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1/15 Alloa Road Maddington WA 6109

20/7/2021

To : City of Melville.

Re: Unit 1 (Strata lot 1 on SP 26794) House 110 Matheson Road, Applecross.

We are seeking approval to install a new replacement GABLE, steel frame and roof PATIO attached to the rear of the residence.

The proposed Patio would be accessible from a habitable room and would be for the use of covering outdoor patio furniture and outdoor living.

We are seeking a reduced building setback of 0.9m from the rear boundary in lieu of 1.5m.

Could the Council please consider our proposal.

Any further queries to this application please contact me to discuss.

Kind Regards,

Adrian Hryb

Shire Approvals Officer

Mob 0405309453

Ph: 9493 7115 Fax: 9441 6270

Email: adrian@greataussiepatios.com.au



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CA 1

PLAN OF Portion of Swan Location 61 and being Lot 881 on Plan 1751 (Sheet 8).

STRATA PLAN **26794**

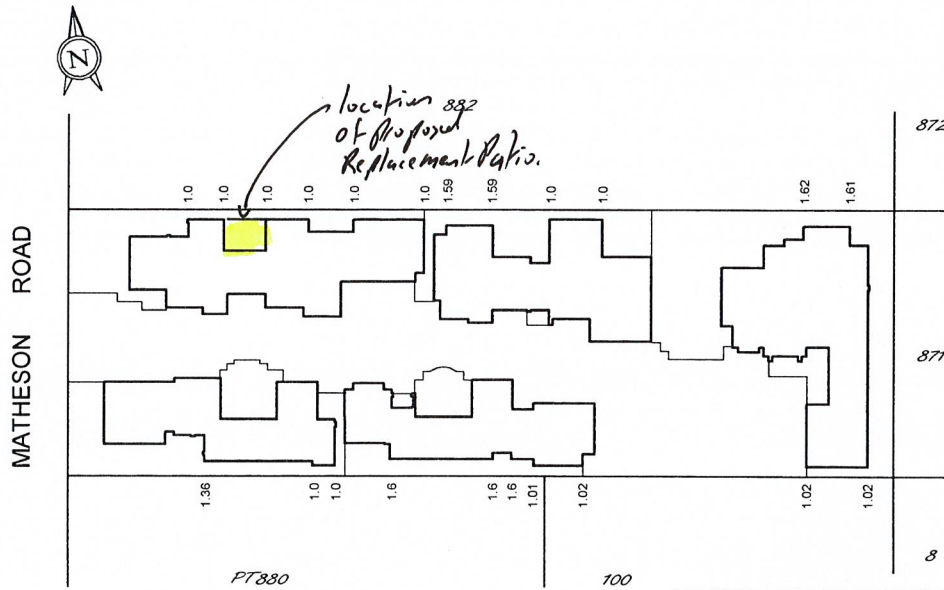
CERTIFICATE OF TITLE Volume: 1303 Folio: 413
 LOCAL AUTHORITY City of Melville
 LOCALITY Applecross INDEX PLAN BG 34 (2) 11:18
 NAME OF BUILDING Oakwood Mews
 NAME OF BODY CORPORATE
 (IF STRATA PLAN OF SUBDIVISION OR CONSOLIDATION)
 ADDRESS FOR SERVING OF 110 Matheson Road,
 NOTICES ON COMPANY APPLECROSS, 6153.
 PURPOSE

OFFICE USE ONLY

LODGED 10.6.94 57935
 EXAMINED 14.6.94 *h*
 REGISTERED 16.6.94 Am.F. 583660



G. Sach
 REGISTRAR OF TITLES



HELD BY LANDGATE IN DIGITAL FORM ONLY.

COTTAGE & ENGINEERING SURVEYS
 Suite 3 219 Onslow Rd, SHENTON PK
 Ph 381 6211 Fax 382 2503

Scale 1 : ~~500~~ *MTS*

SCHEDULE OF UNIT ENTITLEMENT		OFFICE USE ONLY	
LOT No.	UNIT ENTITLEMENT	CURRENT Cs. of TITLE	
		VOL.	FOL.
1	15	2002 - 987	
2	20	2002 - 988	
3	18	2002 - 989	
4	22	2002 - 990	
5	25	2002 - 991	
AGGREGATE	100		

CERTIFICATE OF LICENSED VALUER

I, Kevin Sydney JOHNSON being a Licensed Valuer licensed under the Land Valuers Licensing Act 1978 do hereby certify that the unit entitlement of each Lot, as stated in the schedule bears in relation to the aggregate unit entitlement of all Lots delineated on the strata plan a proportion not greater than 5 per cent more or 5 per cent less than the proportion that the capital value of that Lot bears to the aggregate capital value of all the Lots delineated on the plan.

2nd May 1994
 Date

 Signed

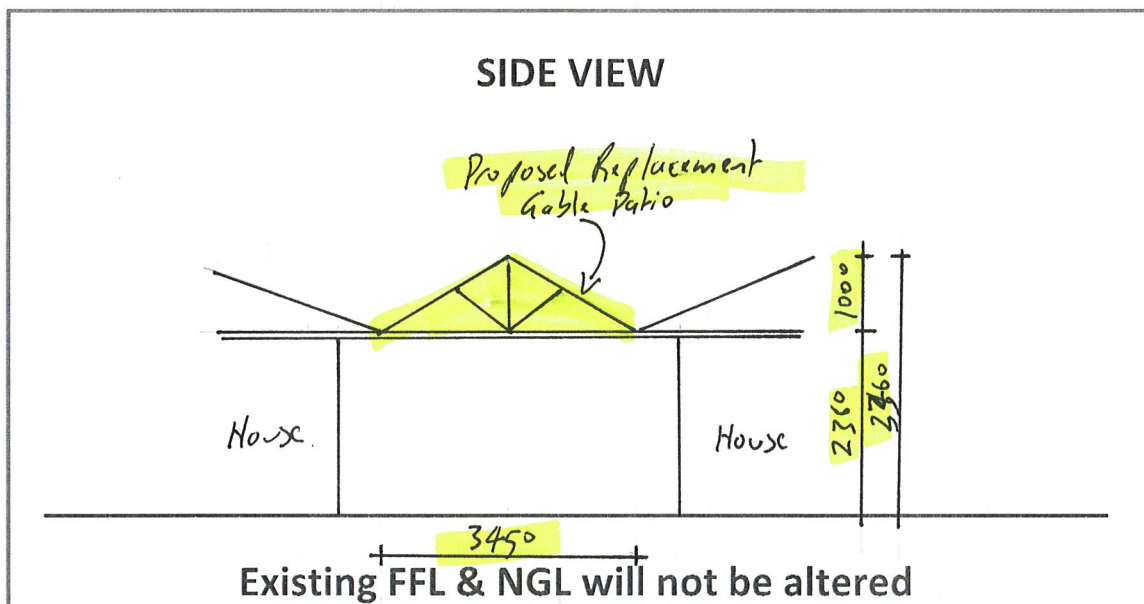
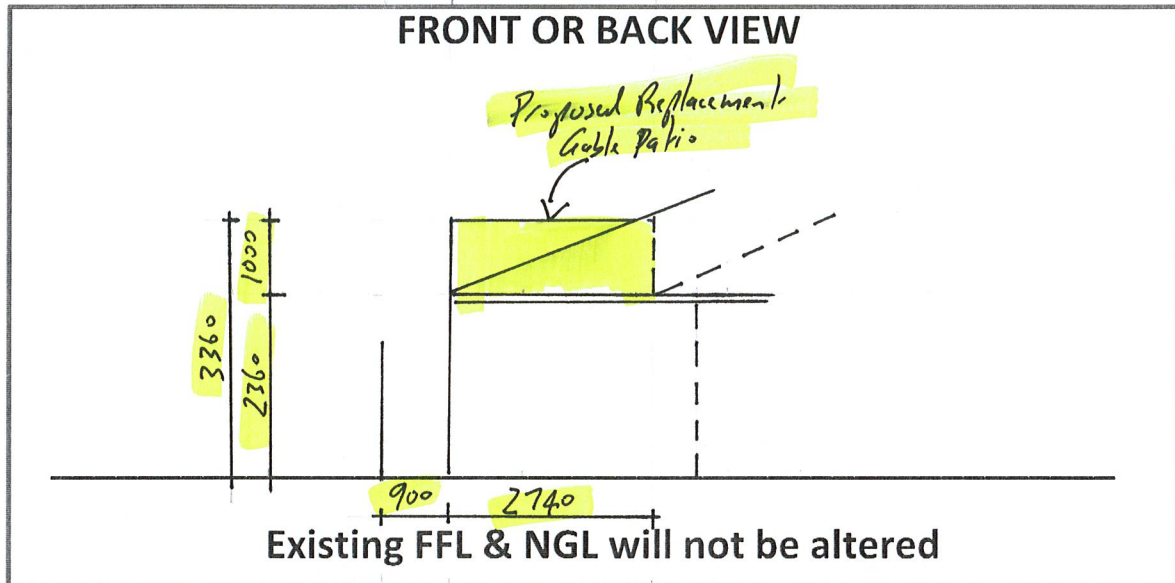
02181/5/91-2M-S/7652



Great Aussie Patios

ELEVATIONS

SCALE 1:100



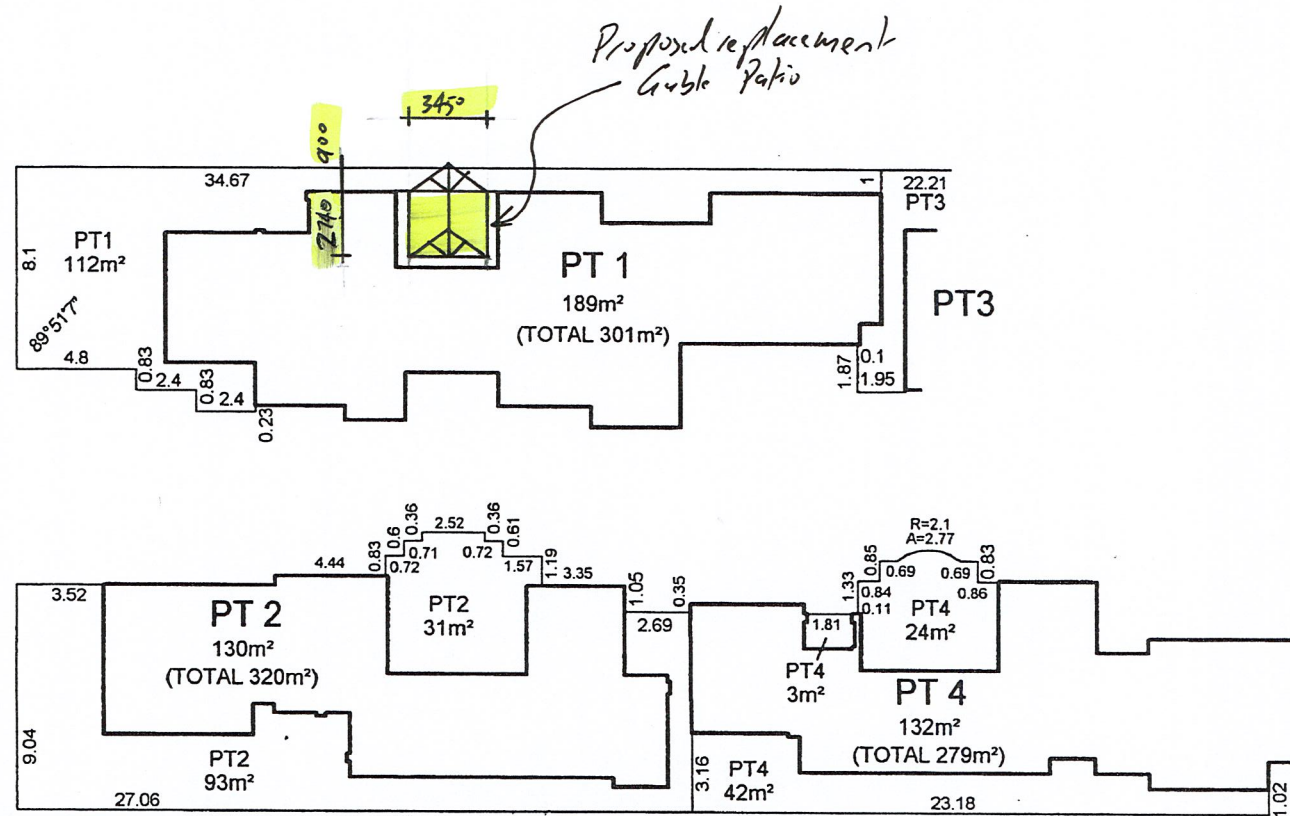
ADDRESS OF PROPOSED PATIO: V1/110 Matheson Rd, Applecross

STATEMENT: THE GUTTERS AND DOWNPIPE SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH THE BCA PART 3.5.2 AND SHALL DISCHARGE CLEAR OF THE BUILDING. DISPOSED OF STORMWATER MUST NOT CAUSE EROSION, CORROSION, OR OTHER DEFECTS AS A RESULT OF THE METHOD OF DISPOSAL. IF THESE ARE LIKELY TO OCCUR, THEN DISPOSAL WILL BE INTO EARTHWARE OR PVC DRAINS WHICH SHALL EMPTY INTO A SOAK WELL OR OTHER SUITABLE APPROVED STORMWATER SCHEME, IF DISCHARGE OF WATER IS TO SURFACE, IT WILL NOT BE ALLOWED TO FLOW TO ADJOINING PRIVATE OR PUBLIC PROPERTY.

GROUND STRATA PLAN No. 26794
 FLOOR



*11/110 Matheson Rd
 Applecross.*



As at 20th July 1997 unless a notice of resolution under section 21H or an objection under 21O has been recorded on the strata plan -

The boundaries of the lots or parts of the lots which are buildings shown on the strata plan are the external surfaces of those buildings, as provided by section 3AB of the *Strata Titles Act 1985*;

The scheme may not be a single tier scheme, as defined in section 3(1) of the *Strata Titles Act 1985*;

The areas of the lots shown on the strata plan may have changed;

Where 2 lots have a common or party wall, or have buildings on them which are joined, the centre plane of that wall or the plane at which they are joined, is the boundary;

The horizontal boundaries of the lots or parts of the lots which are not buildings shown on the plan (if any) remain as provided on this strata plan.

For other Part Lots 2 and 4 see Sheet 2A of 2 Sheets.

External faces of the walls are the boundaries of the Part Lots comprising the Buildings, except where otherwise noted.

The Stratum of the Part lots is limited to between 5 metres below and 10 metres above the upper surface level of the lowest ground floor of the Main Building, appurtenant to their corresponding Lot number, including where covered.

All angles are 90° unless otherwise noted.

Scale 1 : 300

41445/6/85-1M-S/7658