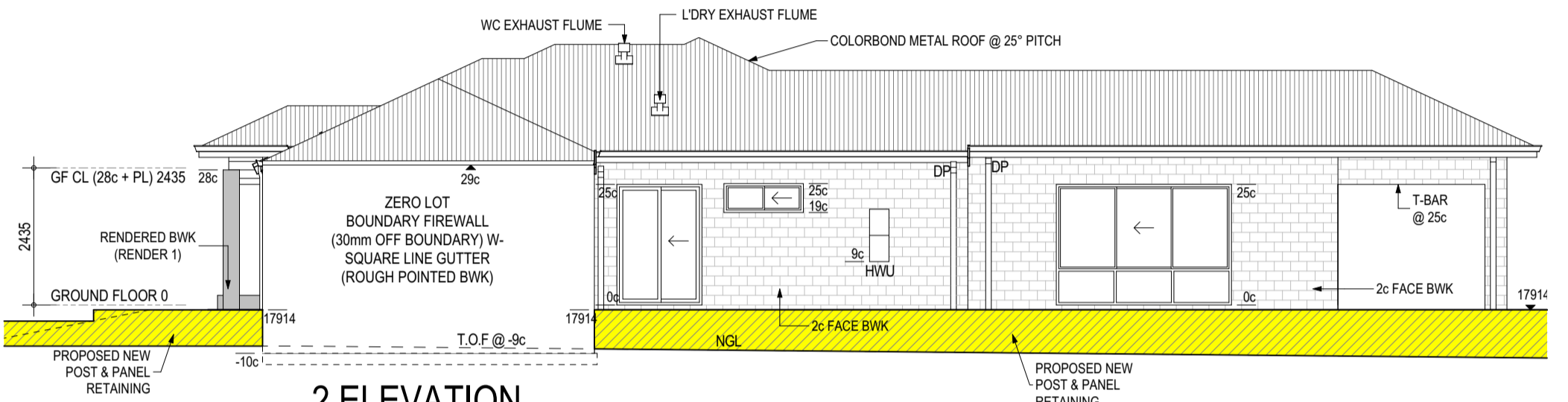
These drawing supersede any 3D artist impressions, brochure drawings and preliminary drawings.

MAIN RENDER (COLOUR 1)



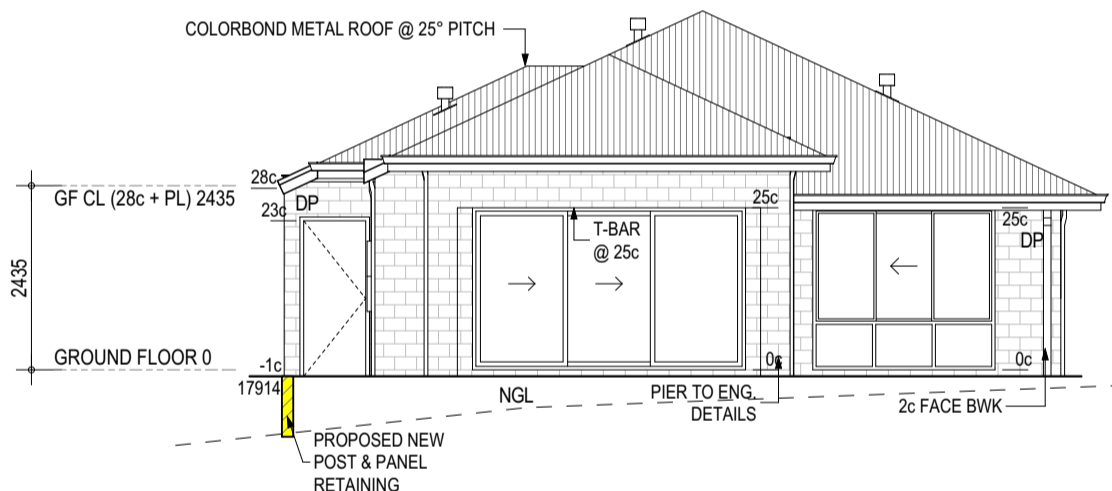
1 ELEVATION

1:100



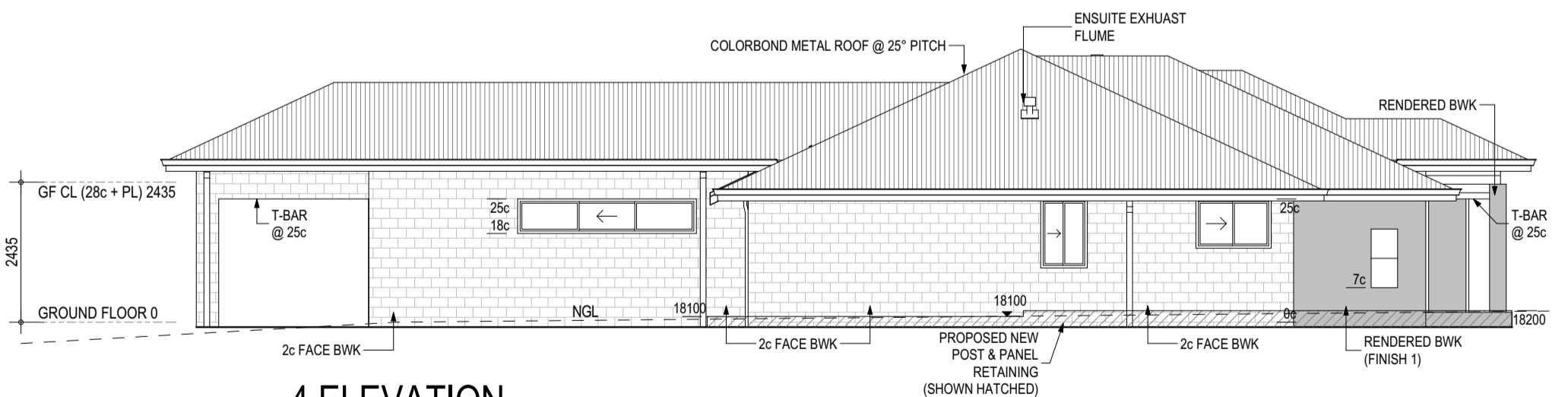
2 ELEVATION

1:100



3 ELEVATION

1:100



4 ELEVATION

1:100

NOTE:
 1. REFER TO ADDENDA FOR COLOUR SCHEME SELECTION.
 2. 2c FACE BRICKWORK TO REAR & SIDES ELEVATIONS UNLESS NOTED OTHERWISE.
 3. FIRST FLOOR WINDOWS IN ACCORDANCE WITH BCA PART 3.9.2.6.

PRELIMINARY

Nicheliving
 construction

180 Newcastle Street,
 Perth WA 6000

TEL: 08 9483 0000
 FAX: 08 6230 5429
 www.nicheliving.com.au

REVISION:		NO.	DATE	DESCRIPTION	DWN	CHK
0	11.06.21			PRELIMINARY	TH	

BUILDER
OWNER
OWNER
DATE

CLIENT:	NICHELIVING		
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