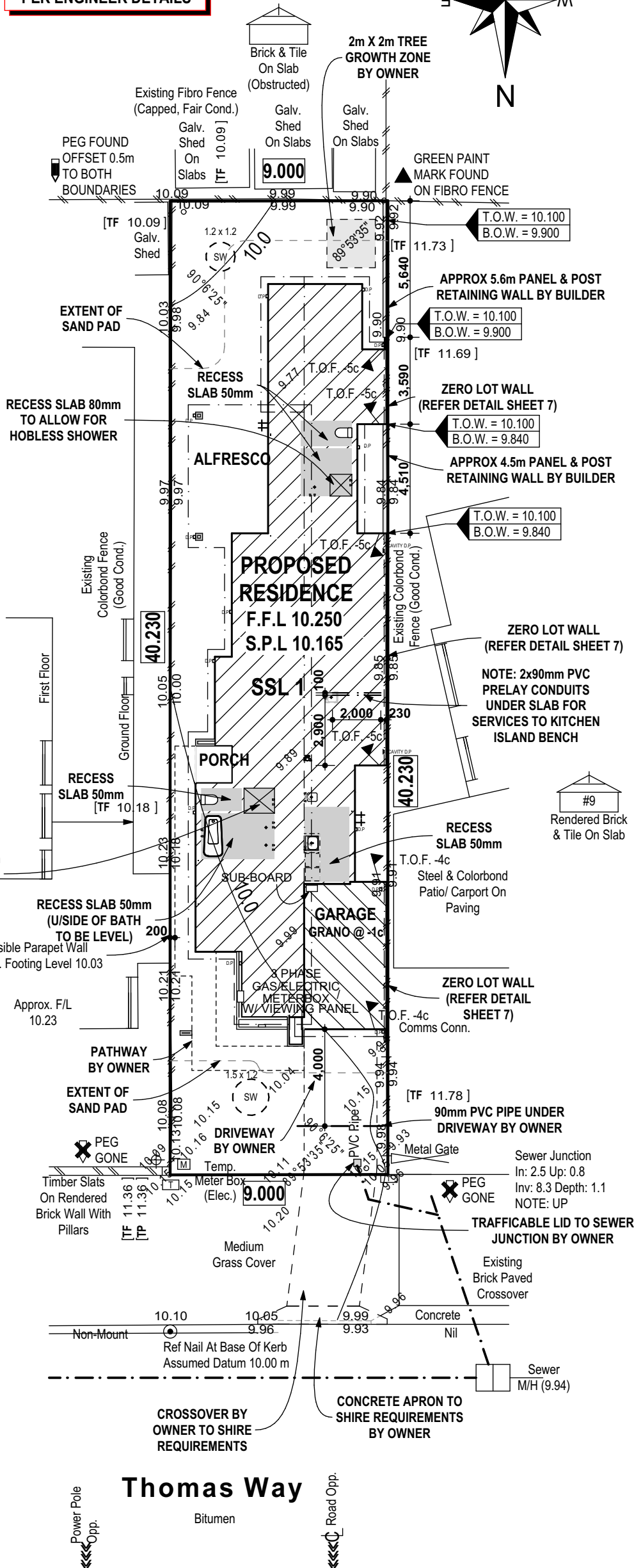
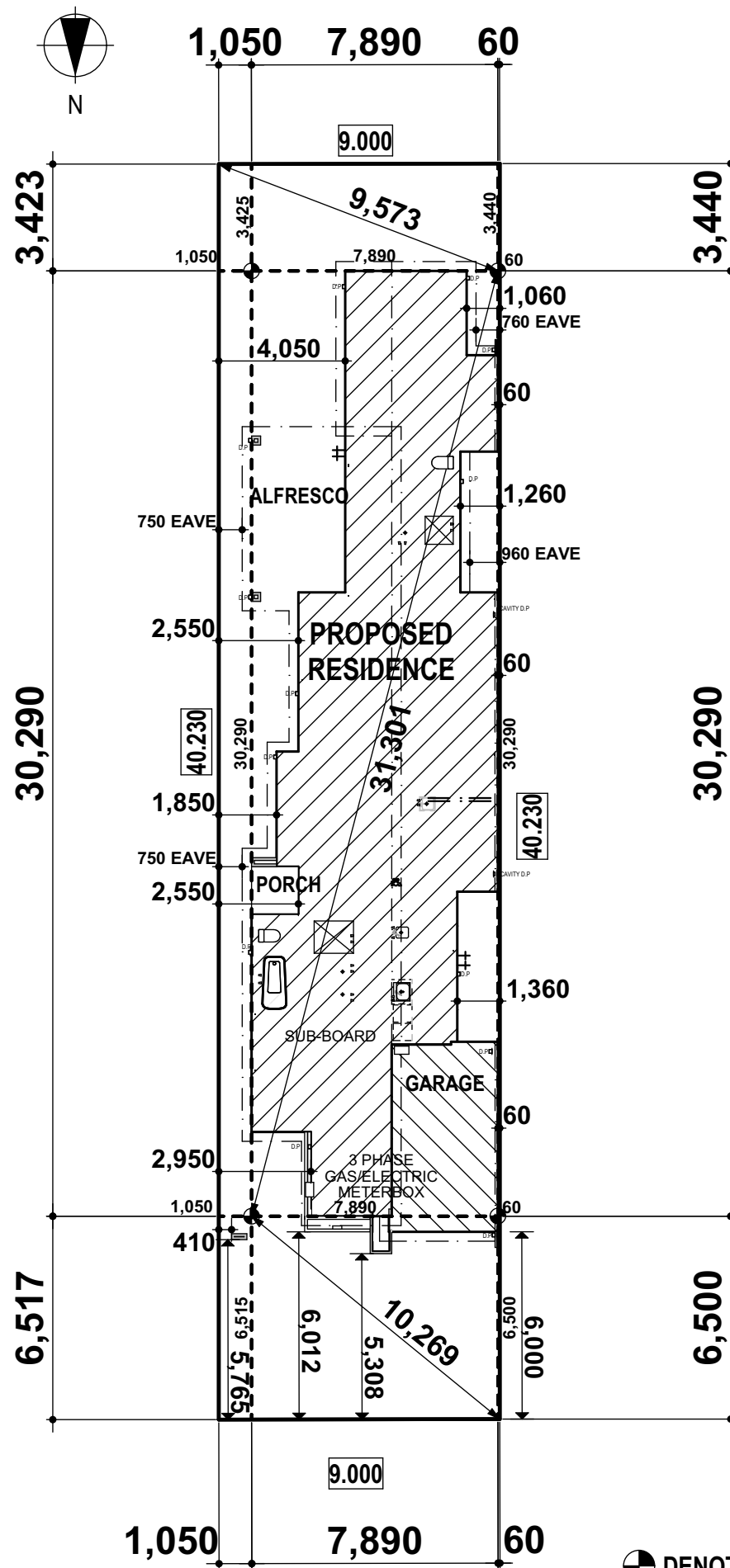




Latitude: 32°03'43"S Longitude 115°49'08"E



 DENOTES SETOUT MARKERS

Scale 1:200

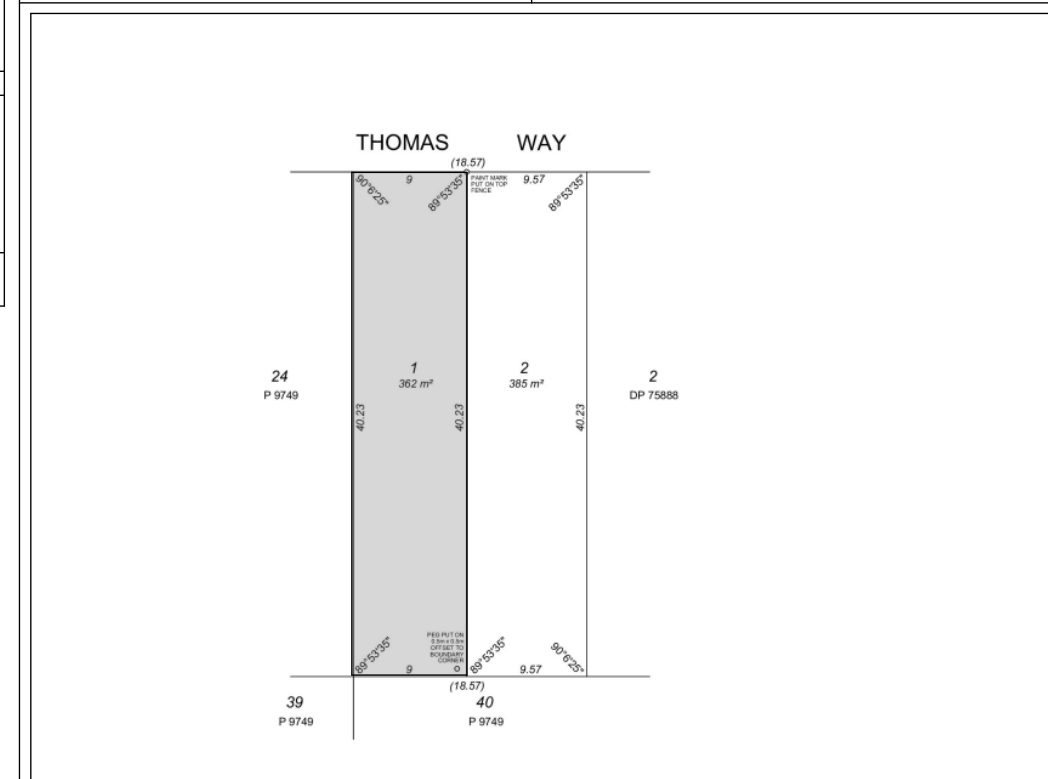


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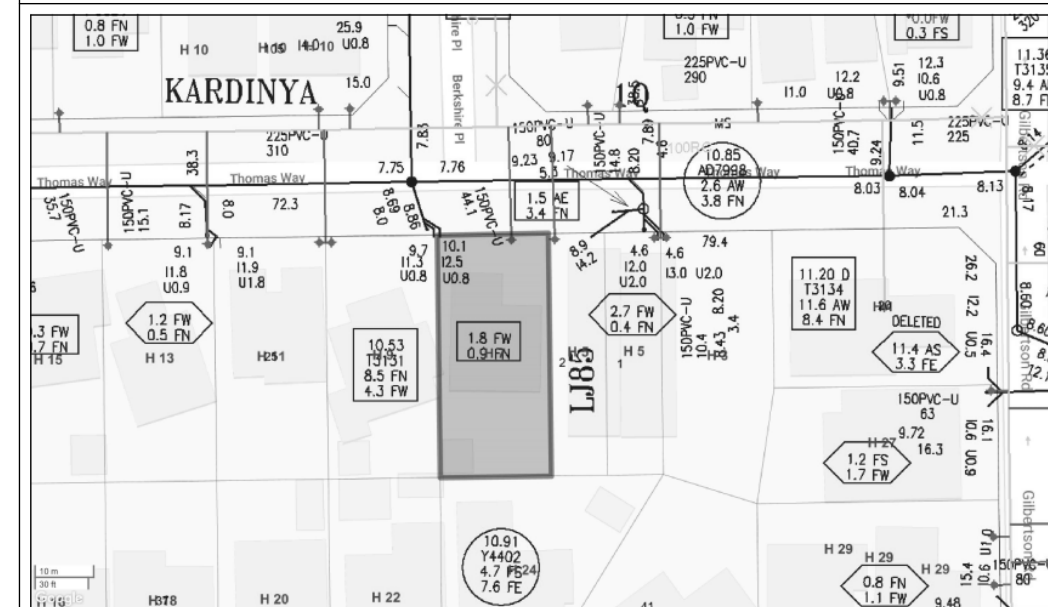
Scale 1:200 Date: 07 May 21

DRAWING NAME: SITE SETOUT		REVISION: D	
JOB No: 21136b		SHEET No: 2 OF 8	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.			
DATED:/...../.....			
..... OWNER		 WITNESS	
..... OWNER		 WITNESS	
..... BUILDER		 WITNESS	
Rev No:	Variation:	Date Dm:	By:
B	ENG UPDATE	07-07-21	RC
C	JF/21136b/VO2	18-10-21	KDS
D	JF/21136b/VO-1	21-10-21	SD
	JF/21136b/VO-4	21-10-21	SD
Drawn By: RC		Date Drawn: May '21	Salesman: BS

 UNIT 22, 257 BALCATT RD, BALCATT W.A. 6021 PHONE : (08) 6241 4888 www.blueprinthomes.com.au	CLIENT : Jurewicz	CONTRACT / JOB NO. 21136b
		MAP REF. 432- 21/24
	SITE SURVEY SSL 1 Original Lot 23 on Plan 9749	COASTAL NO (Scaled from StreetSmart Director Only - Confirm With Shire)
	#7b Thomas Way	OLD AREA
	Suburb Kardinya	
	Loc.Auth. CITY OF MELVILLE	
	Survey	
	Strata Plan 80611 Volume 2995 Folio 26	
	Location	Check Title



Elec.	(See Note) U/Ground	Water	(See Note) Yes	Sewer	(See Note) Yes
Gas	(See Note) Check Your Lot With Alinta Call 13 13 58	Phone Comms	(See Note) Yes	Footpath	Nil
Road	Bitumen	Kerb	Non-Mount / Nil	Drainage	Good



**COTTAGE & ENGINEERING
SURVEYS**
____ Licensed Surveyors ____ (C)

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email : perth@cottage.com.au Website: www.cottage.com.au

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

31c CEILINGS THROUGHOUT
UNLESS NOTED OTHERWISE

ALL EXTERNAL WINDOWS &
DOORS HEADS @ 28c UNLESS
NOTED OTHERWISE

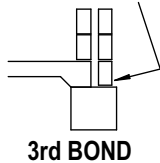
ALL INTERNAL DOORS 28c
UNLESS NOTED OTHERWISE

6mm LOW- E GLASS TO ALL CLEAR
GLAZED WINDOWS & SLIDING DOORS

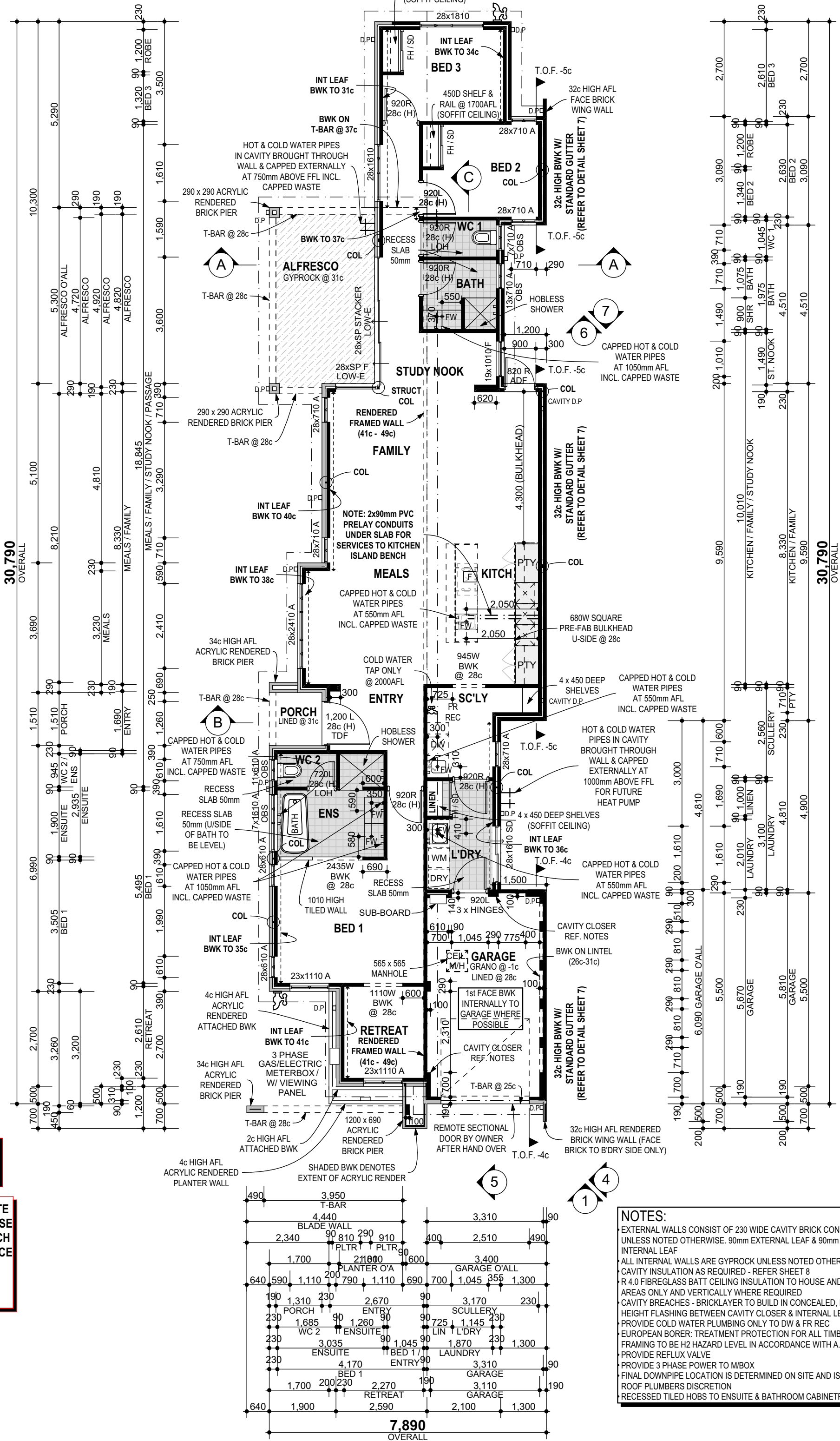
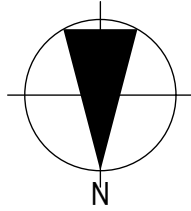
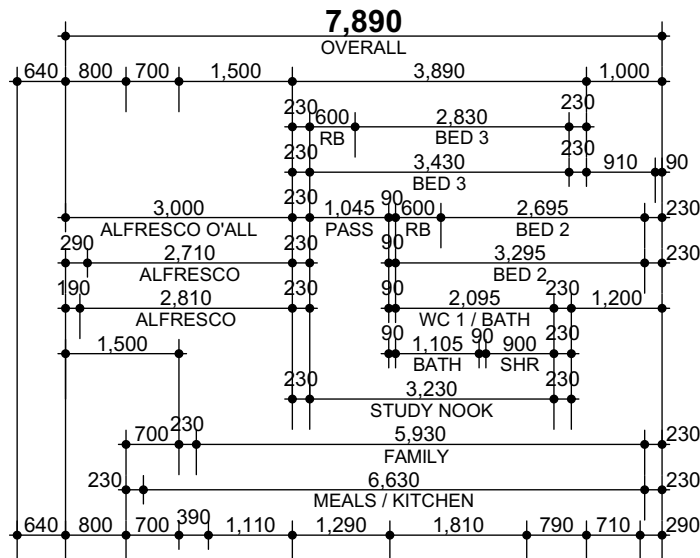
GRANO NOTE:
PROVIDE ADDITIONAL
LAYER OF SLAB MESH AS
PER ENGINEER DETAILS

PROVIDE GRANO MESH AS
PER ENGINEER DETAILS

BRICK LAYER NOTE:
EXTERNAL BRICKS
TO BE 290 x 162 x 90
(1st external course to
be a 2 course brick)



3rd BOND



OWNER NOMINATES TBA
(PHONE: TBA; ABN TBA) FOR
THE SUPPLY & INSTALLATION OF
TILES TO ENSITE, BATHROOM,
LAUNDRY, WC1 FLOOR & WALL
TILES & SCULLERY SPLASHBACK.
TBA TO BE PAID BLUEPRINT
HOMES STANDARD RATES & BE
AVAILABLE AT TIME REQUESTED
BY BUILDER

ALL INTERNAL WALLS ARE TO BE
GYPROCK LINED EXCEPT WALLS
WITH FULL HEIGHT TILING

DIMENSIONS SHOWN ON PLAN RELATE
TO BRICKWORK SET OUT ONLY. PLEASE
ALLOW AN ADDITIONAL 10mm TO EACH
WALL FOR GYPROCK. THIS ALLOWANCE
SHOULD BE CONSIDERED WHEN
CALCULATING CLEARANCES FOR
FUTURE FITTINGS

Area Names	Area	Perimeter
HOUSE AREA	156.91	80.16
GARAGE	20.58	19.16
ALFRESCO	15.46	16.80
PORCH	2.27	6.02
ROOF AREA	219.21	---

NOTES:
EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST.,
UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm
INTERNAL LEAF
ALL INTERNAL WALLS ARE GYPROCK UNLESS NOTED OTHERWISE.
CAVITY INSULATION AS REQUIRED - REFER SHEET 8
R 4.0 FIBREGLASS BATT CEILING INSULATION TO HOUSE AND GARAGE
AREAS ONLY AND VERTICALLY WHERE REQUIRED
CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL
HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.
PROVIDE COLD WATER PLUMBING ONLY TO DW & FR REC
EUROPEAN BORER: TREATMENT PROTECTION FOR ALL TIMBER ROOF
FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604
PROVIDE REFLUX VALVE
PROVIDE 3 PHASE POWER TO MBOX
FINAL DOWNSPIPE LOCATION IS DETERMINED ON SITE AND IS AT THE
ROOF PLUMBERS DISCRETION
RECESSED TILED HOBS TO ENSUITE & BATHROOM CABINETRY

FLOOR PLAN

1:100



THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

DATED:

OWNER WITNESS

OWNER WITNESS

BUILDER WITNESS

HOUSE NAME

HUNTER

Spec

ESSENTIALS

DRAWING NAME

FLOOR PLAN

VARIATIONS

Rev No.

By

SHEET No.

3 OF 8

CLIENT NAME

Jurewicz

RC

REVISION No.

D

JOB No.

21136b

DATE

May '21

Drawn By

RC

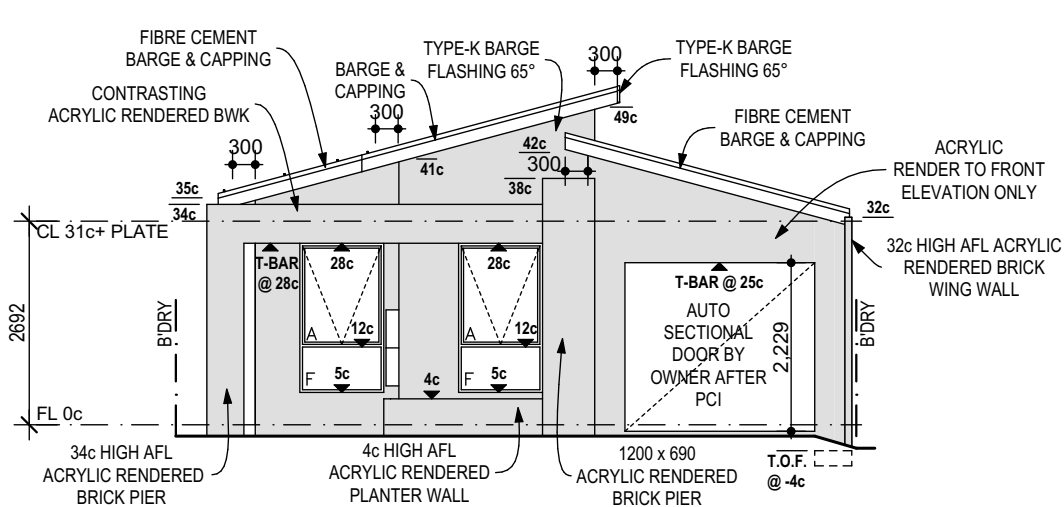
Date Drawn

May '21

Salesperson

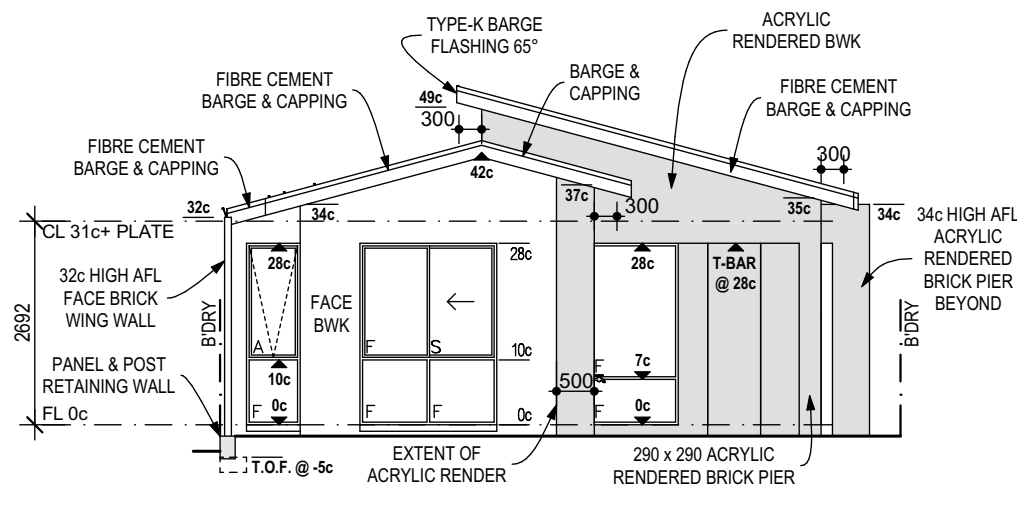
BS

PRINTED : 27/10/2021 | DATE SAVED : 26/10/2021 2:52 PM | BY : sally.desiva | TO: nbsp-per-ts-01.sbgptd.com.au/BPHData/Client Documents/21100211366-Jurewicz/Drawings/211366_JUREWICZ.pn



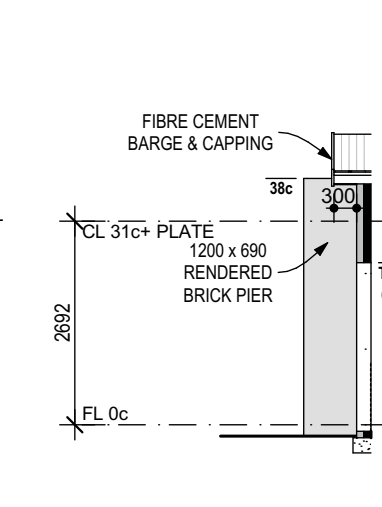
Elevation 1

1:100



Elevation 2

1:100



Elevation 5

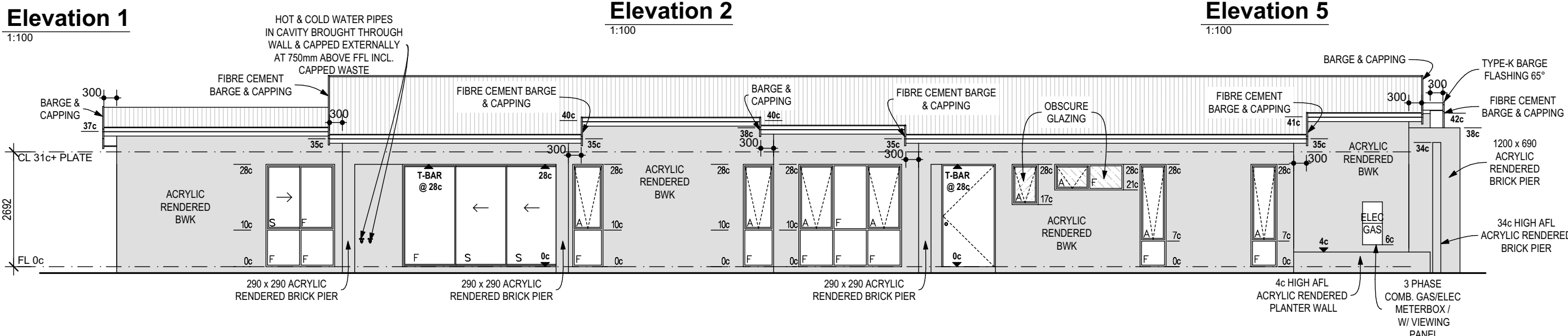
1:100

CUSTOM ORB METAL DECK
ROOF @ 15° PITCH

31c CEILINGS THROUGHOUT
UNLESS NOTED OTHERWISE

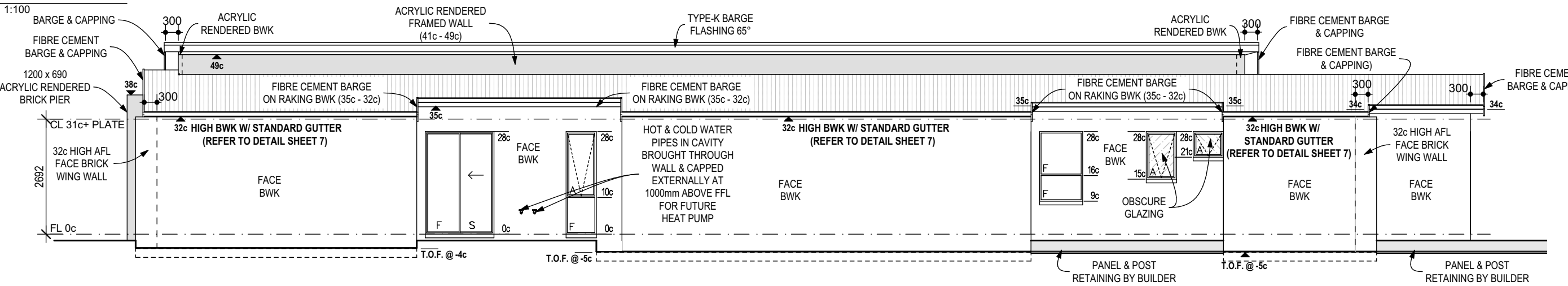
ALL EXTERNAL WINDOWS &
DOORS HEADS @ 28c UNLESS
NOTED OTHERWISE

6mm LOW-E GLASS TO ALL CLEAR
GLAZED WINDOWS & SLIDING DOORS



Elevation 3

1:100



Elevation 4

1:100



Unit 22, 257 BALCATTA RD BALCATTA W.A. 6021
PHONE : (08) 6241 4888
www.blueprinthomes.au

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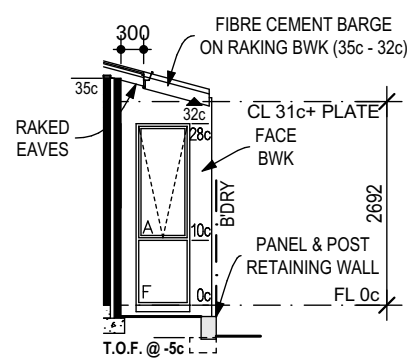
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED:/...../.....

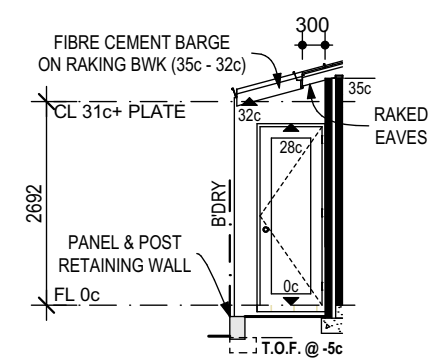
OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

HOUSE NAME		DRAWING NAME		SHEET No.		REVISION No.		JOB No.	
HUNTER		ELEVATIONS		4 OF 8		D		21136b	
Spec		VARIATIONS			CLIENT NAME				
ESSENTIALS		Rev No.	Variation:	Date Drn:	By:	Jurewicz			
		B	ENG UPDATE	07-07-21	RC	SITE ADDRESS SSL1 (#7b) Thomas Way Kardinya SHIRE Melville Drawn By RC			
		C	JF/21136b/VO2	18-10-21	KDS				
		D	JF/21136B/VO-1	21-10-21	SD				
			JF/21136B/VO-4	21-10-21	SD				
						Date Drawn.		Salesperson.	
						May '21		BS	



Elevation 6

1:100



Elevation 7

1:100