






Note: Boundary location and dimensions subject to survey

All underground services need to be verified

Key Features

- Telecom 
- Water meter 
- Power Pole 
- Power Dome 
- Sewer M/H 

Datum AHD
 Contour interval 0.2
 Scale 1:200 @ A3

db Surveys

55 Chrysostom Street Trigg Perth 6029

Ph/Fax 61 8 94481033

LICENSED LAND and ENGINEERING SURVEYORS

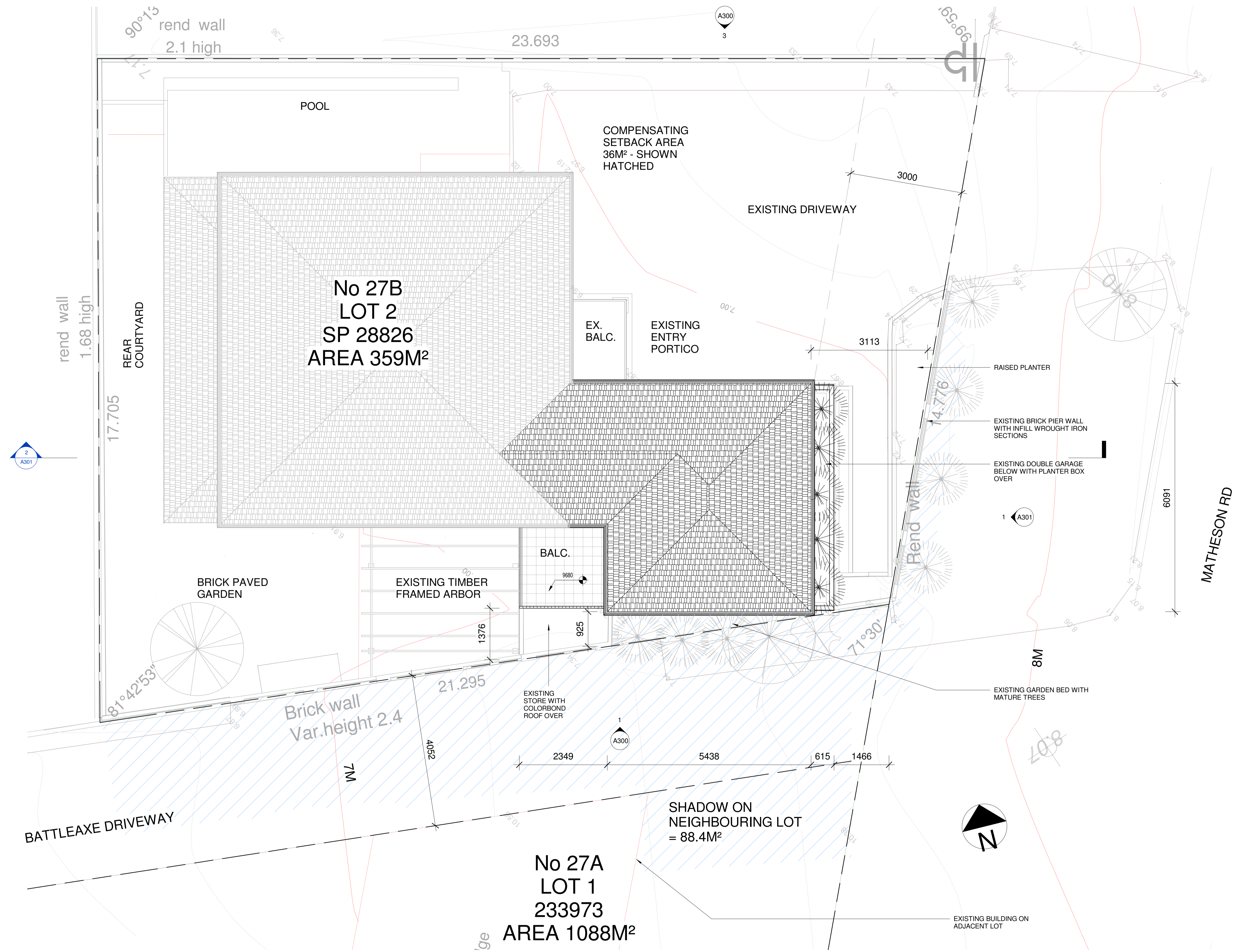
Feature Survey

Lot 2 on SP 28826

27B Matherson Road Applecross

Dwg: FS961-01





SITE INFORMATION

Zoning	R20
Lot Area	359M ²
Existing Building Area	145.3M ²
Proposed New Addition Area	50M ²
Open Space	214M ² (60%)
Garage Floor RL	6.88m
Proposed First Floor RL	9.77m

SHADOW STUDY

Midday 21st June	
LOT 1 Area	1088m ²
Overshadowing	88.4m ²
	= 8%

- NOTES:**
1. SOAKWELLS: Stormwater drainage of proposed new roof area to connect to existing soakwells. Roof plumber to confirm size and location of existing soakwells.
 2. FLOOR RLS:
 3. RAINWATER PIPES: Location to be confirmed by roof plumber on site. Use 100 dia RWP with stand off brackets. All RWPs are exposed unless detailed otherwise. Box gutter size to be confirmed by plumber.
 4. TERMITE: All structural timber to be preservative treated and in accordance with AS3600.1 and to comply with part 3.1.2.2 of NCC 2019 Vol 2

Creo Design Partnership
0405 511 163
admin@creo-design.com.au

No.	Description	Date
A	ISSUED FOR DEVELOPMENT APPLICATION	19/07/2021

- GENERAL NOTES:**
1. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS SPECIFICATIONS AND DRAWINGS.
 2. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH WORKS CREO DESIGN SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
 3. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN
 4. ALL DIMENSIONS ARE TO CORE BRICK/STUDWORK ONLY AND DO NOT INCLUDE CLADDING AND/OR WALL FINISHES U.N.O

Client
MARTIN RESIDENCE

Project
27B MATHESON RD, APPLECROSS WA

SITE PLAN

Project number	2109
Date	27/01/21
Drawn by	Author
Checked by	Checker

A100
Scale 1:50 Rev **A**

WALL LEGEND

W1

- 9mm CFC BOARD CLADDING WITH SELECTED COMPATIBLE TEXTURE COAT OVER TO MATCH EXISTING MASONRY RENDER WALL
- TYVEK BUILDING WRAP
- TIMBER STUD FRAMING REFER STRUCT. ENG DRAWINGS
- R2.0 ACOUSTIC INSULATION TO INTERNAL PARTITION WALLS
- PAINTED 13mm FPB

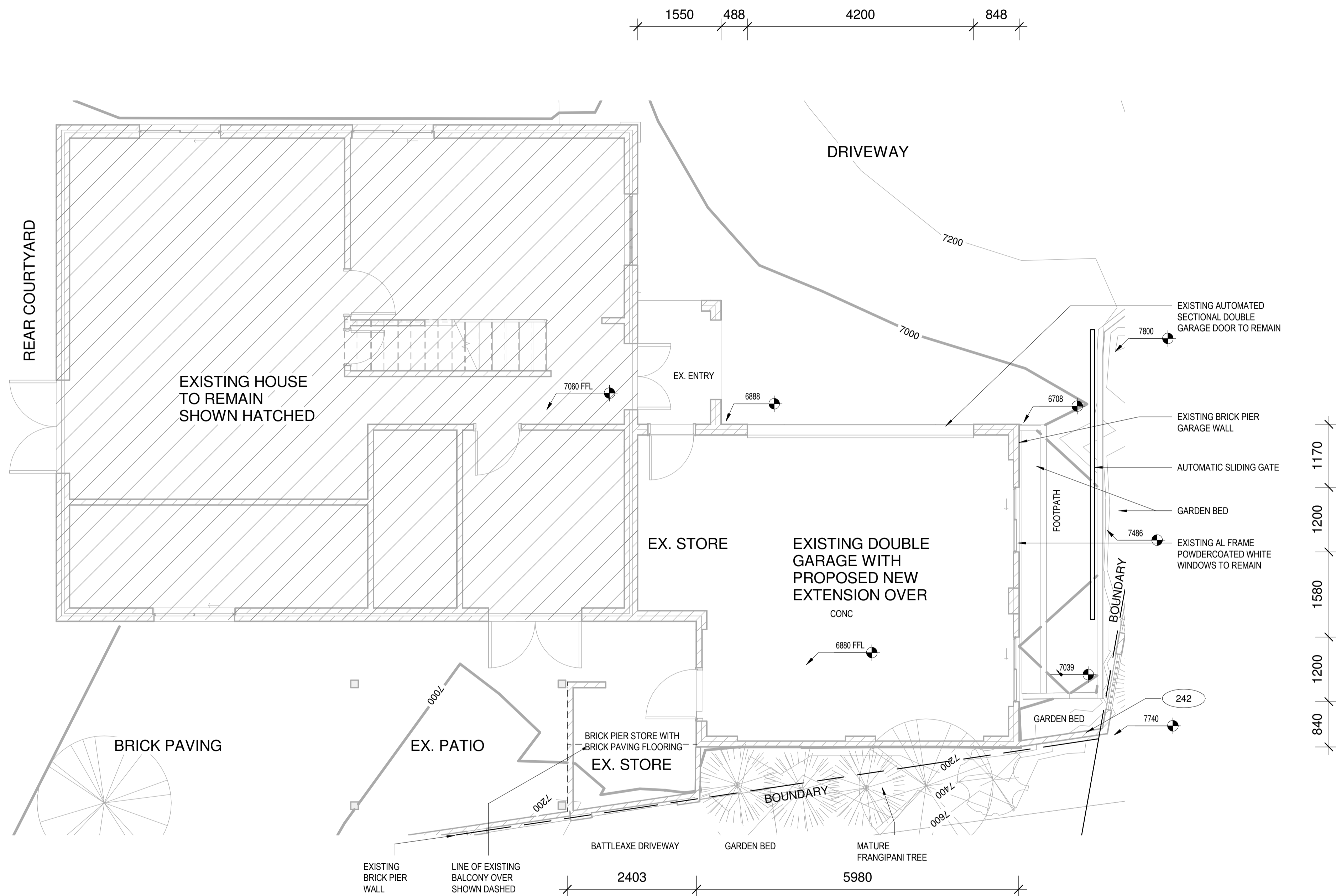
W2

- PAINTED 13mm FPB
- TIMBER STUD FRAMING REFER STRUCT. ENG DRAWINGS
- R2.0 ACOUSTIC INSULATION TO INTERNAL PARTITION WALLS
- PAINTED 13mm FPB

MR PLASTERBOARD TO BE USED IN ALL INTERNAL WET AREAS
THERMAL INSULATION TO ENERGY CONSULTANT REQUIREMENTS

KEYNOTE LEGEND

001	Painted white vertical timber batten visual screening
242	Landscape- existing brick pier infill boundary wall to remain
421-2.2	Roofing- proposed new tiled roof to match existing terracotta tiled roof. insulation/insulation to energy report requirements.
421-2.6	Flashings and gutters- Colorbond 'white' flashing and gutters to match existing.
451	Windows- Powdercoated 'white' AL framed glazed windows to match existing. Level 1 windows to have fall prevention to BCA 3.9.2.6/3.9.2.7
572-1.2	Balustrades- proposed new wrought iron balustrades to match existing. To comply with BCA section 3.9.2.3.
611	Rendering- external walls to be texture coated and painted with a compliant coating system.
631	Ceramic tiling - Selected ceramic tiles on compatible waterproof membrane screeded to falls.



1 GROUND FLOOR PLAN
1 : 50

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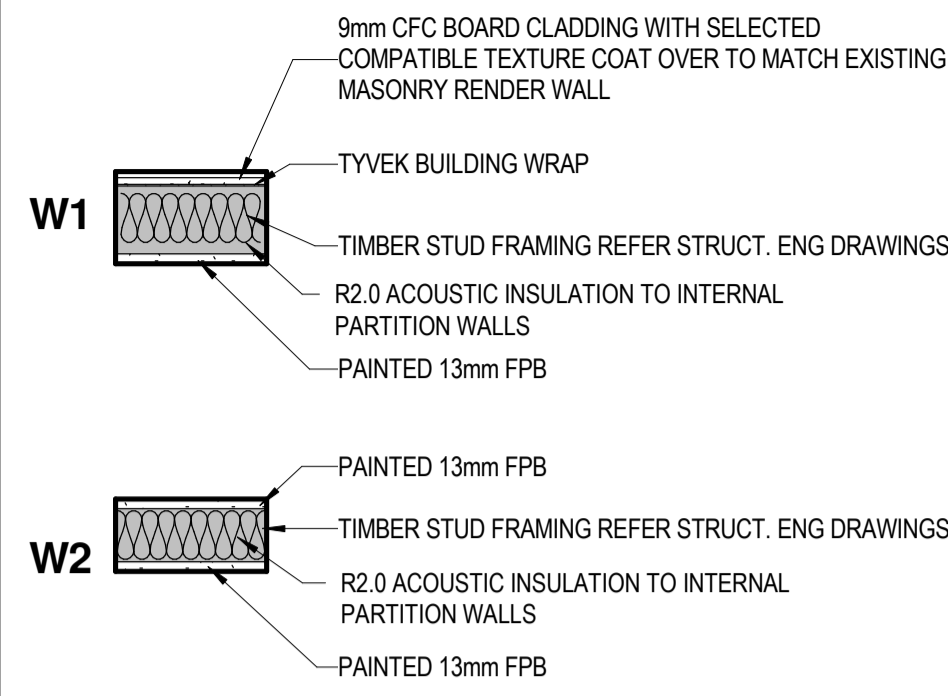
GROUND FLOOR GA PLAN

Project number	2109
Date	27/01/21
Drawn by	Author
Checked by	Checker

Scale As Indicated Rev **A**

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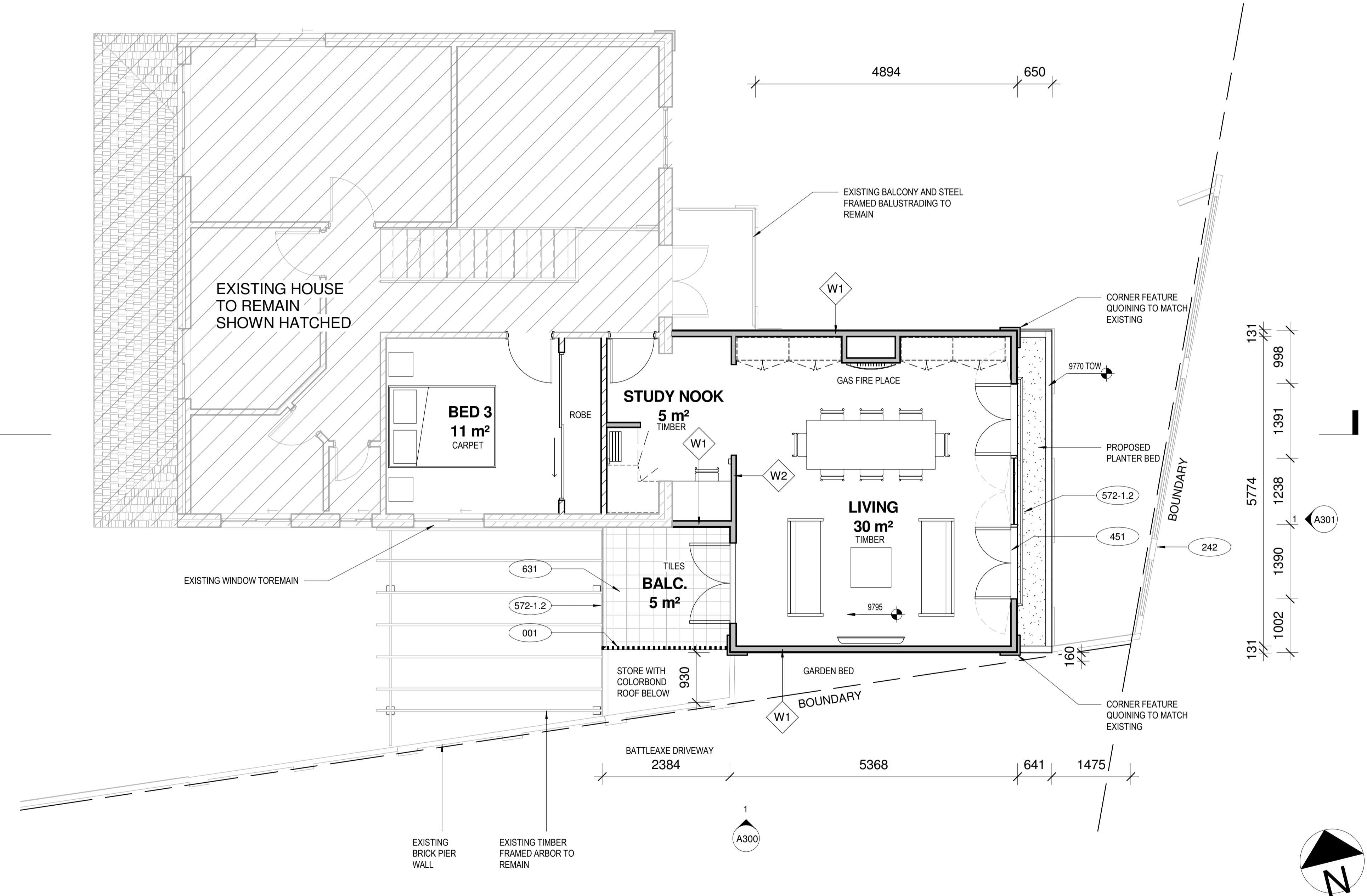
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1 FIRST FLOOR
1 : 50

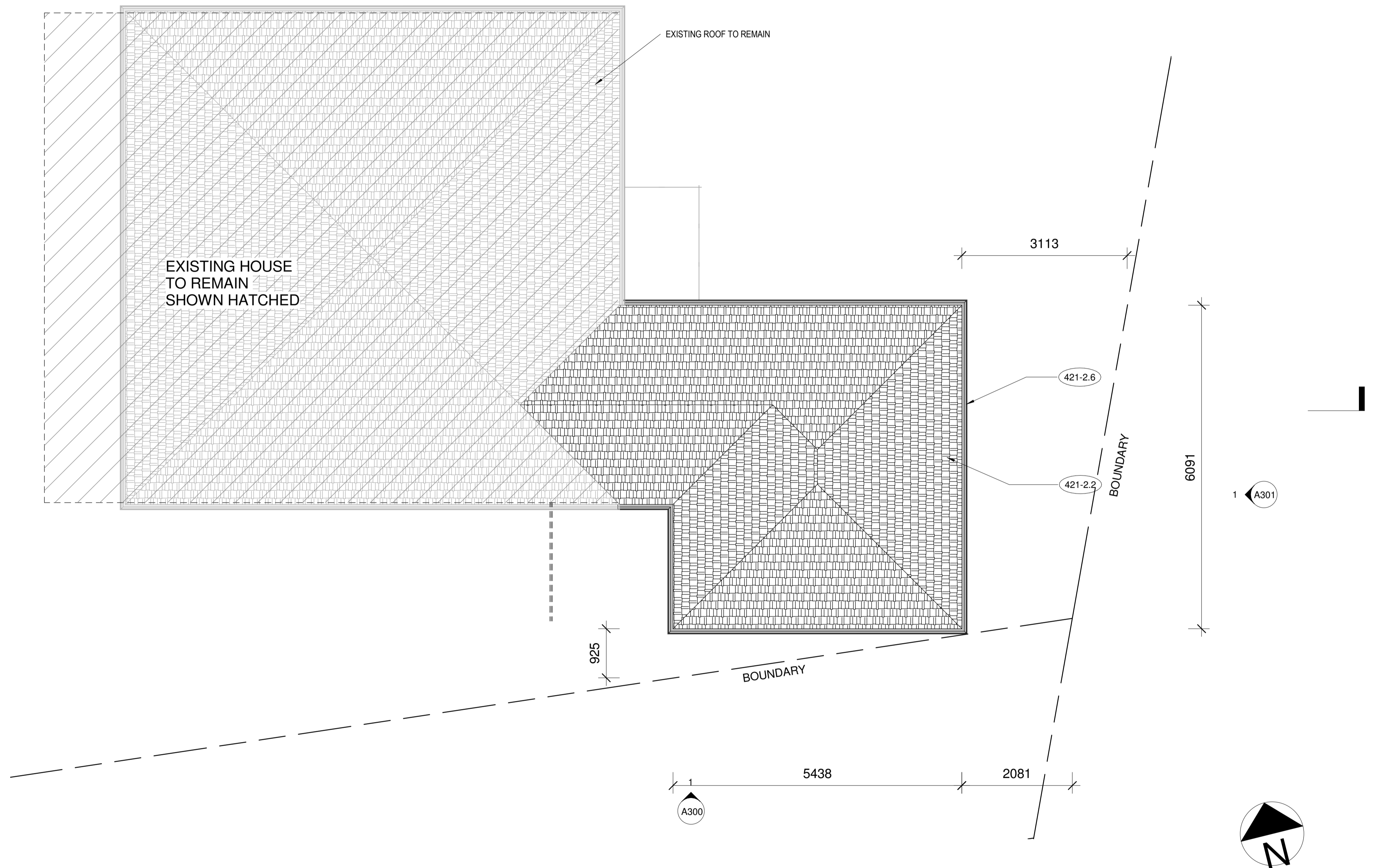
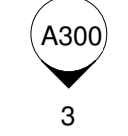
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FIRST FLOOR GA PLAN		
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1 ROOF PLAN
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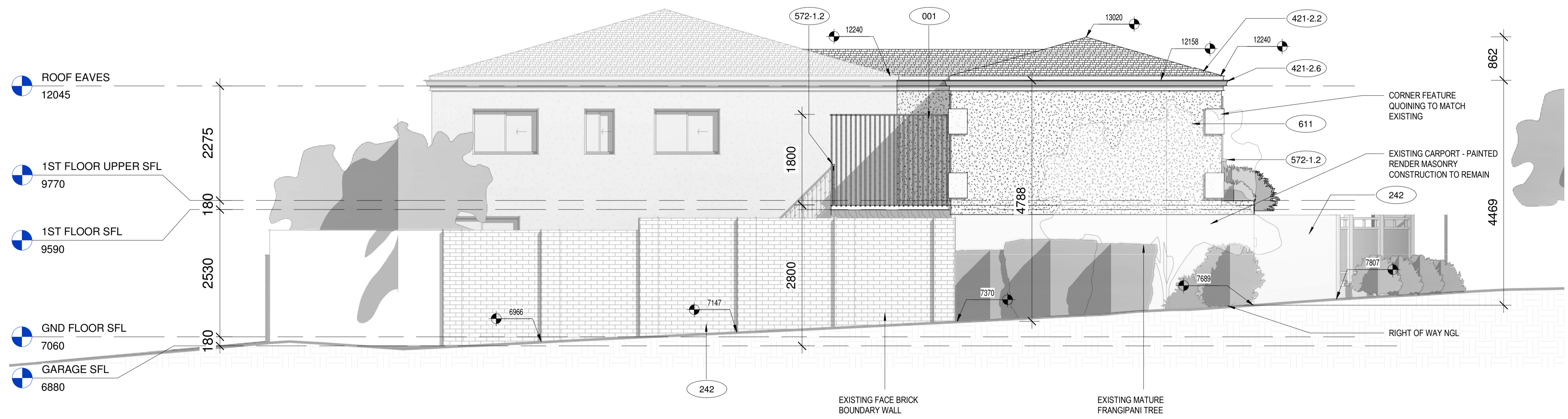
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ROOF PLAN	
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Scale	1 : 50
Rev	A

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3 ELEVATION - NORTH
1 : 50



1 ELEVATION - SOUTH
1 : 50

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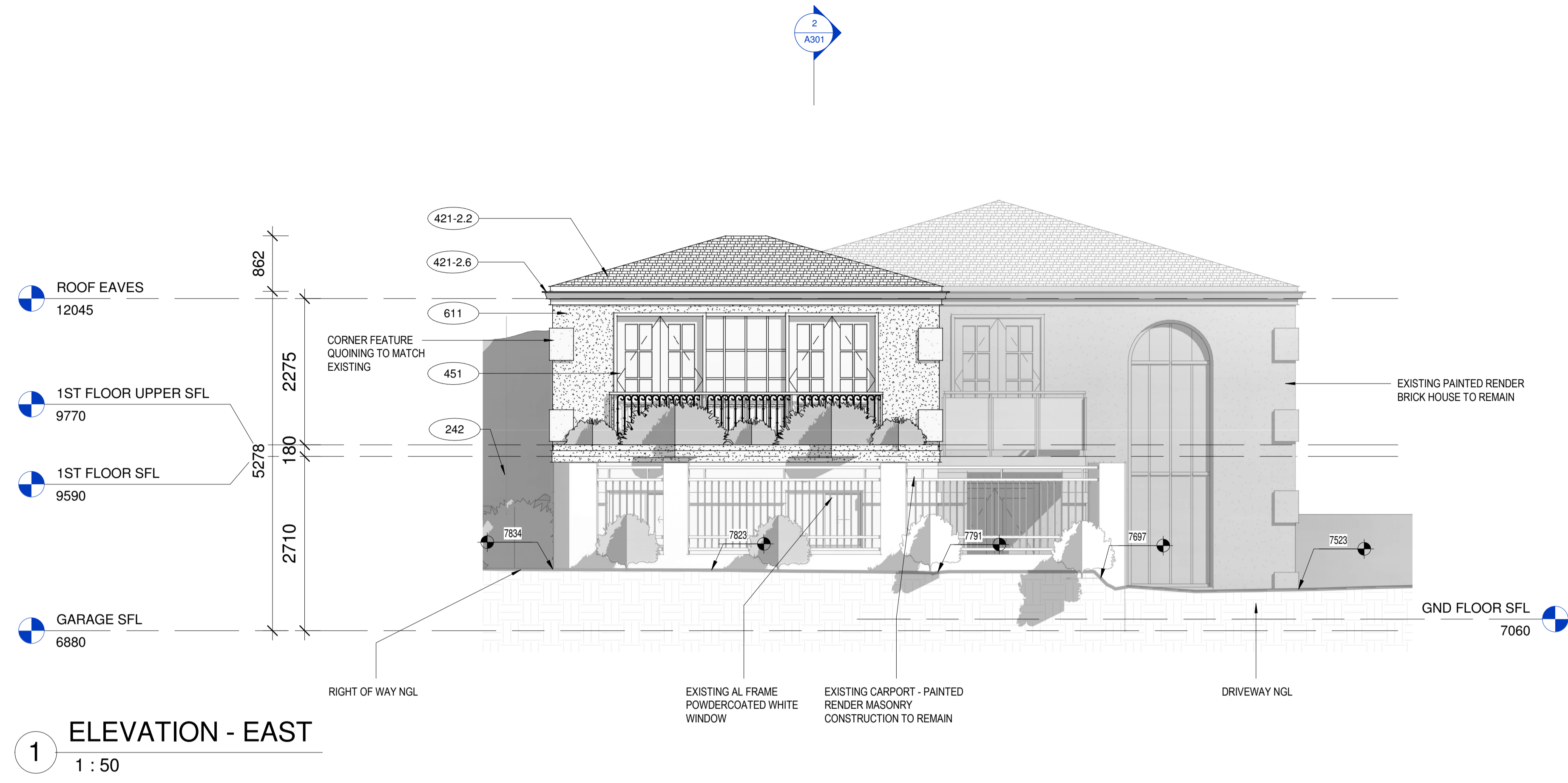
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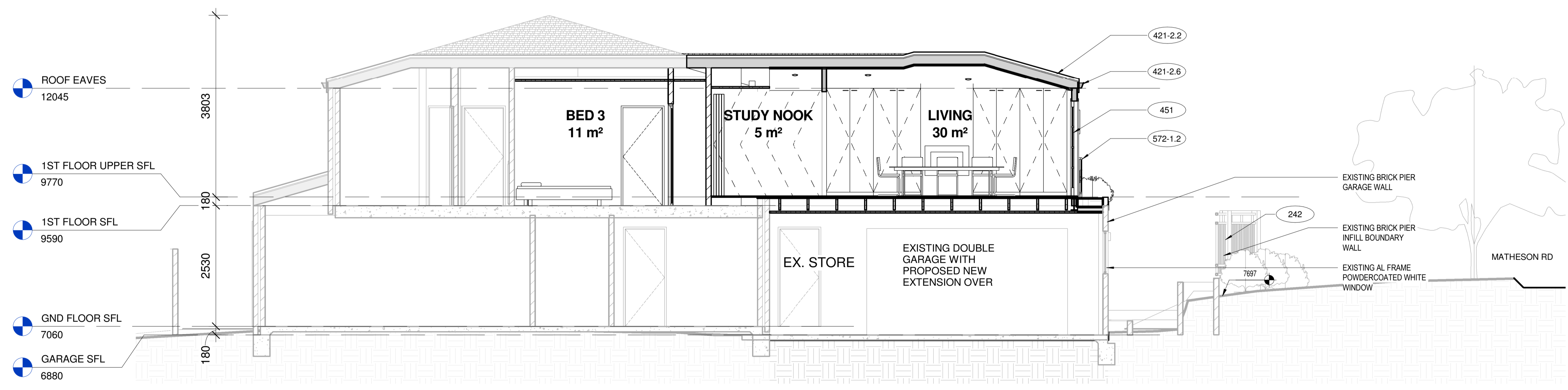
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ELEVATIONS	
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1 ELEVATION - EAST
1 : 50



2 SECTION 1
1 : 50

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ELEVATIONS / SECTION	
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17th July 2021

Dear City of Melville, Planning

RE: LOT 2, 27B MATHESON RD, APPLECROSS WA DEVELOPMENT APPLICATION LETTER

I am writing to confirm Creo Design's lodgment of the Development Application for a first-floor residential addition to the above address.

Scope of Works

The project being proposed is a first-floor extension over the existing double garage with minor internal works to combine the existing upstairs bedroom and study and provide access to the proposed new living space. The existing dwelling is a double storey brick and tiled roof house with painted sand cement render external walls.

Planning Compliance

We believe the proposed design meets the deemed to comply requirements of the R-codes, however we are seeking a concession regarding street setback deemed-to-comply requirements. The relevant section is outlined below along with written explanation of the design principles achieved.

5.1.2 Street Setback

- Required set back = 6m (can be reduced by up to half with compensating area)
- Provided setback = 3.1m to 2.05m
- Encroaching area = 22.7m² (into 6m setback area)
- Compensating area = 35.7m²

We are seeking a reduction to the stipulated set back from the street frontage to fit over the existing double garage. To address and mitigate the encroachment into the street setback and the building mass visible from the street, the following design elements have been adopted.

- The upper level is set back facing the street front from the existing ground floor garage wall face 650mm.
- The proposed new building width accounts for approx. 35% of the total boundary width. With the main house setback 9-10m from the boundary providing
- Building height has been kept to a minimum (4.5m above NGL at the southern corner). The lower existing ground level also assists in reducing the visible portion of the building from the south end of the street.
- The quoin features on the corners of the existing building have been replicated on the proposed new addition to break up the building mass and any blank wall faces. Full height French doors and Juliet balcony have been added to also reduce the amount of wall mass visible with a planter box in front to provide soft landscaping and screening.

We believe the proposed deviation from the deemed-to-comply solutions maintain the design principles of the R-codes and town planning scheme while having no adverse impact on adjacent properties and streetscape. I trust the above explanations adequately detail the concessions we are targeting. Should you have any queries, please don't hesitate to get in contact.