



PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

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Po Box 1463 Osborne Park DC 6916 DWG# 4853001

Feature & Contour Survey of: Lot 702, No. 22A McCallum Crescent, ARDROSS

REVISION: A

SHEET: 1 OF 1

CLIENT: STORCH

PLAN: DP 419164

LOT AREA: 476m²

SURVEY DATE: 06/05/21

BUILDER: STANNARD HOMES

C/T Vol: 2995 Fol: 119

MAP REFERENCE:

BUILDER JOB # 5226

HEIGHT DATUM: AHD

COASTAL ZONE: 0.89KM (river)

AUTHORITY: CITY OF MELVILLE

HEIGHT CORRECTION TO AHD: NO

SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES

- (1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED
- (2) DEVELOPMENT AREA: ESTABLISHED

POWER

CABLE DOME	POWER POLE	PP
CABLE BOX	CONSUMER POLE	CP
POWER MARKER	EXPOSED CABLES	EC
LIGHT POLE	STAYWIRE ANCHOR	SWA

WATER

WATER METER / TAP	FIRE HYDRANT	H
TAP	STOP VALVE	SV
FLUSHING POINT	RETIC VALVE	RV
BORE	WATER MARKER	W

SEWERAGE

SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)	
INSPECTION SHAFT	INSPECTION OPENING	IO
HOUSE CONNECTION		HC

TELSTRA

TELSTRA PIT	TELSTRA MANHOLE	
TELSTRA MARKER		

DRAINAGE

DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)	D
SIDE ENTRY PIT	DRAINAGE GRATE	
COMBINED ENTRY PIT		

GAS

GAS METER	GAS VALVE	GV
GAS MARKER		

SURVEY MARKS

PEG FOUND	PEG GONE	PG
DRILL HOLE	BENCH MARK	
PEN MARK	NAIL & PLATE	NPL
	NAIL	NAIL

MISCELLANEOUS INFO.

STREET SIGN	SPOT HEIGHT	10.16
UNKNOWN SERVICE MARKER	BOLLARD	B
OVERHEAD POWER LINE	SEWER LINE	
FENCE LINE	WINDOW / OPENING	W

SERVICE DETAILS

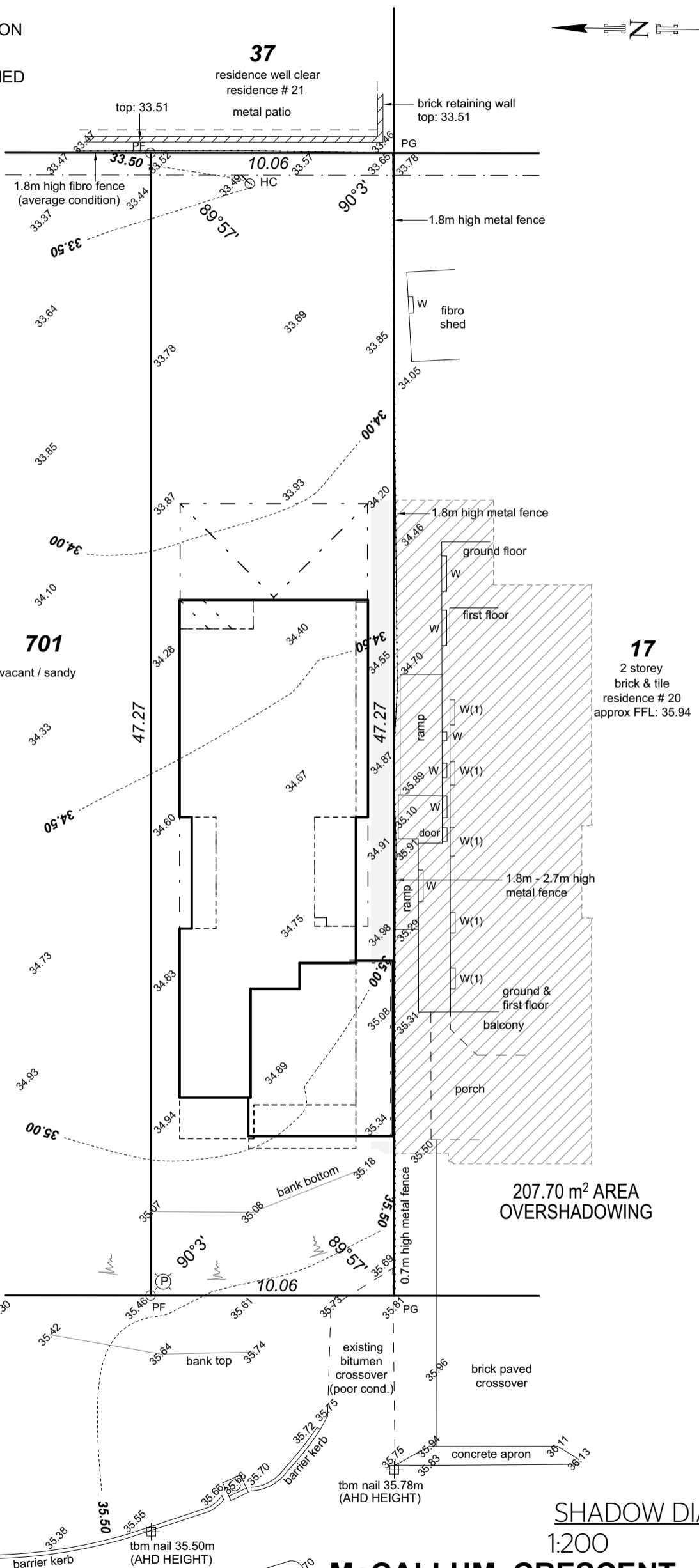
WATER: A, TBC
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: A, TBC
GAS: A, TBC
SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED
TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 32.59
UP DISTANCE: 1.1
DEPTH TO CONNECTION: +0.2



IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan is approximate only. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

SH STANNARD HOMES

SIGNATURE SPECIFICATION

PROPOSED RESIDENCE FOR
MRS E. & MR J. STORCH
LOT 702 (#22A)
MCCALLUM CRESCENT, ARDROSS

INDIVIDUAL TWO STOREY

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DRAWN GP	AMENDMENTS AMD-001-00-00-000	VARIATION V0-000-00-00-000	SHEET 12 OF 11
DATE 19-06-2021			JOB No 5226

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ABN 27 008 828 082 BC 6583

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SHEET: 1 OF 1

CLIENT: STORCH

PLAN: DP 419164

LOT AREA: 476m²

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COASTAL ZONE: 0.89KM (river)

AUTHORITY: CITY OF MELVILLE

HEIGHT CORRECTION TO AHD: NO

SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES
(1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED
(2) DEVELOPMENT AREA: ESTABLISHED

NOTE: BUILDER TO PROVIDE REFLUX VALVE TO HOME DUE TO NO HOBS TO SHOWER RECESS/ES.

NOTE: SAND PAD LEVEL TO BE WITHIN 40mm OF NOMINATED LEVEL

NOTE: OWNER TO PROVIDE STORMWATER DISPOSAL TO SOAKWELLS TO SUIT LOCAL AUTHORITIES REQUIREMENTS

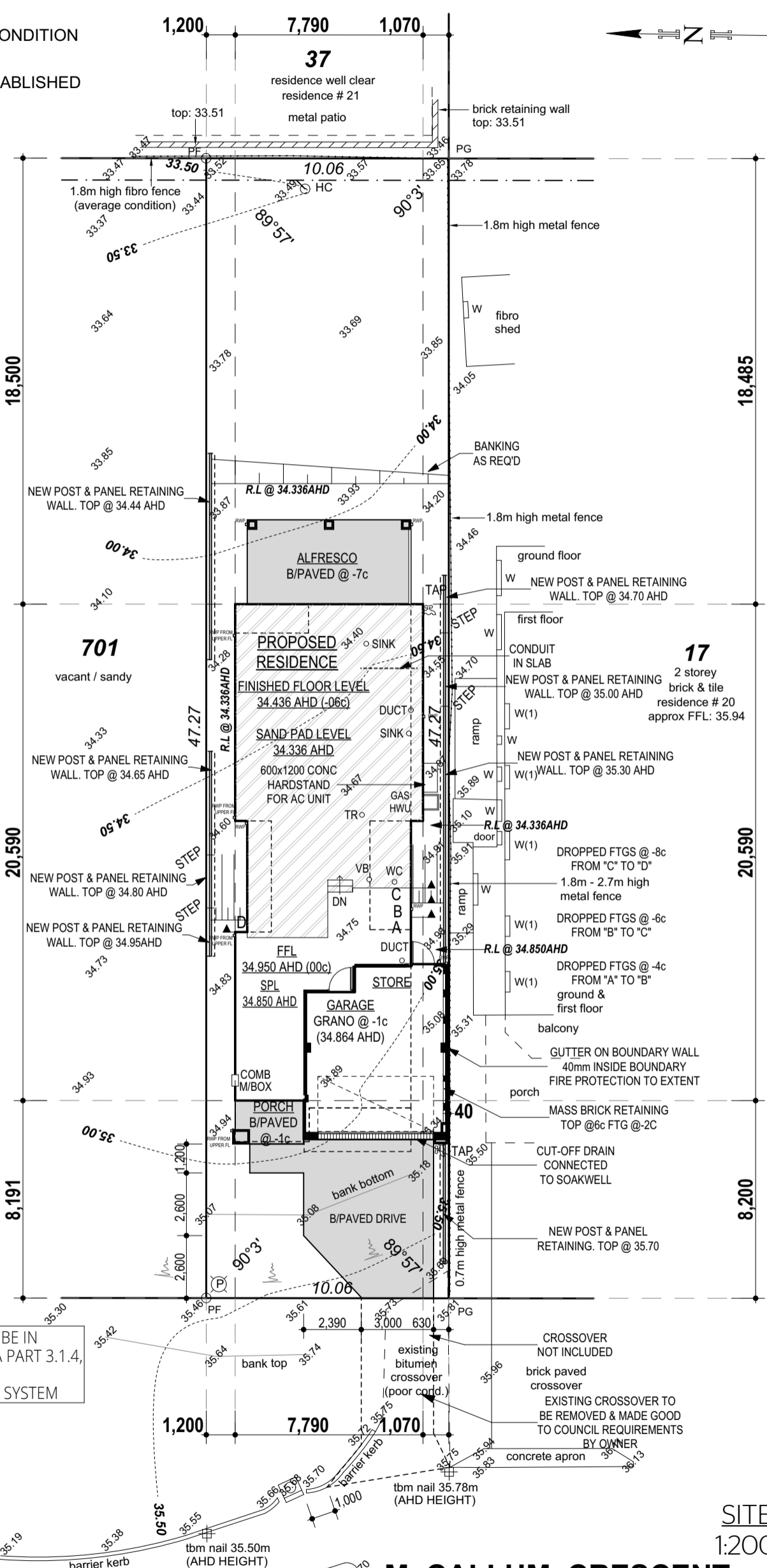
WIND CLASSIFICATION N2
TERRAIN CATEGORY TC2.5
SHIELDING NS
TOPOGRAPHY T0

NOTE: BUILDER TO PROVIDE CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELSTRA RUN IN BY OWNER

ZONED R20
OPEN SPACE REQUIRED = 50%

LOT AREA: 476m²
- TOTAL FOOTPRINT 170.76m² = 305.24m²
+TOTAL LOT AREA % = 64% OPEN SPACE PROVIDED

NOTE: TERMITES TREATMENT WILL BE IN ACCORDANCE WITH THE NCC BCA PART 3.1.4, PART 2.1.1 & PART A2 USING THE TERMICO TERMITES MANAGEMENT SYSTEM



IMPORTANT FEATURE SURVEY NOTES
1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A re-survey / boundary identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final proposed dimensions may vary due to adjustments made during field survey.
4. All service information shown on this plan should be verified with the relevant authorities.
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POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR

WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER

SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	

TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	

DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	

GAS	
GAS METER	GAS VALVE
GAS MARKER	

SURVEY MARKS		
PEG FOUND	PEG GONE	PG
DRILL HOLE	BENCH MARK	
PEN MARK	NAIL & PLATE	NPL
	NAIL	NAIL

MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

SERVICE DETAILS

WATER: A, TBC
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: A, TBC
GAS: A, TBC
SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED
TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 32.59
UP DISTANCE: 1.1
DEPTH TO CONNECTION: +0.2

SH STANNARD HOMES

SIGNATURE SPECIFICATION

PROPOSED RESIDENCE FOR
MRS E. & MR J. STORCH
LOT 702 (#22A)
MCCALLUM CRESCENT, ARDROSS

INDIVIDUAL TWO STOREY

DRAWN GP
AMENDMENTS AMD-001-00-00-000
VARIATION V0-000-00-00-000
SHEET 11 OF 11

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ABN 27 008 828 082 BC 6583

DATE 19-06-2021

JOB No 5226

SITE PLAN 1:200

MCCALLUM CRESCENT

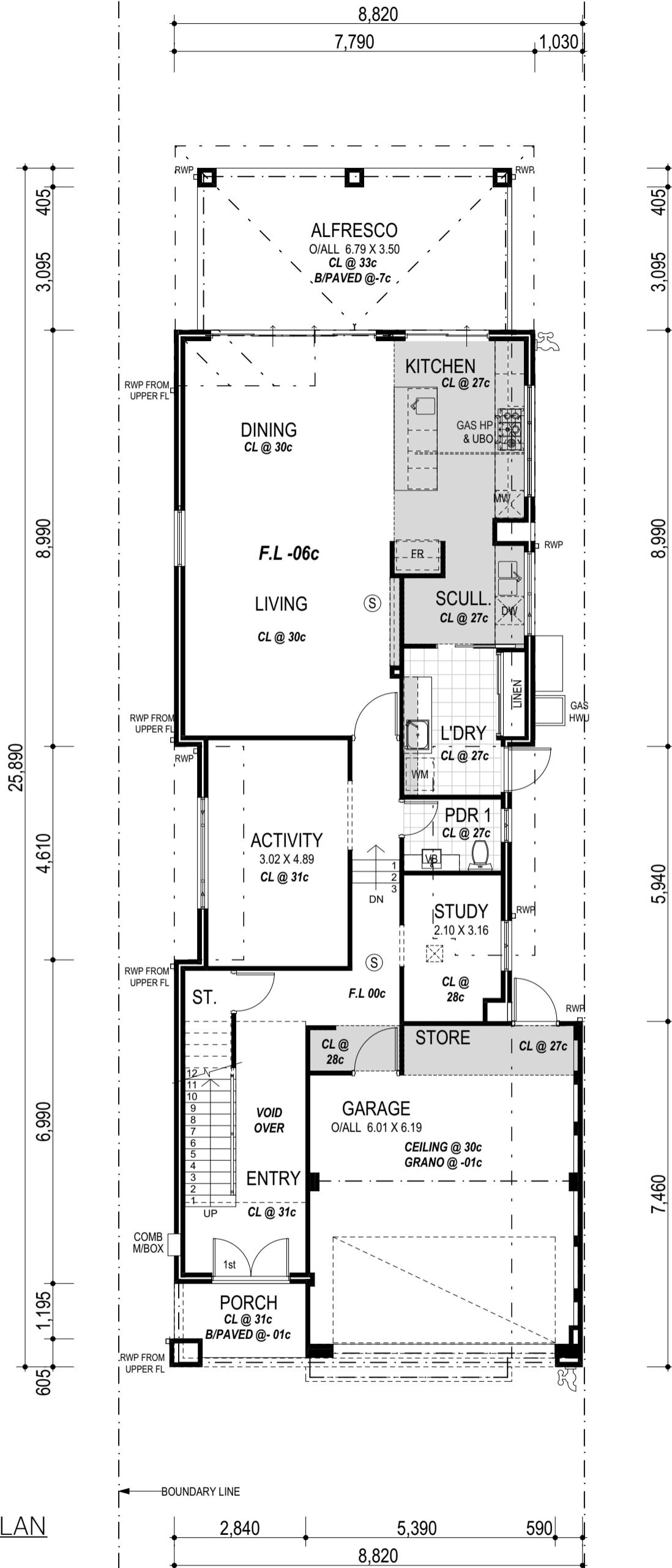
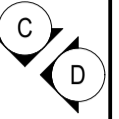
(bitumen)

- NOTE:**
- All plans subject to council/developers approval.
 - Dimensions are to brick sizes & do not allow for plaster, render or set.
 - Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
 - All dimensions noted on all sheets are approximate & are subject to change during the construction process.
 - Some floor coverings will require additional preparation by owner after handover.
 - Final location of downpipes, stormwater system & HWU to be determined on site by builder.
 - Wall and floor tiles as drawn are indicative representation only of th surface area to be covered.
 - Notify builders of any discrepancies prior to commencing.
 - All roof timbers to be as per engineer's details & to comply with AS 1684 & NCC.

WIND CLASSIFICATION	N2
TERRAIN CATEGORY	TC2.5
SHIELDING	NS
TOPOGRAPHY	T0

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

Ⓢ DENOTES SMOKE DETECTOR
NOTE : SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC REQUIREMENTS & AS 3786.



AREA

GROUND FL	130.18
GARAGE	40.36
PORCH	5.17
ALFRESCO	23.77
TOTAL	199.48 m²
PERIMETER	57.76 m
UPPER FL (INCLUDING VOID & STAIRS)	138.36
BALCONY	7.75
TOTAL	146.10 m²
PERIMETER	65.56 m
GRAND TOTAL	345.58 m²

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-29. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

GROUND FLOOR PLAN
1:100



SIGNATURE SPECIFICATION

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MCCALLUM CRESCENT, ARDROSS

INDIVIDUAL TWO STOREY

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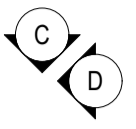
Stannard Group Pty Ltd
ABN 27 008 828 082 BC 6583

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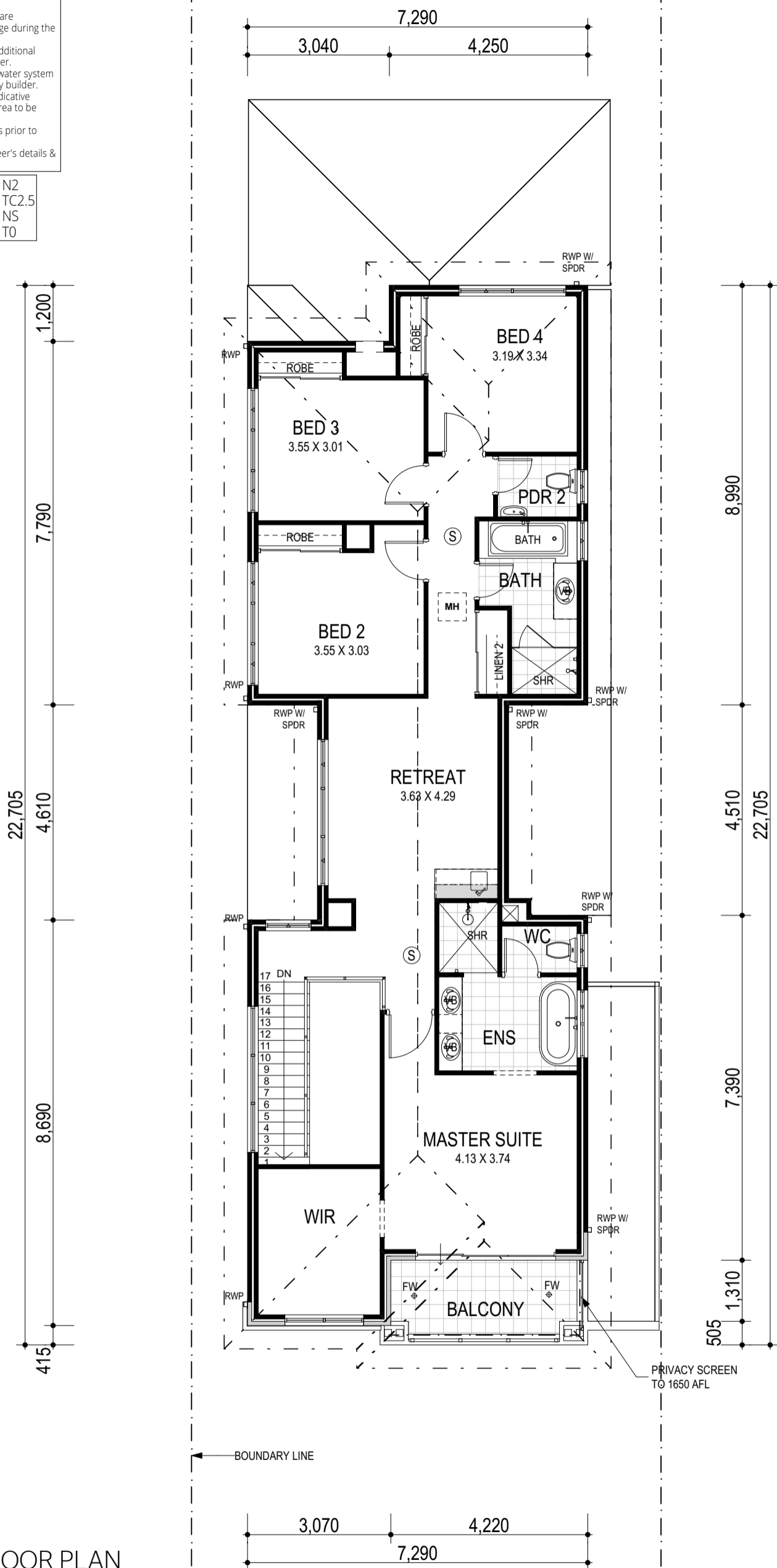
WIND CLASSIFICATION	N2
TERRAIN CATEGORY	TC2.5
SHIELDING	NS
TOPOGRAPHY	T0

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UPPER FLOOR PLAN
1:100

SHI STANNARD HOMES

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VARIATION
V0-000-00-00-00-000

SHEET
02 OF 11
JOB No
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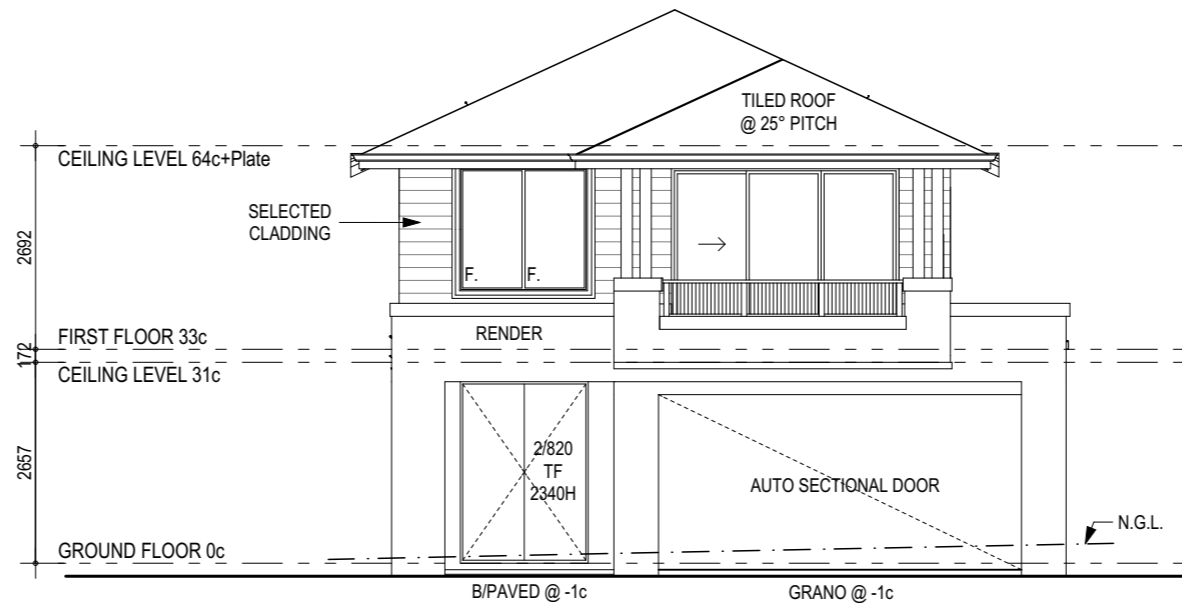
WIND CLASSIFICATION N2
 TERRAIN CATEGORY TC2.5
 SHIELDING NS
 TOPOGRAPHY T0

NOTE: THIS HOUSE IS DESIGNED FOR ACRYLIC RENDERED FINISH AS PER THE ADDENDA
 COURSING HEIGHTS SHOWN IN STD BRICK FORMAT
 2c FACE BRICKS - 1/3RD BOND TO GARAGE INTERNALLY & BOUNDARY WALLS EXTERNALLY

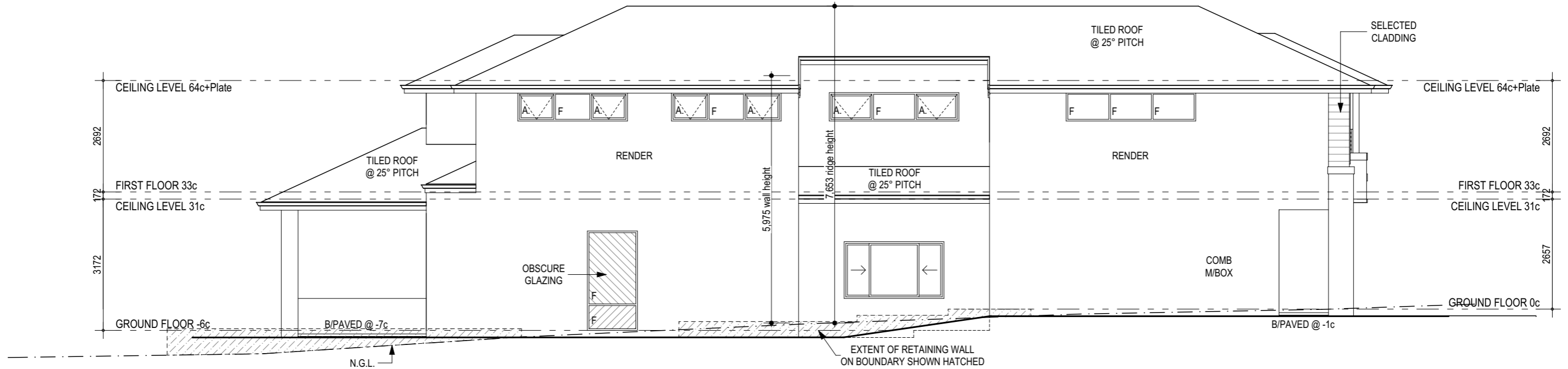
ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

ROOF TIMBERS TO AS 1684.2 & ENGINEER'S DETAILS
 NOTE: ALL BEDROOM WINDOWS TO BE PROTECTED IN ACCORDANCE WITH NCC BCA 3.9.2.6 & ALL OTHER WINDOWS WITH NCC BCA 3.9.2.7

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-29. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.



ELEVATION A



ELEVATION B

ELEVATIONS 1 OF 2
 1:100

SH STANNARD HOMES

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INDIVIDUAL TWO STOREY

DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 03 OF 11
DATE 19-06-2021			JOB No 5226

WIND CLASSIFICATION N2
 TERRAIN CATEGORY TC2.5
 SHIELDING NS
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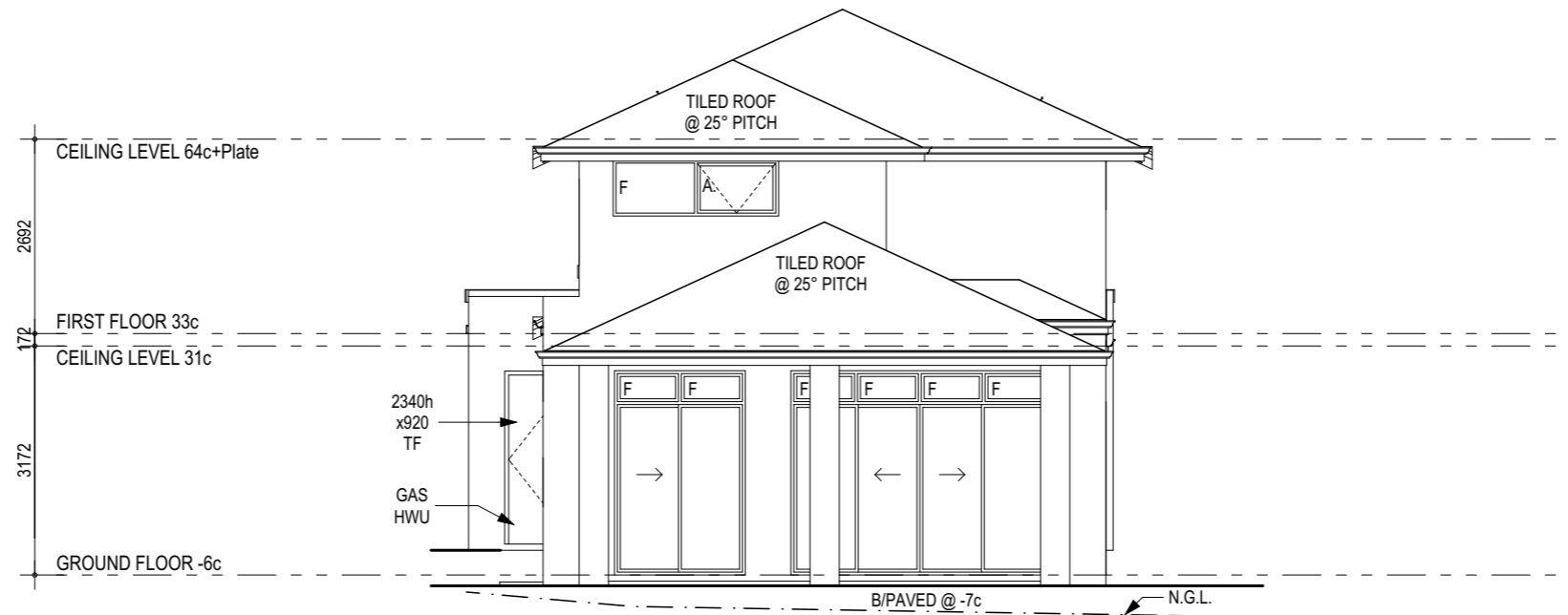
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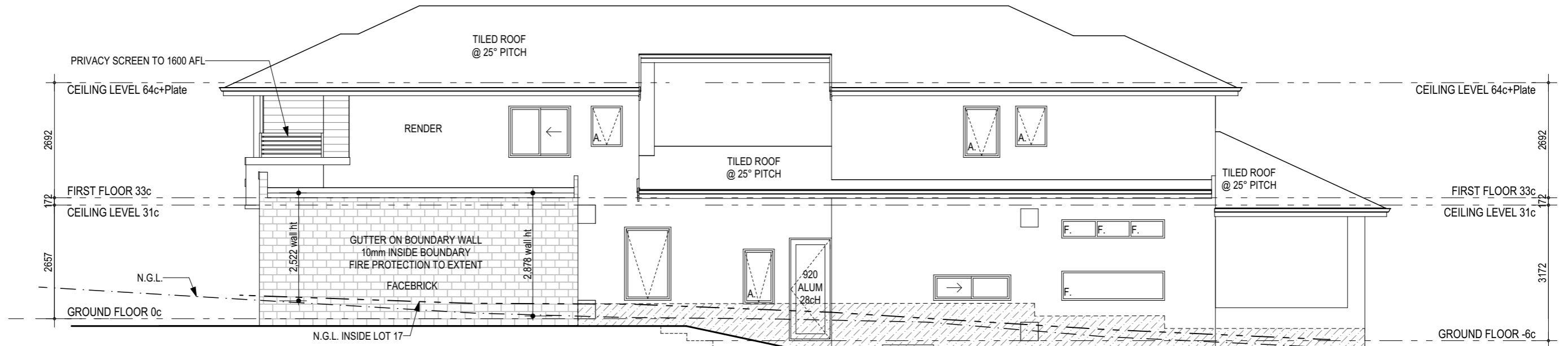
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ELEVATION C



ELEVATION D

ELEVATIONS 2 OF 2
 1:100

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