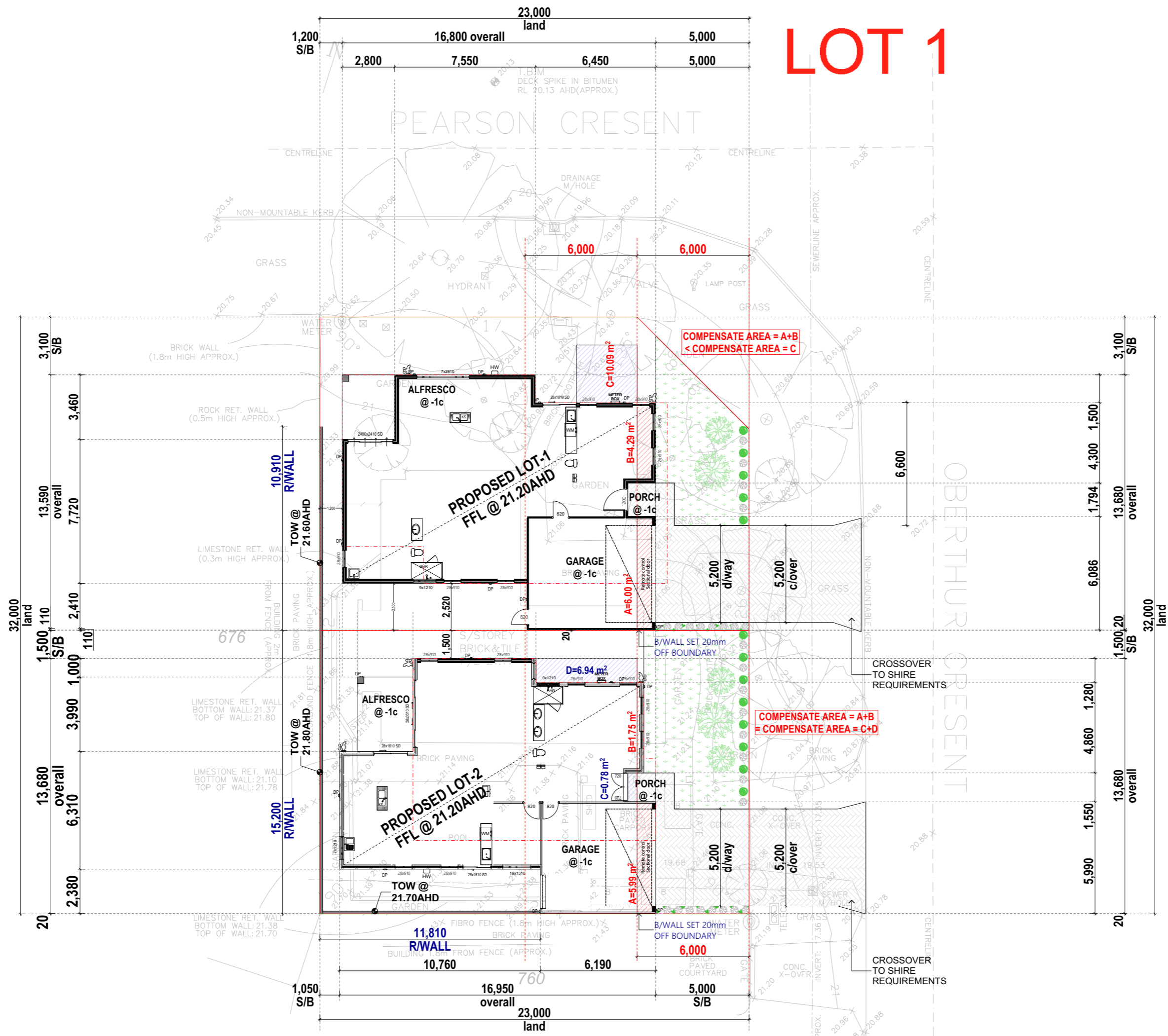


LOT 1

SITE LEGEND

SITE LEGEND	
	KANGAROO PAW
	NATURAL GRASS
	FRANGIPANI
	AUSTRALIAN LILY
	1.8m HIGH COLORBOND FENCE
	1500Ø x 900DEEP SOAK WELL
	1500Ø x 900DEEP SOAK WELL WITH TRAFFICABLE LID



PROPOSED SITE + LANDSCAPE PLAN
SCALE 1:200

DATE	REV	COMMENTS

ISSUED FOR BUILDING PERMIT



ZEDES Studio
Design and Drafting

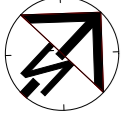
Perth Office
55A Leach Highway, Kewdale WA 6105
T: +61 8 9469 3249
E: hoo@zedes.com.au W: www.zedes.com.au

PROJECT ADDRESS:
2 Pearson Crescent, Bull Creek, WA 6149

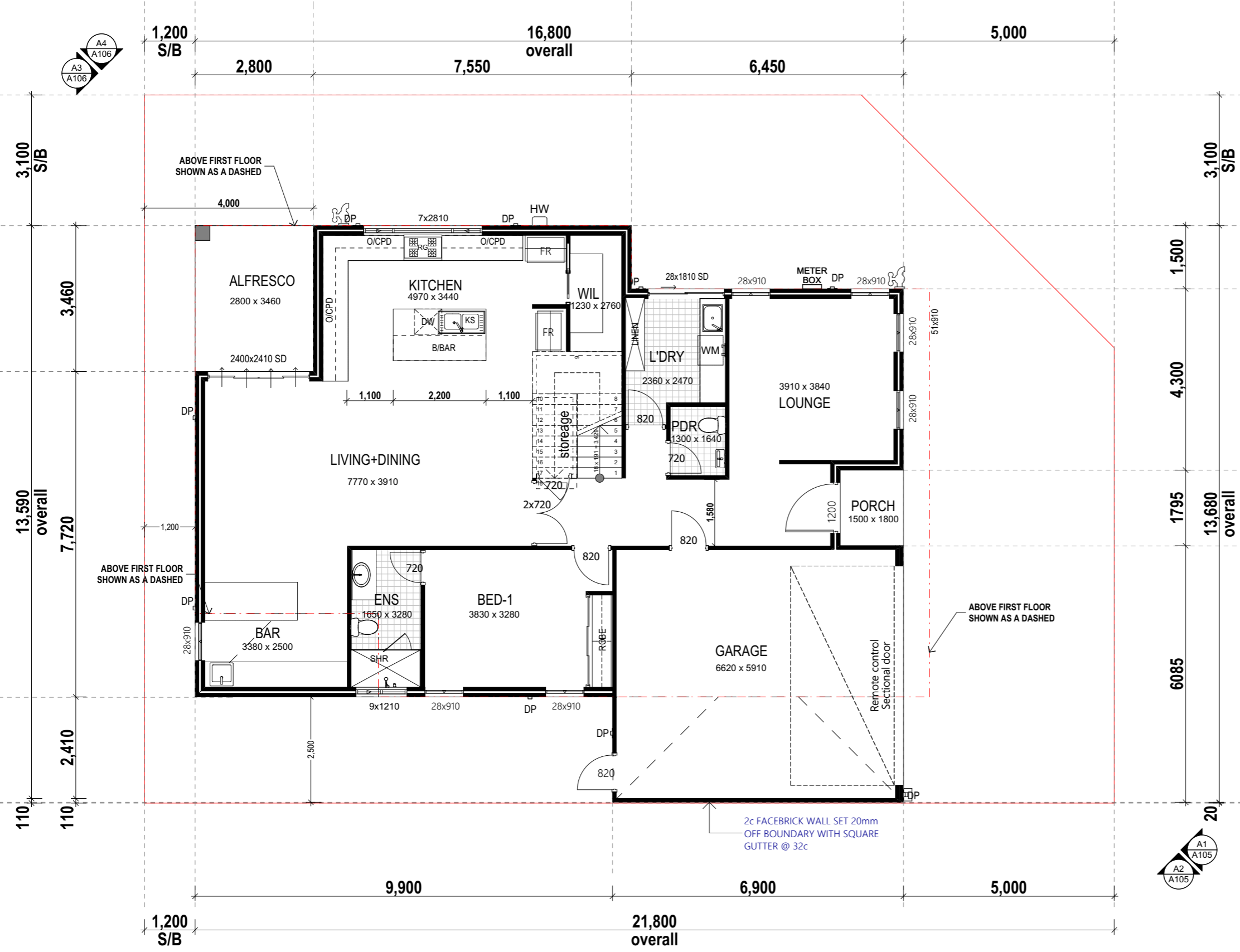
DRAWING TITLE
SITE PLAN+LANDSCAPE PLAN

DRAWN Ludovica Springolo	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2021-01	DATE: 06/08/2021	REV: SHEET A3

SHEET
A102 OF A117



LOT 1



RESIDENCE LOT 1 AREAS	
SITE AREA	368.40 m ²
SITE COVER	181.93 m ² (49.38%)
OPEN SPACE	186.47 m ² (50.62%)
<hr/>	
GROUND FLOOR	143.60 m ²
GARAGE / STORAGE	39.33 m ²
PORCH	2.70 m ²
ALFRESCO	9.89m ²
<hr/>	
GROUND FLOOR	195.52 m²
FIRST FLOOR	172.97 m²
TOTAL FLOOR AREA	368.49 m²

PROPOSED LOT-1 GROUND FLOOR PLAN
SCALE 1:100

ISSUED FOR BUILDING PERMIT

ZEDES Studio
Design and Drafting

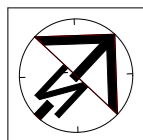
Perth Office
55A Leach Highway, Kewdale WA 6105
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PROJECT ADDRESS:
2 Pearson Crescent, Bull Creek, WA 6149

DRAWING TITLE
LOT-1 GROUND FLOOR PLAN

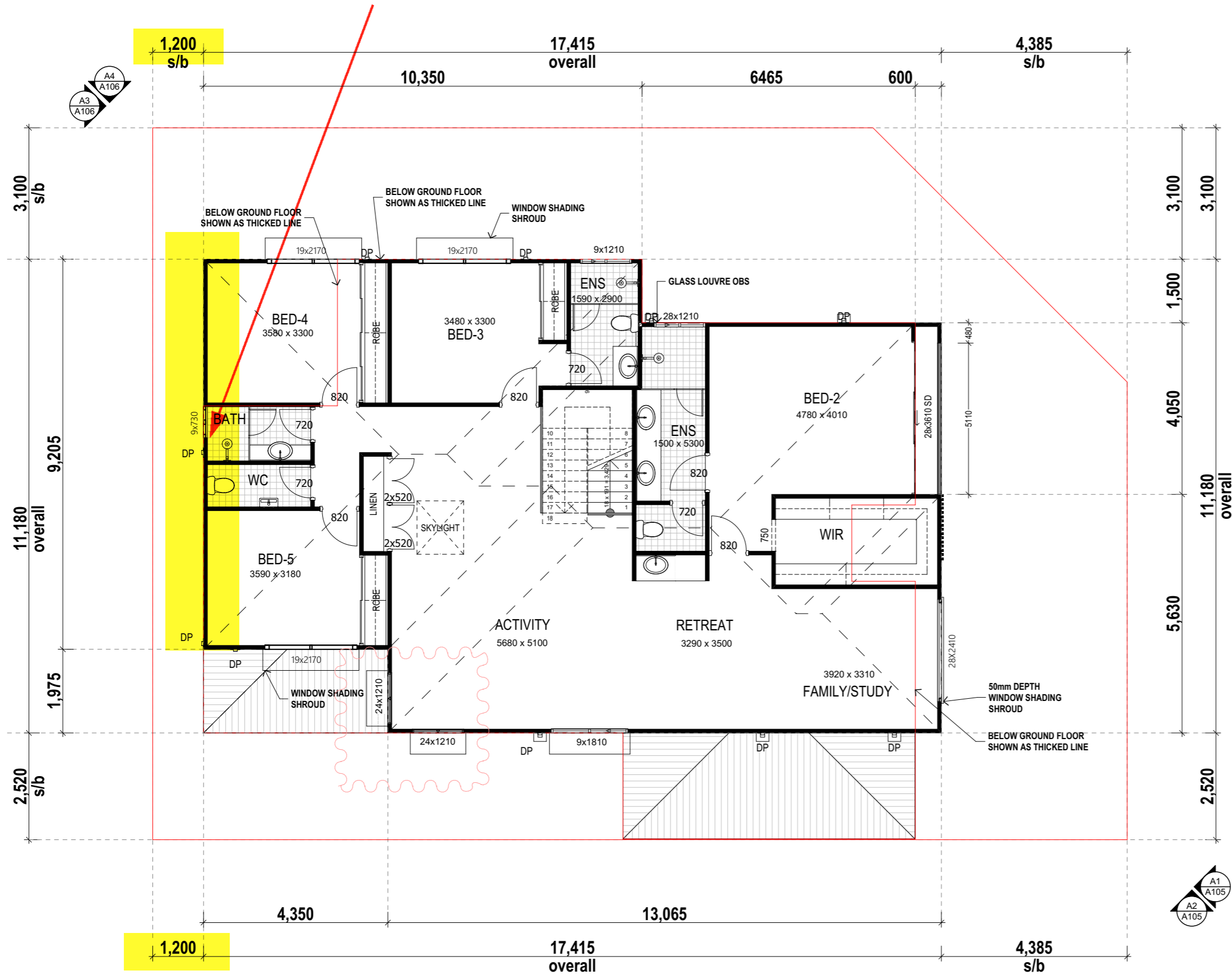
DRAWN Ludovica Springolo	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2021-01	DATE: 06/08/2021	REV: SHEET A3

SHEET
A103 OF A117



ADVERTISED VARIATION

LOT 1



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PROPOSED LOT-1 FIRST FLOOR PLAN
SCALE 1:100

DATE	REV	COMMENTS

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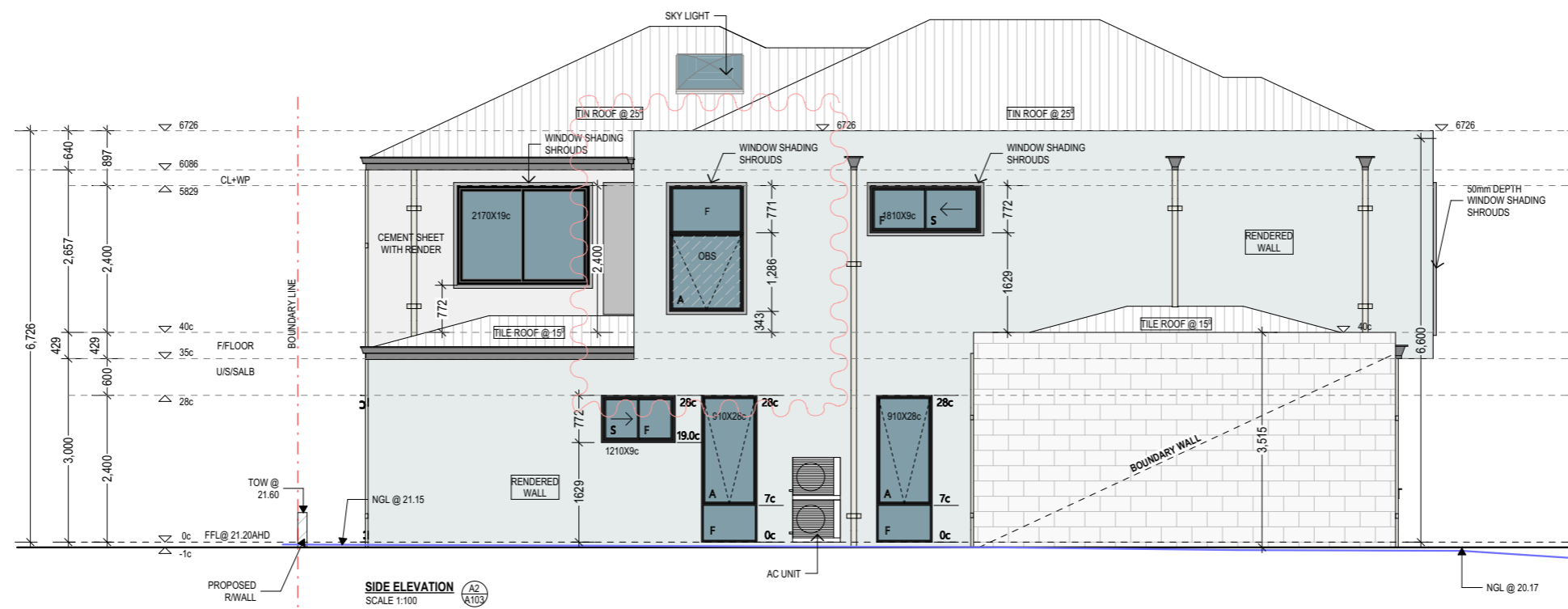
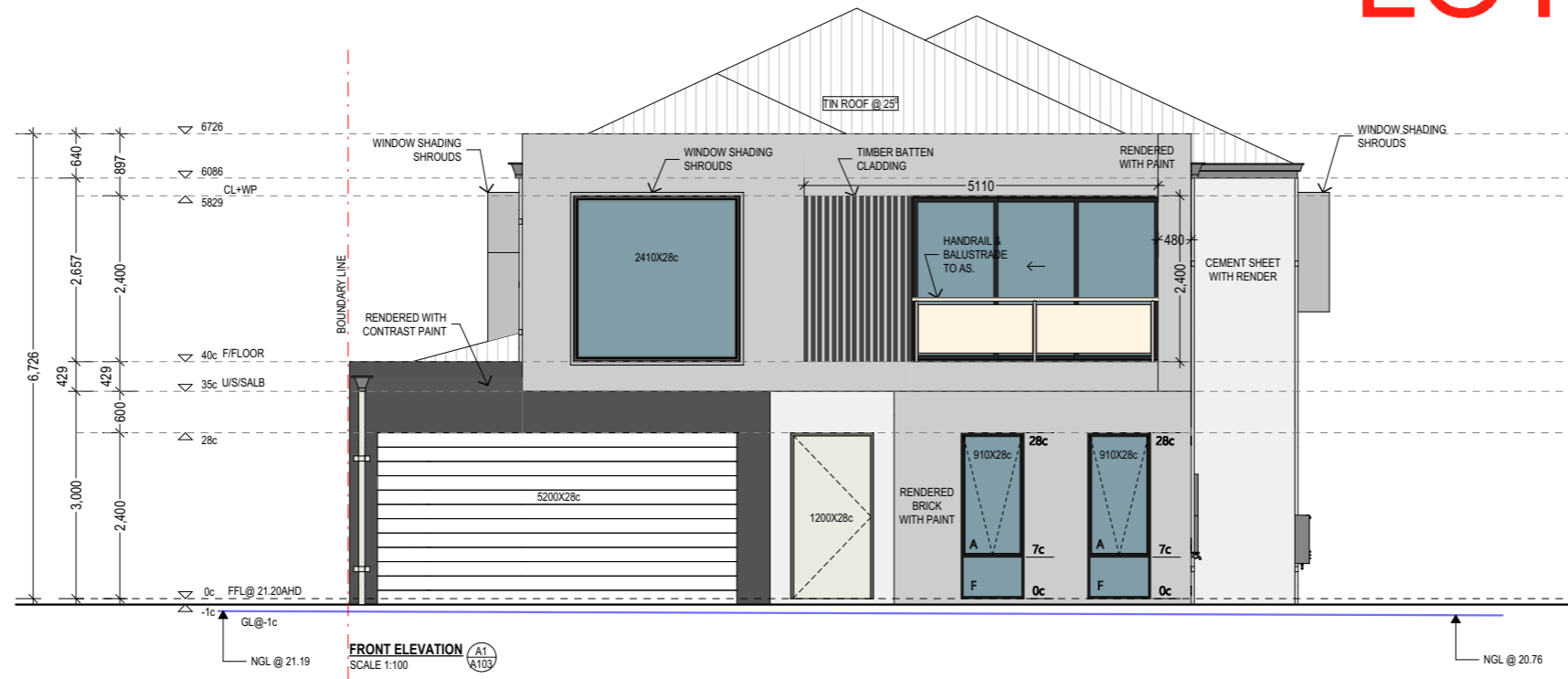
PROJECT ADDRESS:
2 Pearson Crescent, Bull Creek, WA 6149

DRAWING TITLE
LOT-1 FIRST FLOOR

DRAWN	CHECKED	SCALE:
Ludovica Springolo		AS SHOWN
JOB NUMBER:	DATE:	REV:
2021-01	06/08/2021	SHEET
		A3

SHEET
A104 OF A117

LOT 1



CONSTRUCTION NOTES

TERMITE TREATMENT: HANDSRPAY CHLORPIRYFOS (DURBAN OR SIMILAR) IN ACCORD WITH NCC & AS3660.1.

ALL BRICKWORK SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE.

ALL TIMBER ROOF FRAMING & ROOF TIE-DOWN SHALL BE IN ACCORDANCE WITH AS1684.

SUPPLY AND INSTALL APPROVED HARD-WIRED SMOKE ALARMS BY LICENCED ELECTRICIAN IN ACCORDANCE WITH AS3786.

SUPPLY & INSTALL VENTILATION TO REQUIRED WET AREA BY LICENCED ELECTRICIAN IN ACCORDANCE WITH AS1688.

ALL GAS FITTINGS AND OUTLETS TO BE IN ACCORDANCE WITH GAS STANDARD REGULATIONS 1999.

THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSIONS ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS & TO NOTIFY THE DESIGNER.

GENERAL NOTES

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DATE	REV	COMMENTS

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DRAWING TITLE

LOT-1 ELEVATIONS

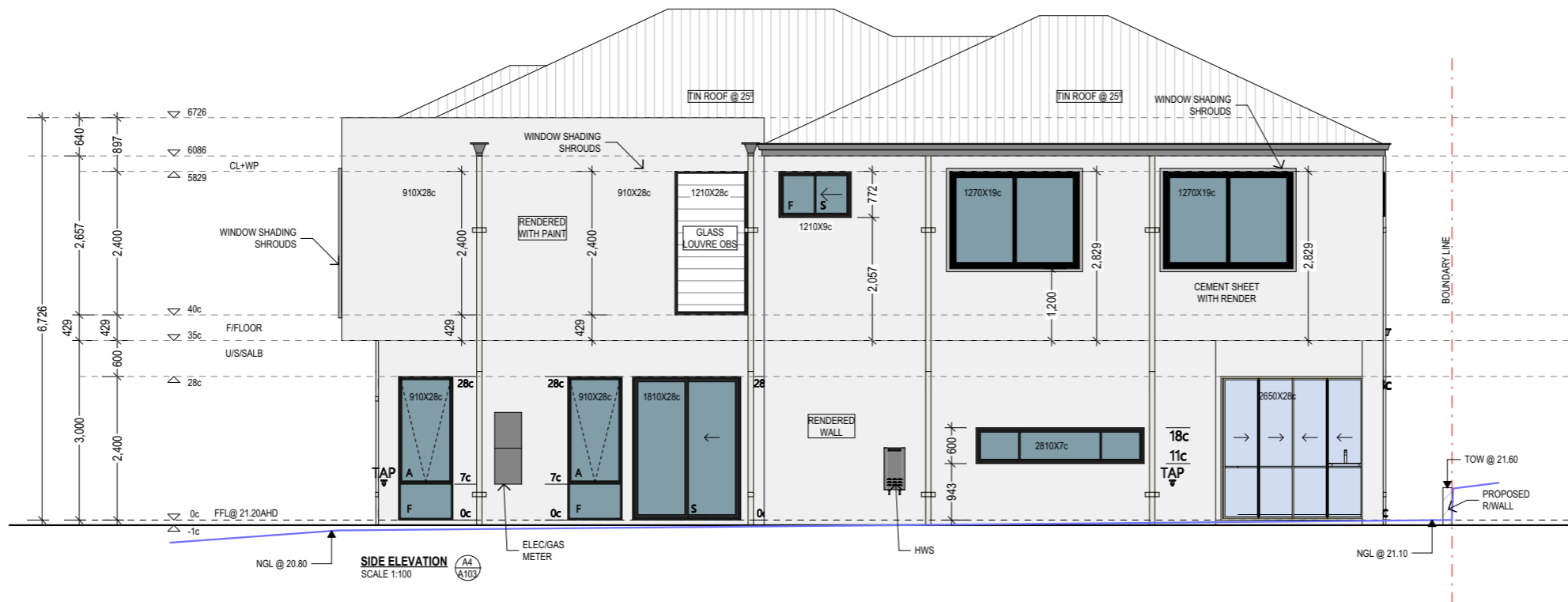
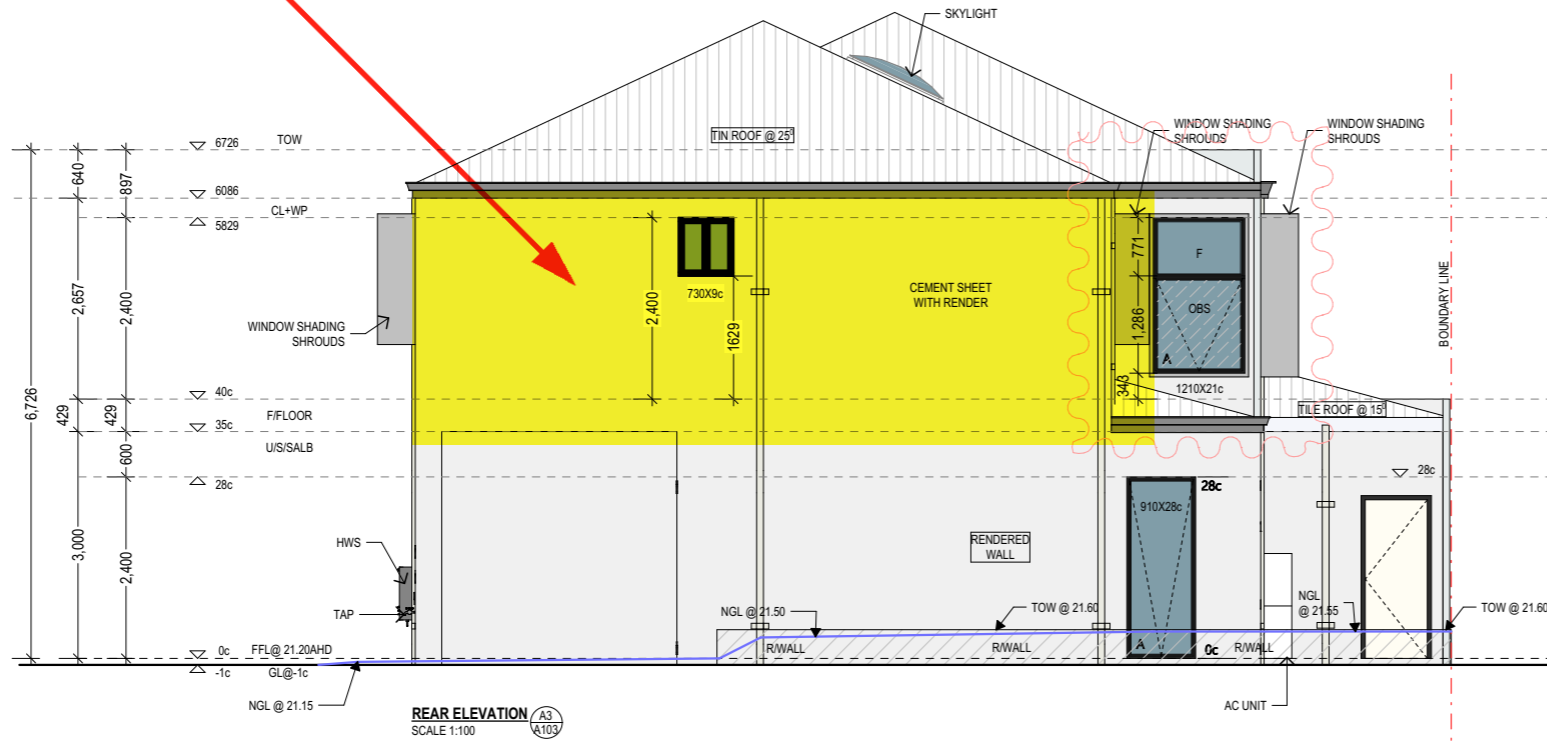
DRAWN	CHECKED	SCALE:
Ludovica Springolo		AS SHOWN
JOB NUMBER:	DATE:	REV:
2021-01	06/08/2021	
SHEET		
A3		

SHEET

A105 OF A117

ADVERTISED VARIATION

LOT 1



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PROJECT ADDRESS:

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DRAWING TITLE

LOT-1 ELEVATIONS

DRAWN Ludovica Springolo	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2021-01	DATE: 06/08/2021	REV: SHEET A3

SHEET

A106 OF A117

Attention: Chief Executive Officer
City of Melville
Locked Bag 1
Booragoon WA 6954

Planning Justification Report | 2 Pearson Crescent, Bull Creek

Dear Sir/Madam

The purpose of this report is to provide a justification for several variations to the deemed to comply provisions of the applicable planning framework following a comprehensive planning assessment for two proposed two-storey single houses at No. 2 Pearson Crescent, Bull Creek, henceforth known as the 'subject site'.

Background

1. The subject site is zoned R20 with a site area of 718m².
2. A subdivision approval for two residential lots has been issued by the Western Australian Planning Commission consistent with the proposed residential development.

Variations and justifications

The proposal has been assessed against R-Codes and the City's local planning policies. The following section outlines variations identified by the consultant planner and provides justification against relevant design principles, objectives and relevant planning considerations.

Element	Proposed	Deemed to comply
Lot 1 western ground floor Living and Dining Room to Alfresco wall setback	1.2m	1.5m
Lot 1 western first floor Bed 2 to Bed 5 wall setback	1.2m	1.5m
Lot 2 northern first floor Master Bedroom to Balcony wall setback	2.8m	3.0m
Design Principle justification: <i>5.1.3 Lot boundary setback</i> <i>P3.1 Buildings set back from lot boundaries or adjacent building on the same lot so as to:</i> <ul style="list-style-type: none">• Reduce impacts of building bulk on adjoining properties;• Provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties;• Minimize the extent of overlooking and resultant loss of privacy		

Lot 1 western lot boundary setback variations

- The proposed western lot boundary setback of 1.2m for both floors in lieu of 1.5m is a minor variation that would not result in any significant building bulk impact on the adjoining property;
- Direct sun and ventilation to habitable rooms and outdoor living areas would not be compromised as the proposed variation would only largely affect an existing front garden area and no habitable room would be significantly affected;
- There is considered to be no visual privacy concerns as no major openings are being proposed on the upper floor;
- The proposed variation to western lot boundary would have no overshadowing impact on the adjoining property in accordance with R-Codes requirements;
- The proposed western facade contains a shorter upper floor wall than the lower floor wall resulting in reduced building bulk impact;

Lot 2 northern first floor Master Bedroom to Balcony wall setback

- The proposed northern lot boundary setback of 2.8m in lieu of 3m is a minor variation that would not result in any significant building bulk impact on the adjoining property;
- Direct sun and ventilation to habitable rooms would not be compromised as there is at least 4m between the two buildings;
- The visual privacy impact from the Master Bedroom is considered to be acceptable as it would only overlook the adjoining garage roof area;
- The setback variation stems from the proposed major opening with building bulk setback being compliant;

For reasons above, it is considered that these variations satisfy relevant design principles and should be supported.

Element	Proposed	Deemed to comply
Lot 1 and 2 Garage boundary walls	Average height – 3.429m	Average height – 3.0m

Design Principle justification:

5.1.3 Lot boundary setback

P3.2 Buildings built up to boundaries (other than the street boundary) where this:

- *Makes more effective use of space for enhanced privacy for the occupants or outdoor living areas;*
- *Does not compromise the design principle contained in clause 5.1.3 P3.1;*
- *Does not have any adverse impact on the amenity of the adjoining property;*
- *Ensures direct sun to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and*
- *Positively contributes to the prevailing or future development context and streetscape as outlined in the local planning framework.*

The 3m average height requirement for boundary walls has been removed from the 2021 R-Codes and will be removed in the City's draft Local Planning Policy 3.1 that has been adopted by Council and is currently being advertised. It is therefore considered that the variation meets the above design principles.

Element	Proposed	Deemed to comply
Open space for Lot 1	49.6% (182.8m ²)	50%(184.2m ²)

Design Principle justification:

5.1.4 Open space

P4 Development incorporates suitable open space for its context to:

- *Reflect the existing and/or desired streetscape character or as outlined under the local planning framework;*
- *Provided access to natural sunlight for the dwelling;*
- *Reduce building bulk on the site, consistent with the expectations of the applicable density code and/or as outlined in the local planning framework;*
- *Provide an attractive setting for the buildings, landscape, vegetation and streetscape;*
- *Provided opportunities for residents to use space external to the dwelling for outdoor pursuits and access within/around the site; and*
- *Provide space for external fixtures and essential facilities.*

Given the proposed open space variation is less than 2 square metres, it is considered that the variation is extremely minor. A Landscaping Plan that includes generous front lawn area and mature trees is proposed to be included in the proposal. As such, it is considered that the proposed variation satisfies relevant design principles and should be supported.

Element	Proposed	Deemed to comply
Outdoor living area for Lot 1	Area required – 26m ² Uncovered area required – 16m ²	Area required – 30m ² Uncovered area required – 20m ²

Design Principle justification:

5.3.1 Outdoor living areas

P1.1 A consolidated outdoor living area is provided to each single house and grouped dwelling which provides space for entertaining, leisure and connection to the outdoors that is:

- *Of sufficient size and dimension to be functional and usable;*
- *Capable of use in conjunction with a primary living area of the dwelling;*
- *Sufficient in uncovered area to allow for winter sun and natural ventilation into the dwelling;*
- *Sufficient in uncovered area to provide for landscaping, including the planting of a tree(s); and*
- *Optimize use of the northern aspect of the site.*
- The outdoor living area is directly accessible from the living and dining rooms.
- While the overall size of the proposed outdoor living area is less than 30m², there are ample outdoor spaces around the building to be functional and usable, noting the northerly 3.1m wide yard area located adjacent to the alfresco.
- The outdoor living area would not affect winter sun and natural ventilation into the dwelling.
- While the outdoor living area contains a portion of the secondary street setback area, it is highly likely that the area would be fenced to be used as an active outdoor space not visible from the street.
- The outdoor living area would optimize use of the northern aspect of the site.

For reasons above, it is considered that the variation satisfies the relevant design principles and should be supported.

Element	Proposed	Deemed to comply
Vehicular access for Lot 1	Access to garage to be provided from the primary street	Access to garage to be provided from a secondary street

5.3.5 Vehicular access

P5.1 Vehicular access provided for each development site to provide:

- *Vehicle access safety;*
- *Reduced impact of access points on the streetscape;*
- *Legible access;*
- *Pedestrian safety;*
- *Minimal crossovers; and*
- *High quality landscaping features.*
- The secondary street is not suitable for vehicular access as it is constrained by the presence of two existing street trees and a drainage entry pit.
- The WAPC has granted a subdivision approval to the site allowing one vehicular access to each approved lot.

- Pedestrian safety would not be affected as the existing footpath is located on the other side of the Oberthur Crescent.
- The street setback areas would be well landscaped in accordance with the proposed Landscaping Plan.

For the reasons above, it is considered that the variation satisfies relevant design principles and should be supported.

Element	Proposed	Deemed to comply
Visual privacy – Lots 1 and 2	Lot 2 - Master Bedroom north facing window setback 2.8m	4.5m

5.4.1 Visual privacy

P1.1 Minimal direct overlooking of an active habitable spaces and outdoor living areas of adjacent dwellings achieved through:

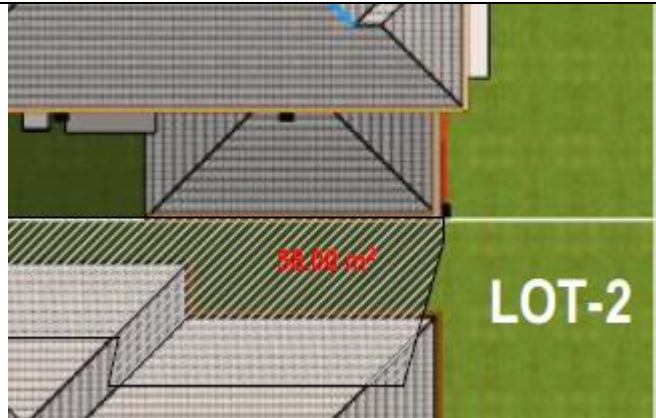
- *Building layout and location;*
- *Design of major openings;*
- *Landscape screening of outdoor active habitable spaces; and/or*
- *Location of screening devices.*

P1.2 Maximum visual privacy to side and rear boundaries through measures such as:

- *Offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;*
- *Building to the boundary where appropriate;*
- *Setting back the first floor from the side boundary;*
- *Providing higher or opaque and fixed windows; and/or*
- *Screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters).*

Lot 2 – Master Bedroom north facing window

While the Master Bedroom window only sets back 2.8m from the northern strata lot boundary, it would not overlook an active habitable space or outdoor living area of adjacent dwelling. The window would only overlook the garage roof area to the north. As such, it is considered that the proposed variation satisfies relevant design principles and should be supported.



Based on the above, it is considered that the proposed variation satisfies relevant design principles and should be supported.

Summary

Willetton Planning and Design is of the opinion that the proposal is consistent with the Design Principles of Residential Design Codes in respect of lot boundary setbacks, boundary walls, outdoor living area, vehicular access and visual privacy. The proposal presents a suburban housing typology in a suburban setting. The new dwellings are sympathetic to the surrounding environment and will be a welcome addition to the locality.

Should clarification on any aspects of the development be required, please feel free to contact the applicant or myself via 0490 217 420.

Yours sincerely

Kevin Tang

Xiaoxun Tang
Director

WESTERN



AUSTRALIA

REGISTER NUMBER 675/P11482	
DUPLICATE EDITION 6	DATE DUPLICATE ISSUED 7/8/2013

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME
1431

FOLIO
60

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 675 ON PLAN 11482

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

CRW INVESTMENT GROUP PTY LTD OF 185 RIVERTON DRIVE SHELLEY WA 6148
(T O787705) REGISTERED 30/6/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. B371698 RESTRICTIVE COVENANT BURDEN REGISTERED 18/7/1977.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

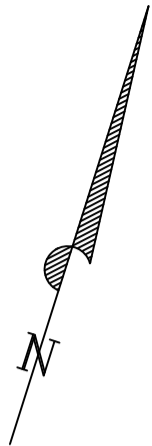
STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1431-60 (675/P11482)
PREVIOUS TITLE: 1431-46
PROPERTY STREET ADDRESS: 2 PEARSON CR, BULL CREEK.
LOCAL GOVERNMENT AUTHORITY: CITY OF MELVILLE

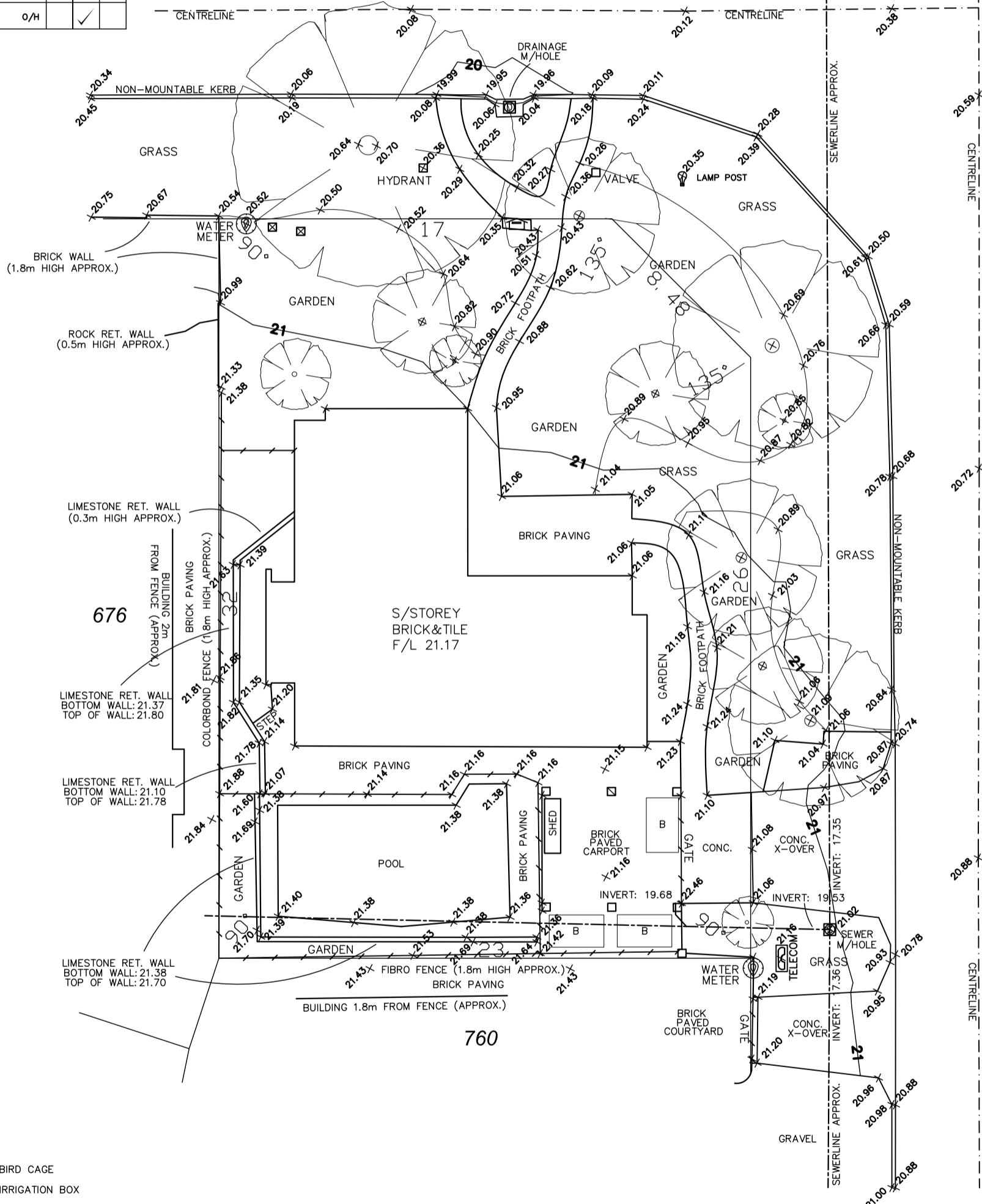
NOTE 1: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING
O787705

SERVICE RECORD			
SERVICE	STATUS		
	LOCATED	NOT LOCATED	PLOTTED FROM PLANS
WATER	✓		
SEWER	✓		✓
GAS		✓	
TELSTRA	✓		
POWER U/G		✓	
O/H		✓	



20.13 T.B.M
DECK SPIKE IN BITUMEN
RL 20.13 AHD(APPROX.)

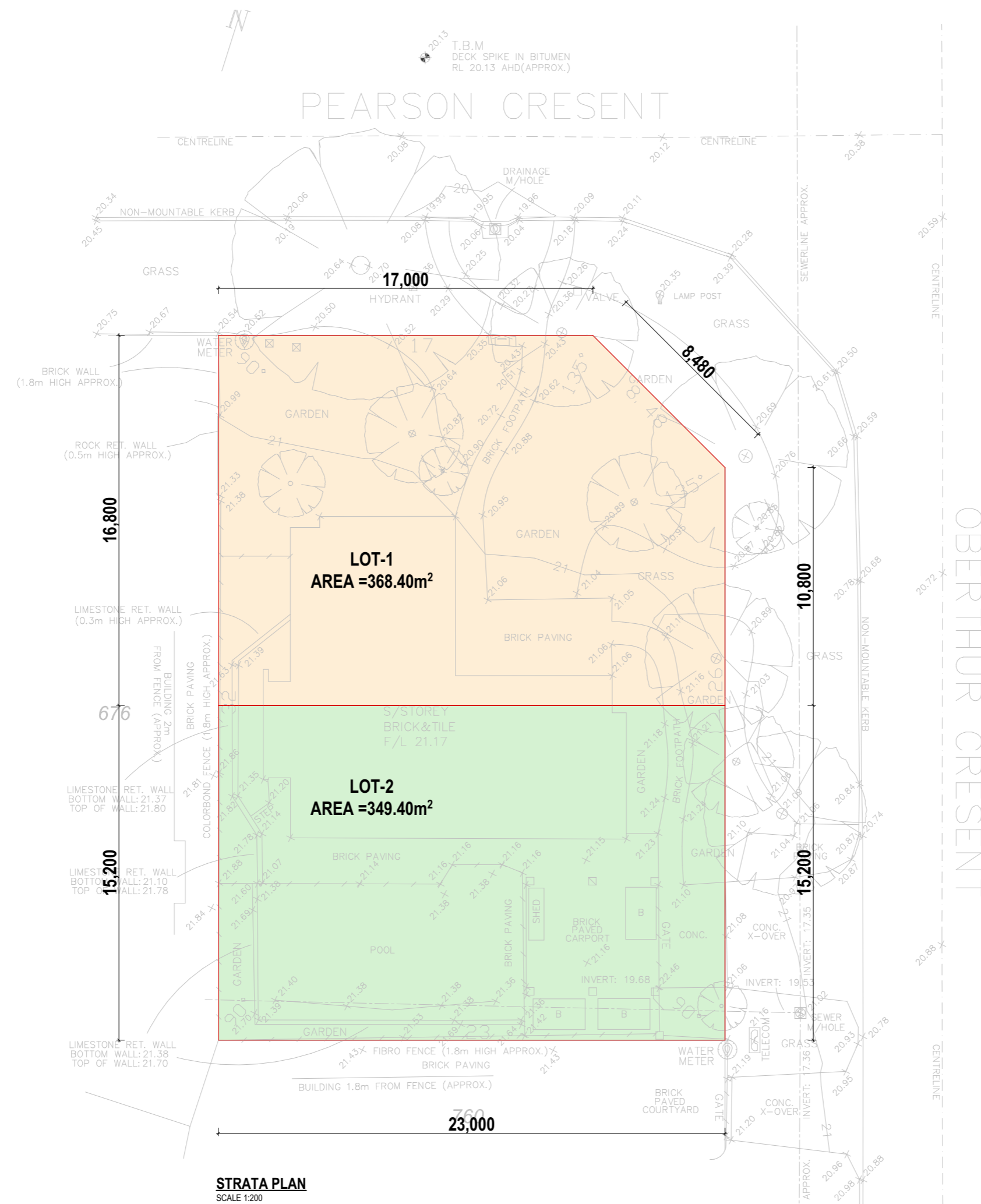
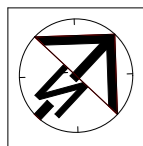
PEARSON CRESENT



- ☐ BIRD CAGE
- ☒ IRRIGATION BOX

TOTAL AREA 718m² AS PER PLAN 11482
NOTE: SEWER LOCATION IS PLOTTED FROM WATER CORPORATION PLANS AND IS TO BE CONSIDERED APPROXIMATE ONLY.
ACCURATE LOCATION OF THE SEWER TO BE VERIFIED PRIOR TO BUILDING DESIGN OR CONSTRUCTION.

FEATURE SURVEY OF LOT 675(2) PEARSON CRESENT, BULL CREEK CLIENT: RENWEN & LUCY CUI DATE: 3/3/2021		Site survey only location of boundary pegs or fences in relation to the boundary is not guaranteed	
SCALE: 1:200 @ A3	PLAN: 11482	C/T: 1431/60	LOCAL AUTHORITY: CITY OF MELVILLE DATUM: AHD(APPROX.)
TUSCOM SUBDIVISION CONSULTANTS Pty. Ltd. (08 9316 8388)		SURVEYOR: LZ	DRAWN: LZ CHECKED: AVGR



CONSTRUCTION NOTES

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DATE	REV	COMMENTS

ISSUED FOR BUILDING PERMIT

ZEDES Studio
Design and Drafting

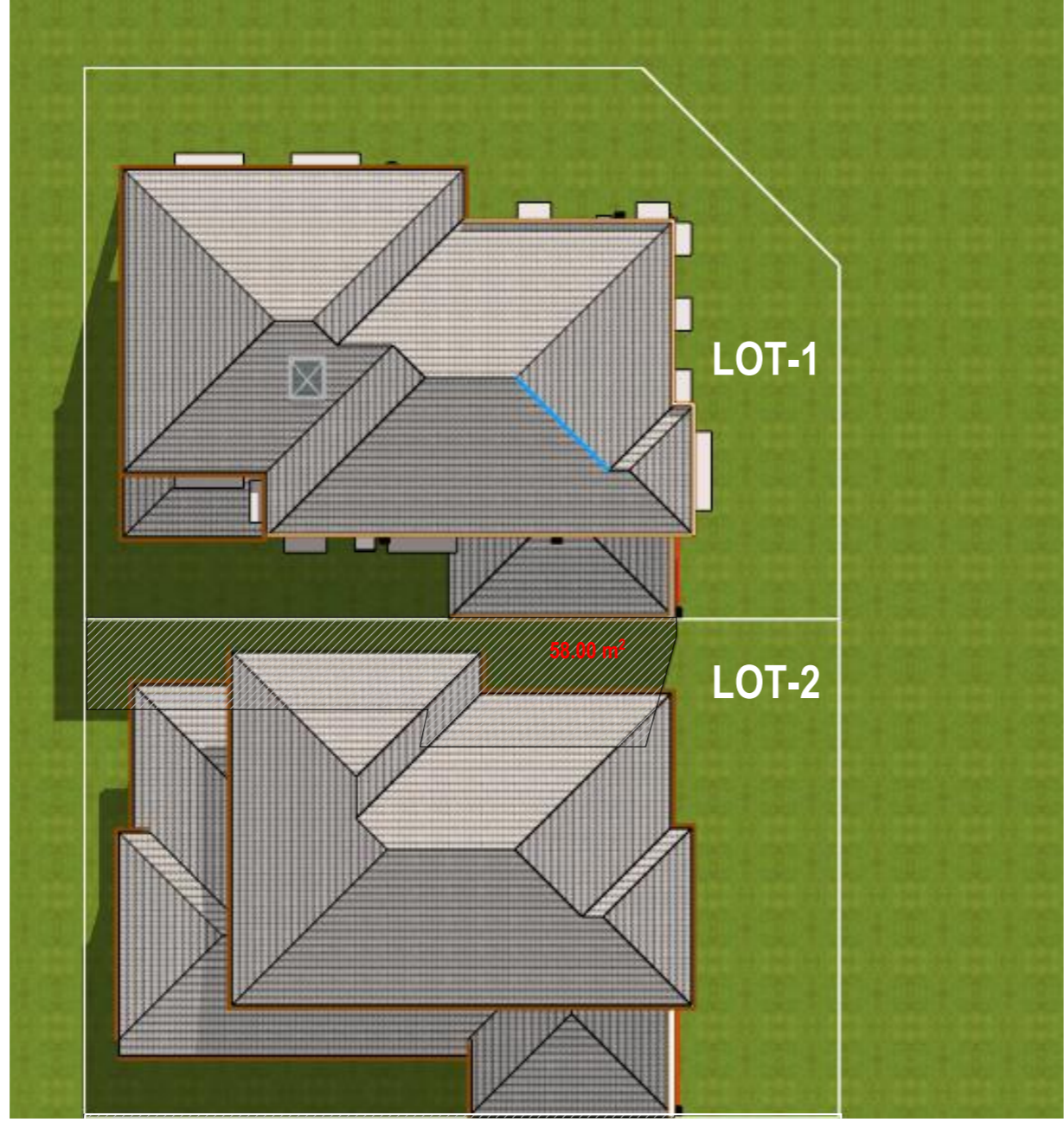
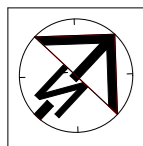
Perth Office
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T: +61 8 9469 2249 E: hoo@zedes.com.au M: +61 403 515 230 W: www.zedes.com.au

PROJECT ADDRESS:
2 Pearson Crescent, Bull Creek, WA 6149

DRAWING TITLE
STRATA PLAN

DRAWN Ludovica Springolo	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2021-01	DATE: 06/08/2021	REV: SHEET A3

SHEET
A101 OF A117



Lot-2
Area=349.40m²
O/s precentage=58.00m² / 349.40m² x 100%
=16.59%

LOT-1 SHADOW DIAGRAM
SCALE 1:200

DATE	REV	COMMENTS

ISSUED FOR BUILDING PERMIT



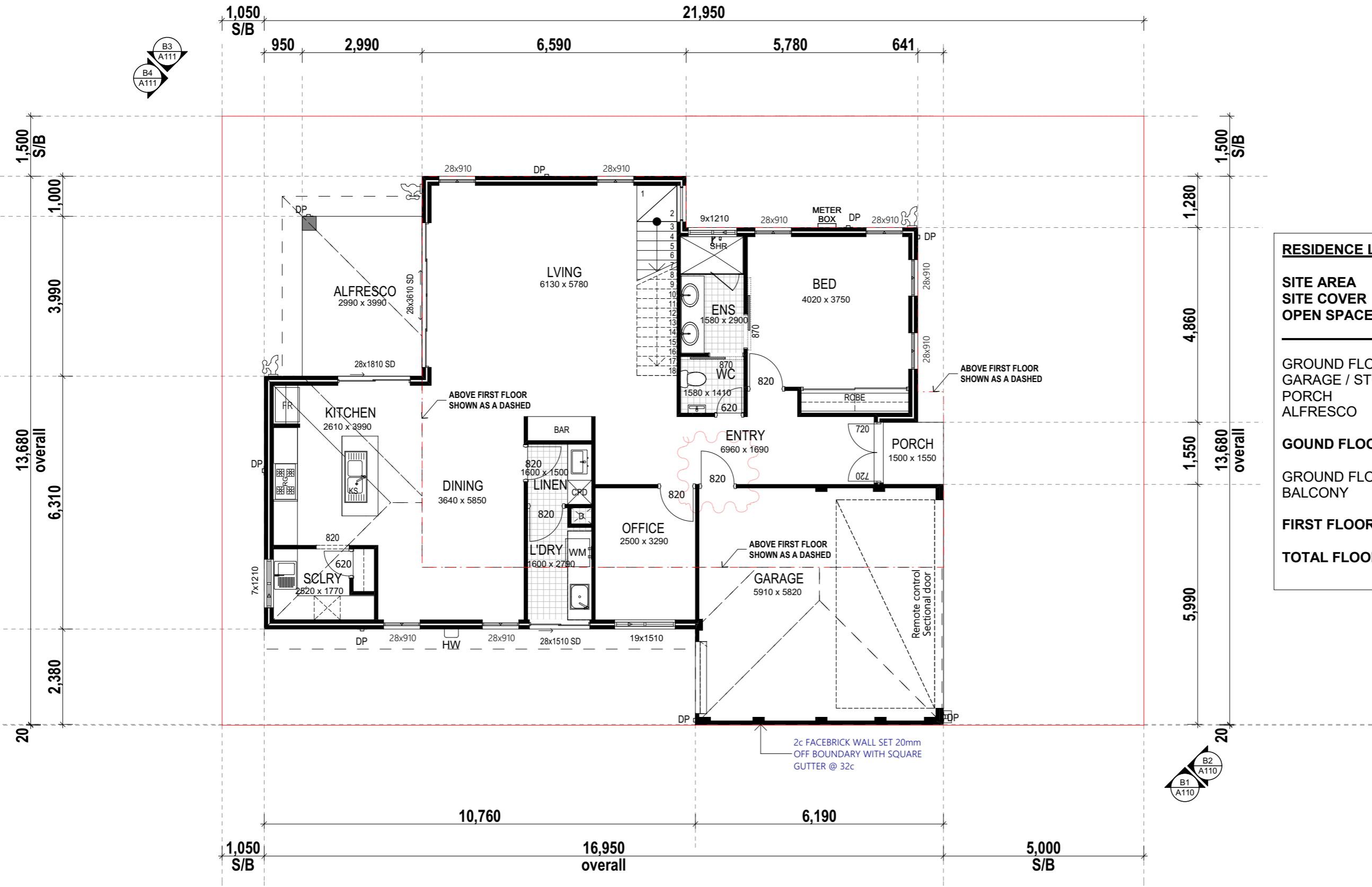
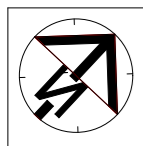
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 E: hso@zedes.com.au W: www.zedes.com.au

PROJECT ADDRESS:
 2 Pearson Crescent, Bull Creek, WA 6149

DRAWING TITLE
LOT-1 SHADOW DIAGRAM

DRAWN Ludovica Springolo	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2021-01	DATE: 06/08/2021	REV: SHEET A3

SHEET
A107 of A117



RESIDENCE LOT 2 AREAS	
SITE AREA	349.60 m²
SITE COVER	172.99 m² (49.48%)
OPEN SPACE	176.61 m² (50.52%)
<hr/>	
GROUND FLOOR	135.79 m²
GARAGE / STORAGE	37.20 m²
PORCH	2.33 m²
ALFRESCO	11.91 m²
GROUND FLOOR	187.23 m²
GROUND FLOOR	109.46 m²
BALCONY	6.27 m²
FIRST FLOOR	112.92 m²
TOTAL FLOOR AREA	311.29 m²

PROPOSED LOT-2 GROUND FLOOR PLAN
SCALE 1:100

ISSUED FOR BUILDING PERMIT

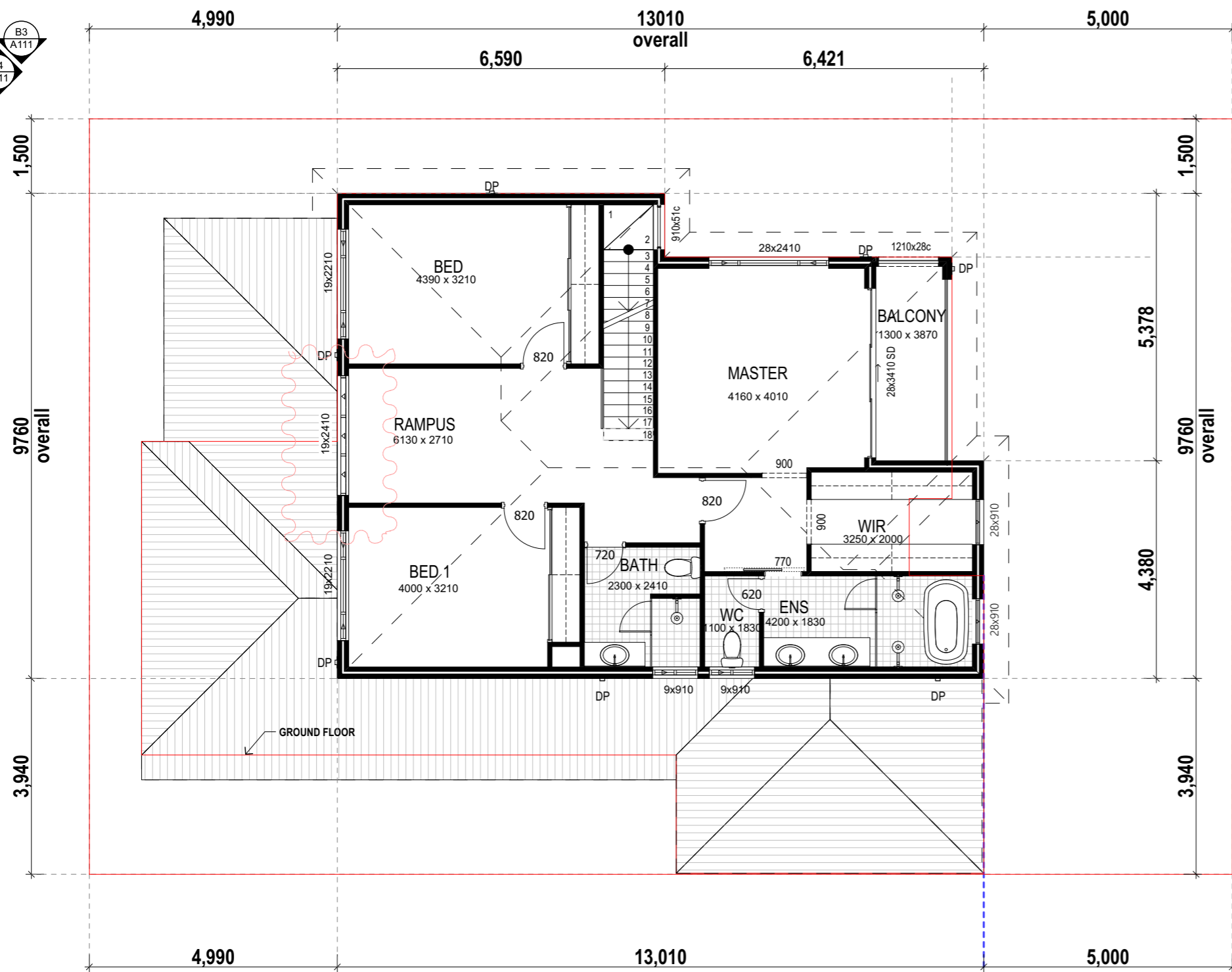
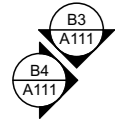
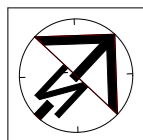
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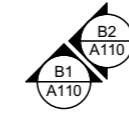
DRAWING TITLE
LOT-2 GROUND FLOOR PLAN

DRAWN Yu Zhang	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2020-01	DATE: 25/04/2021	REV: SHEET A3

SHEET
A108 OF A112



PROPOSED LOT-2 FIRST FLOOR PLAN
SCALE 1:100



RESIDENCE LOT 2 AREAS	
SITE AREA	349.60 m²
SITE COVER	172.99 m² (49.48%)
OPEN SPACE	176.61 m² (50.52%)
<hr/>	
GROUND FLOOR	135.79 m ²
GARAGE / STORAGE	37.20 m ²
PORCH	2.33 m ²
ALFRESCO	11.91 m ²
<hr/>	
GROUND FLOOR	187.23 m²
GROUND FLOOR	109.46 m ²
BALCONY	6.27 m ²
<hr/>	
FIRST FLOOR	112.92 m²
TOTAL FLOOR AREA	311.29 m²

CONSTRUCTION NOTES

TERMITE TREATMENT: HANDSRPAY CHLORPIRYFOS (DURSBAN OR SIMILAR) IN ACCORD WITH NCC & AS3660.1.1.

ALL BRICKWORK SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE.

ALL TIMBER ROOF FRAMING & ROOF TIE-DOWN SHALL BE IN ACCORDANCE WITH AS1684.

SUPPLY AND INSTALL APPROVED HARD-WIRED SMOKE ALARMS BY LICENCED ELECTRICIAN IN ACCORDANCE WITH AS3786.

SUPPLY & INSTALL VENTILATION TO REQUIRED WET AREA BY LICENCED ELECTRICIAN IN ACCORDANCE WITH AS1688.

ALL GAS FITTINGS AND OUTLETS TO BE IN ACCORDANCE WITH GAS STANDARD REGULATIONS 1999.

THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSIONS ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS & TO NOTIFY THE DESIGNER.

GENERAL NOTES

CONTRACTORS MUST CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS ON SITE.

ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORKS.

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ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARDS, NCC AND LOCAL COUNCIL AUTHORITY REQUIREMENTS.

DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBER DISCRETION & COMPLY WITH AUSTRALIAN STANDARDS.

ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH NCC & AUSTRALIAN STANDARDS AND GENERALLY COMPLY WITH THE MANUFACTURERS' INSTRUCTIONS.

DATE	REV	COMMENTS

ISSUED FOR BUILDING PERMIT



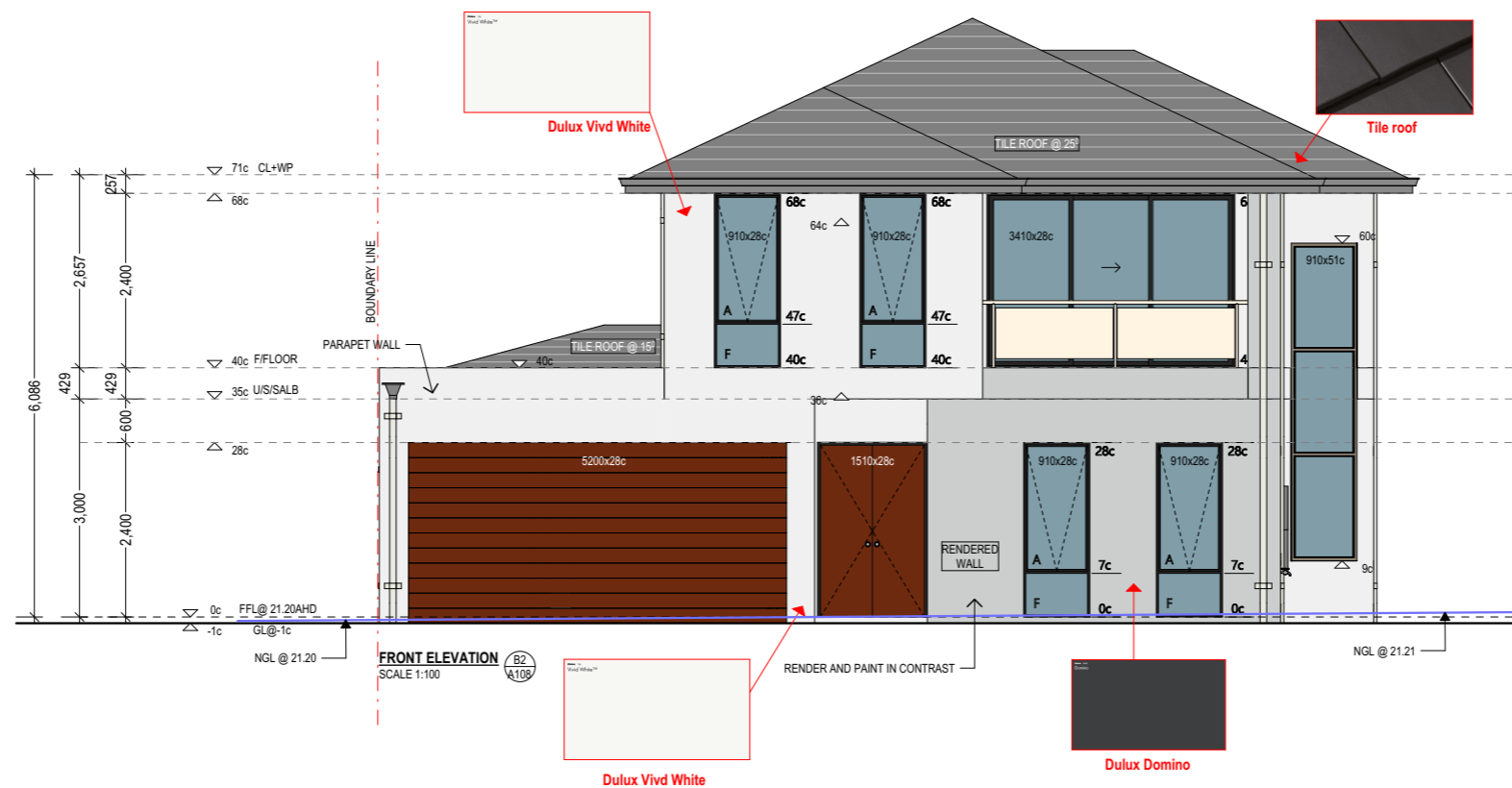
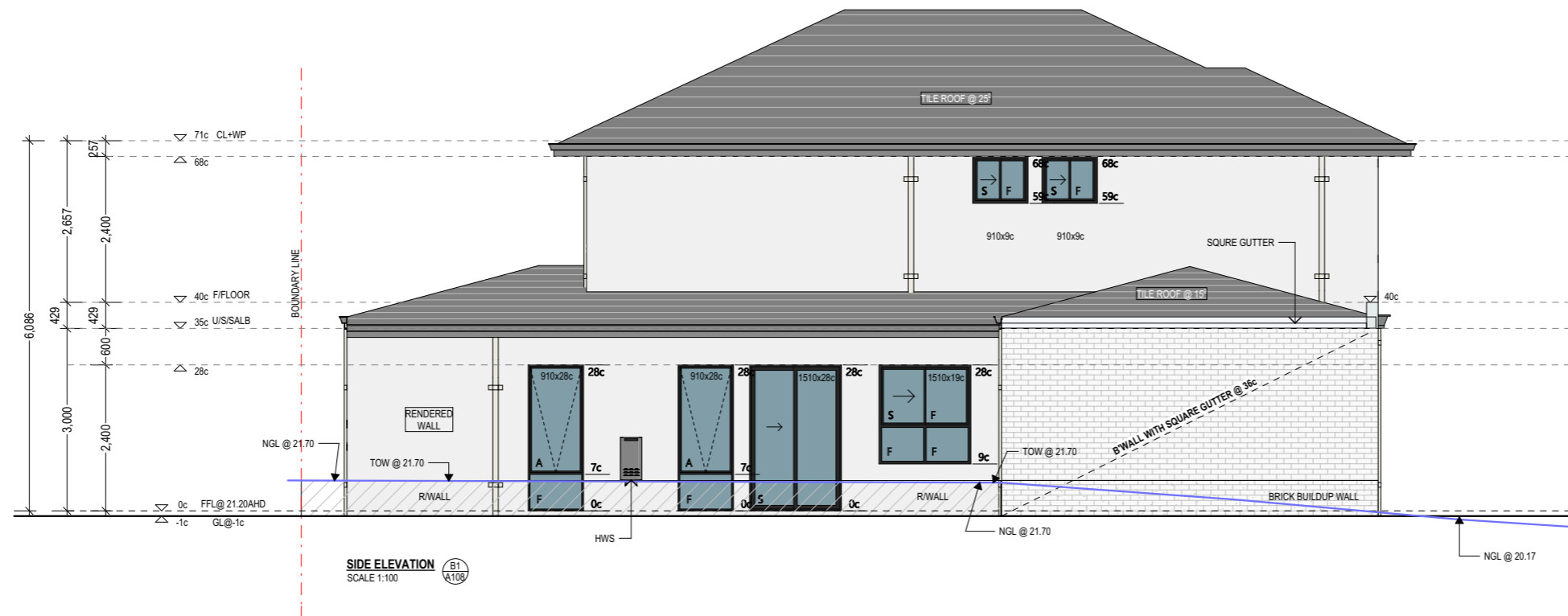
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PROJECT ADDRESS:
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DRAWING TITLE
LOT-2 FIRST FLOOR PLAN

DRAWN Yu Zhang	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2020-01	DATE: 25/04/2021	REV: SHEET A3

SHEET
A109 OF A112



CONSTRUCTION NOTES

TERMITE TREATMENT: HANDSRPAY CHLORPIRYFOS (DURSBAN OR SIMILAR) IN ACCORD WITH NCC & AS366010.1.

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DATE	REV	COMMENTS

ISSUED FOR BUILDING PERMIT



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DRAWING TITLE

LOT-2 ELEVATIONS

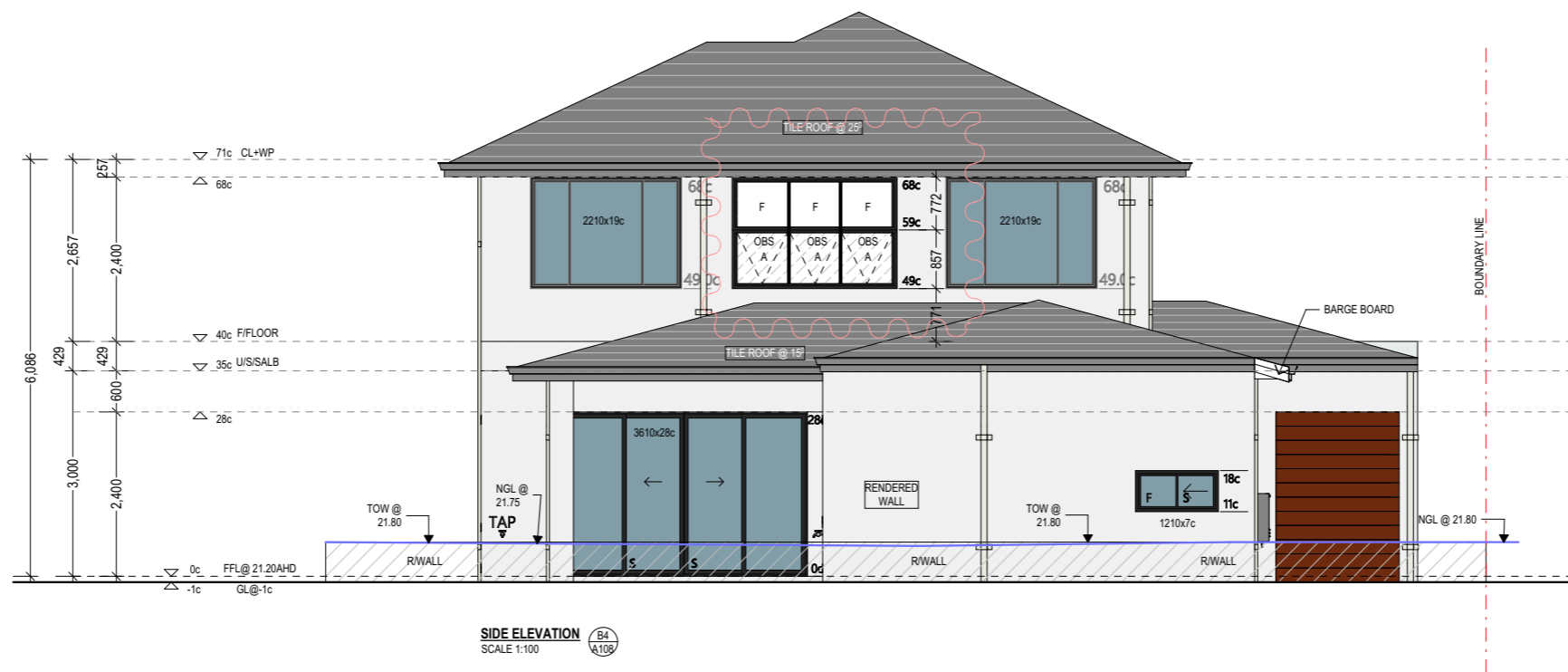
DRAWN Yu Zhang	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2020-01	DATE: 25/04/2021	REV: SHEET A3

SHEET

A110 OF A112



SIDE ELEVATION B3
SCALE 1:100



SIDE ELEVATION B4
SCALE 1:100

CONSTRUCTION NOTES

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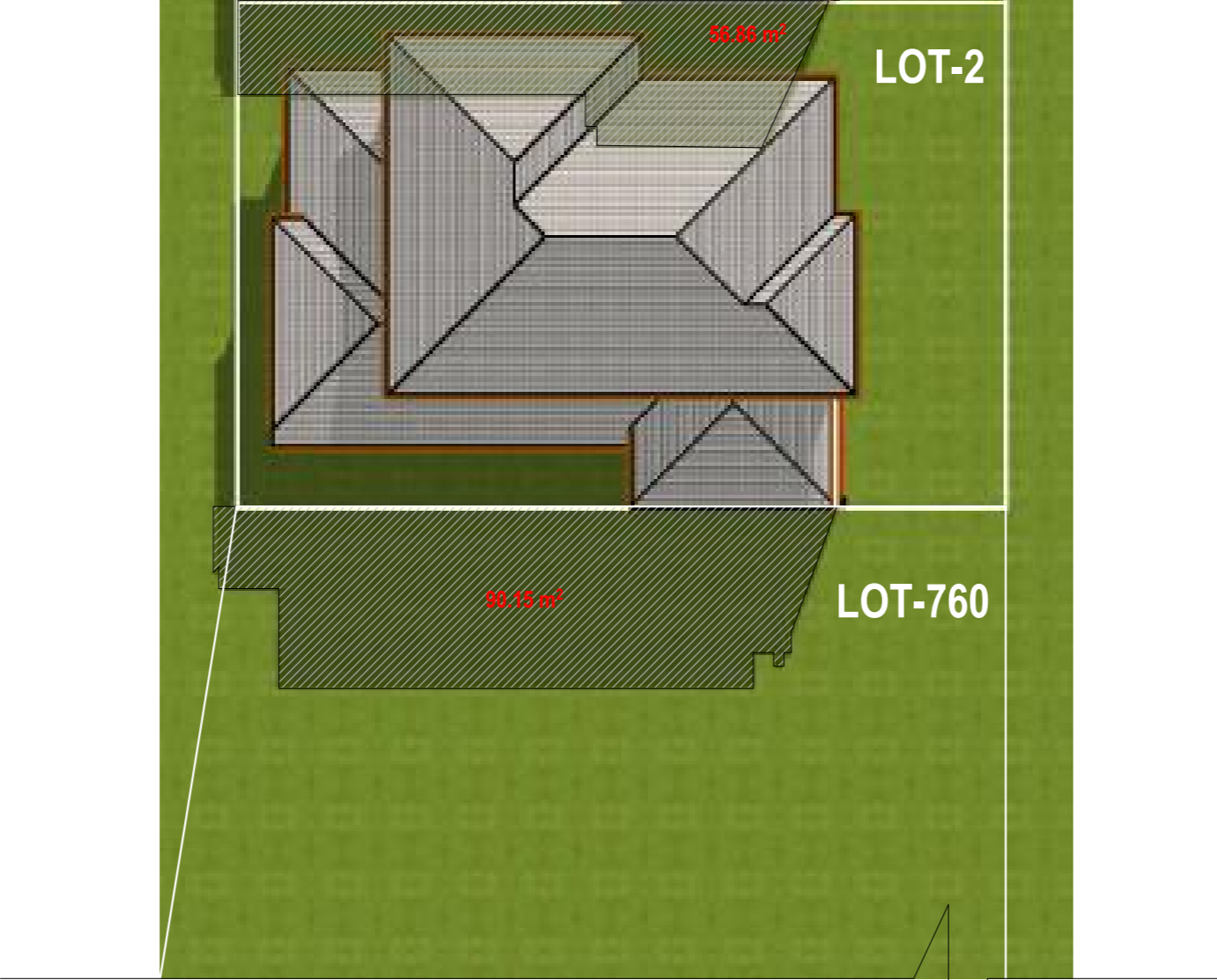
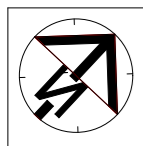
DRAWING TITLE

LOT-2 ELEVATIONS

DRAWN Yu Zhang	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2020-01	DATE: 25/04/2021	REV: SHEET A3

SHEET

A111 of A112



Lot-760
Area=757.00m²

O/s precentage=90.15m² / 757.00m² x 100%

=11.00%

LOT-2 SHADOW DIAGRAM
 SCALE 1:200

DATE	REV	COMMENTS

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DRAWING TITLE
LOT-2 SHADOW DIAGRAM

DRAWN Yu Zhang	CHECKED	SCALE: AS SHOWN
JOB NUMBER: 2020-01	DATE: 25/04/2021	REV: SHEET A3

SHEET
A112 of A112